

Bellevue City Council Meeting

Tuesday, August 17, 2021 6:00 PM

Bellevue City Hall

1500 Wall Street

Bellevue, NE 68005

1. PLEDGE OF ALLEGIANCE
2. INVOCATION - Pastor Bryan Rice, Christ the King Lutheran Church, 7308 South 42nd Street, Bellevue.
3. CALL TO ORDER AND ROLL CALL
4. OPEN MEETINGS ACT - Posted in the Entry to the Council Chambers
5. APPROVAL OF AGENDA, CONSENT AGENDA, CLAIMS, AND ADVISORY COMMITTEE REPORTS:
 - a. Approval of the Agenda
 - b. Approval of the Consent Agenda (**Items marked with an (P) are approved where this item is, unless otherwise removed**)
 1. (P) Acknowledge Receipt of the July 22, 2021 Planning Commission Minutes.
 2. (P) Approval of the August 3, 2021 City Council Minutes
 3. (P) Acknowledge Receipt of the June 8, 2021 Tree Board Minutes.
6. (P) APPROVAL OF CLAIMS.
7. SPECIAL PRESENTATIONS:
 - a. Sidewalk Task Force Update (Councilwoman Welch)
8. ORGANIZATIONAL MATTERS: NONE
9. APPROVED CITIZEN COMMUNICATION: NONE
10. LIQUOR LICENSES:
 - a. Recommend approval to the Nebraska Liquor Control Commission the application for Michael E. Sullivan as the new Manager for OSF Nebraska Inc. dba "Outback Steakhouse" at 10408 South 15th Street, Bellevue. (City Clerk)
11. ORDINANCES FOR ADOPTION (3rd reading): NONE
12. ORDINANCES FOR PUBLIC HEARING (2nd reading):
 - a. Ordinance No. 4046: An ordinance a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS. Applicant: Freedom Village, LLC (Jolene Roberts). General Location: 1811 Hillcrest Drive. (Planning Manager)
 1. Request for site plan approval for Lot 7, Tiller's 4th Addition (**No Action Required**)
 - b. Ordinance No. 4047: An ordinance to request the rezoning of Lots 1 and 2 Harold Square Replat One, being a replat of Lot 49, Harold Square from RG-50 to RG-20 and RG-50, for the purpose of a single-family residence and care facility for disabled adult. Applicant: Sharon Chaudhuri. General location: 8700 S. 25th Street. (Planning Manager)
 1. Request to Small Subdivision Plat Lots 1 and 2, Harold Square Replat One. (**No Action Required**)
 - c. Ordinance No. 4048: To amend Article 1, Chapter 28, of the Bellevue Municipal Code by amending 28-7 and adding a new Section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks. (Public Works Director)
 - d. Ordinance No. 4049: An ordinance to adopt the Annual Appropriations Bill. (Finance Director)
 1. Resolution No. 2021-28: A resolution to set the 2021-2022 property tax request. (Finance Director) (**No Action Required at this Meeting**)
13. ORDINANCES FOR INTRODUCTION (1st reading):
 - a. Ordinance No. 4050: An ordinance to amend Section 12-57 through 12-58 of the Bellevue

Municipal Code pertaining to fireworks. (City Clerk)

14. PUBLIC HEARING ON MATTERS OTHER THAN ORDINANCES:

a. Recommendation to approve Event Application for Premier Sport Village to host an Outdoor Family Festival with live music on Sunday, August 29, 2021 from 2:00 p.m. to 8:30 p.m., at 14405 Harlan Lewis Road. (City Clerk)

1. Recommend approval of a Special Fireworks Application for Subby Anzalone to provide a fireworks display for the Premier Sports Village Outdoor Family Festival on August 29, 2021, at approximately 9:00 p.m. for 10-12 minutes. (City Clerk)

b. Recommend approval of application from Premier sports Village to host a Music Concert on Friday, September 17, 2021 from 4:00 p.m. to 10:00 p.m., at 14405 Harlan Lewis Road. (City Clerk)

c. Request to approve the Redevelopment Plan for Lot 7, Tiller's 4th Addition. Applicant: Freedom Village, LLC. General Location: 1811 Hillcrest Drive. (Planning Manager)

1. Resolution No. 2021-26: Approve and authorize Mayor to sign the Redevelopment Plan for Lot 7, Tiller's 4th Addition.

d. Request to amend the Comprehensive Plan to include the Growth Management Plan of the Sarpy County and Cities Wastewater Agency. Applicant: City of Bellevue. (Planning Manager)

1. Resolution No. 2021-27- Approve and authorize Mayor to sign the 2021 Comprehensive Plan.

e. Request to declare as Blighted and Substandard Lots 4 and 5, Edward Warren Addition and Tax Lot H2, located in the Southwest 1/4 of Section 16, T14N, R13E of the 6th P.M., Sarpy County. Applicant: Imperial Homes, LLC, General Location: 3501 Chandler Road West. (Planning Manager)

1. Resolution No. 2021-29: Approval to declare Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, as blighted and substandard and authorize the Mayor to sign.

f. Request to approve the 2022-2027 Capital Improvement Plan (Planning Manager)

15. RESOLUTIONS:

a. Resolution No. 2021-30: To authorize the Mayor to sign the Lobbying Agreement between the United Cities of Sarpy County and Kissel, Kohut Es Associates LLC for lobbying services before the Nebraska State Legislature and Governor. (City Administrator)

16. CURRENT BUSINESS:

a. Request approval of the applications for waiver of hunting applications. (City Clerk)

b. Approve and authorize the Mayor to sign the updated Entitlement Certifications for the 2021 CDBG Action Plan and resubmit to HUD. (Finance Director/CDBG Program Specialist)

c. Approve and authorize the Mayor to sign the (MOU) Memorandum of Understanding with Omaha Permaculture for the collaborative Mason Park Project. (Public Works Director)

d. Approve and authorize the Mayor to sign the (MOU) Memorandum of Understanding with Omaha-Council Bluffs (MAPA) Metropolitan Area Planning Agency for the Fort Crook Road Multi-Model Transportation and Redevelopment Study, with the City's local match in an amount not to exceed \$25,000.00 for the study. (Public Works Director)

e. Approve the purchase of (10) docking stations, (4) laptop computers, (6) bar code readers, (10) in-car printers and (15)VPN licenses. (Police Chief)

f. Approve and authorize the Mayor to sign the agreement between the City of Bellevue and HDR Engineering Inc. in an amount not to exceed \$23,893.00 for services related to industrial facility relocation. (Public Works Director)

g. Recommendation to approve a separate agreement with Chamber of Commerce for additional funding for marketing and rebranding services, in an amount not to exceed \$55,000.00. (Administrator/Community Development Director)

17. ADMINISTRATION REPORTS: Comments must be limited to items on the current Reports **(Monthly reports are given at the first Council Meeting of each month - August report will be attached to the September 7th Council Packet).**

18. CLOSED SESSION: NONE
19. ADJOURNMENT

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Bellevue Planning Commission Meeting, July 22, 2021, Page 1

The Bellevue Planning Commission held a regular meeting on Thursday, July 22, 2021 at 7:00 p.m. in the Bellevue City Council Chambers. Upon roll call, present were Commissioners Casey, Aerni, Ritz, Ackley, Hankins, and Jacobson. Absent were Perrin, and Cutsforth. Also present was Angela Curry, Assistant Planning Manager.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide & News and posting in two public places, and was also given to the Chairperson and members prior to the meeting. These minutes were written and available for public inspection within ten days of the meeting.

Ritz announced a copy of the Open Meetings Act was posted in the entry to the City Council Chambers.

Motion was made by Casey, seconded by Hankins, to approve the minutes of the June 24, 2021 regular meeting as presented. Upon roll call, Casey, Aerni, Ritz, Hankins, Ackley, and Jacobson voted yes. Motion carried unanimously.

Ritz asked if there were any updates or additions to staff reports. Curry advised there was an update to the Capital Improvement Plan. She stated copies of the update had been provided to the commissioners.

Motion was made by Ackley, seconded by Jacobson, to accept into the record all staff reports, attachments, memos, and handouts regarding each application and the supplemental memo referenced by Curry. Upon roll call, all present voted yes. Motion carried unanimously.

Ritz explained the public hearing procedures

PUBLIC HEARING was held on a request to declare as Blighted and Substandard Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, located in the Southwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County Nebraska. Applicant: Imperial Homes, LLC. General Location: 3501 Chandler Road West. Case #: EDC-49.

Ritz asked staff for an update. Curry stated the applicant is requesting Lots 4 and 5, Edward Warren Addition and Tax Lot H2, be considered as blighted and substandard. She stated the property is located off 36th Street and West Chandler Road. Curry said the property is approximately 10.42 acres. Curry stated Tax Lot H2 is currently undeveloped and Lots 4 and 5 currently have single-family residences on them; both residences are approximately sixty to seventy years old and in need of some repairs. Curry said this corridor of Chandler Road has not seen any recent development. Curry stated the Planning Department recommends approval of the request.

Elizabeth Sevcik, 2120 S 72nd Street, Omaha, NE. was present on behalf of the applicant. Sevcik stated the existing structures on the site are significantly aged and it is necessary to demolish these structures. She stated there is substantial costs for infrastructure and demolishing the existing structures. Sevcik said the idea for this development would be entry-level housing and the homes would range from \$200,000 to \$250,000. Sevcik said plans are still being worked out for approximately thirty-six single-family dwellings and a couple of duplexes.

Jerri Sorensen, 7725 South 36th Street, Bellevue, NE stated her property abuts the development and asked if there were plans or pictures that would show her what would be developed there.

There was no one else present to speak in favor of, or in opposition to this request. Subsequently, Ritz closed the public hearing.

Ritz explained the application was to blight and substandard these lots and no site plan or development plan had been submitted.

Ackley stated the blighted and substandard request complies with the statutory requirements. He stated the redevelopment agreement might be submitted in the near future.

MOTION was made by Ackley, seconded by Aerni, to recommend APPROVAL of a request to declare as Blighted and Substandard Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, located in the Southwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County Nebraska. APPROVAL based upon the analysis that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard and the designation supports the overall goal of redevelopment of the West Chandler Road corridor and will not result in more than 35% of the city being designated as blighted and substandard. Upon roll call, all present voted yes. MOTION carried

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Bellevue Planning Commission Meeting, July 22, 2021, Page 2

unanimously.

This item will proceed to City Council for PUBLIC HEARING ON August 17, 2021.

PUBLIC HEARING was held on a request to approve the Redevelopment Plan for Lot 7, Tiller's 4th Addition. Applicant: Freedom Village, LLC. General Location: 1811 Hillcrest Drive. Case #: ECD-50.

Ritz asked staff for an update. Curry stated the property is located at 1811 Hillcrest Drive and the site is approximately 6.1 acres. Curry said the applicant is proposing redevelopment of the property by rezoning it and developing it into a 55 and over senior living community. She stated the lot has previously been designated as blighted and substandard and has remained vacant for some time.

Aerni stated he had a professional conflict with this case and excused himself.

Larry Jobeun, 11440 W. Center Rd., Omaha, NE was present on behalf of the applicant. Jobeun stated at one time this site was to be developed into a water park and hotel which was unsuccessful. He stated the site has remained vacant and undeveloped since 2008. Jobeun stated challenges on the site would require Tax Increment Financing (TIF) primarily due to a retaining wall in need of substantial renovation. He said there would need to be new on street and off-street parking along with site development work necessary to complete the project. Jobeun stated the current zoning is BG (General Business) and the requested zoning of RG-20-PS (General residence – 2,000 Square foot zone - Planned subdivision) is compatible with the Future Land Use Map of the City of Bellevue. He stated this is a senior living project for 55 and older. Jobeun stated there are a total of 56 units, 7 four-plex buildings, garden homes, and an apartment building with a clubhouse, gathering space, and a fitness center. He stated there are 28 garages and 91 surface parking spaces, which exceeds the parking requirements by city code. Jobeun stated the site has green space with a picnic shelter and gazebo. He stated the TIF eligible expenses are \$4,401,173 dollars and the proposed build out is \$12,500,000 dollars which support the TIF request of \$2,609,077 dollars at 4 ½ percent over the fifteen year term requested.

There was no one present to speak in favor of, or opposition to this request. Subsequently, Ritz closed the public hearing.

Ackley stated the blighted and substandard designation for this area was approved many years ago and he was happy to see the redevelopment plan. He stated he was in support of the redevelopment plan and appreciated the applicant developing in Bellevue.

Discussion ensued regarding sidewalks and parks in the area.

Ritz asked staff if the redevelopment plan was routed to the proper departments and were there any comments. Curry stated there were comments but they were remedied by the applicant. Ritz stated his concerns with traffic. Jobeun stated a traffic study had been done and no additional public improvements were required for this development.

Commissioner Aerni left the Council Chambers at 7:21 p.m.

MOTION was made by Casey, seconded by Jacobson, to recommend APPROVAL of a request to approve the Redevelopment Plan for Lot 7, Tiller's 4th Addition. Applicant: Freedom Village, LLC. General Location: 1811 Hillcrest Drive. Case #: ECD-50. APPROVAL based upon the elimination of a blighted and substandard area, conformance with the requirements of the State Statutes, and the opportunity for redevelopment along the Harlan Drive corridor. Upon roll call, Casey, Ritz, Ackley, Hankins and Jacobson, voted yes; Aerni abstained. MOTION carried.

This item will proceed to City Council for PUBLIC HEARING ON August 17, 2021.

PUBLIC HEARING was held on a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS for the purpose of a senior living development. Applicant: Freedom Village, LLC. General Location: 1811 Hillcrest Drive. Case #: Z-2106-07.

Larry Jobeun, 11440 W. Center Rd., Omaha, NE was present on behalf of the applicant and to answer questions.

There was no one present to speak in favor of, or opposition to this request. Subsequently, Ritz closed the public hearing.

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MOTION was made by Casey, seconded by Jacobson, to recommend APPROVAL of a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS for the purpose of a senior living development. Applicant: Freedom Village, LLC. General Location: 1811 Hillcrest Drive. Case #: Z-2106-07. APPROVAL based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance. Upon roll call, Casey, Ritz, Ackley, Hankins and Jacobson, voted yes; Aerni abstained. MOTION carried.

This item will proceed to City Council for PUBLIC HEARING ON August 17, 2021.

Commissioner Aerni returned to the Council Chambers 7:37 p.m.

PUBLIC HEARING was held on a request to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, from RG-50 to RG-20 and RG-50 for the purpose of a single-family residence and care facility for disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One. Applicant: Sharon Chaudhuri. General location: 8700 S 25th Street. Case #'s: Z-2106-08, S-2106-14.

Ritz asked staff for an update. Curry stated Ms. Chaudhuri is requesting to construct a single-family residence on Lot 2 and a care facility for young disabled adults on Lot 1. She stated the young disabled adults would range in age from 18 to 34. Curry stated the facility would give parents of disabled children an opportunity to refresh themselves while their children enjoy time with others at the facility. She stated Ms. Chaudhuri would provide a day learning center as well as seven bedrooms for overnight stays for her clients.

Sharon Chaudhuri, 12054 Carpenter St., Omaha, NE was present. Chaudhuri stated the facility is designed as an overnight respite and retreat. She stated she cared for a disabled daughter for twenty-five years who passed away two years ago. Chaudhuri stated from that experience she understands what families are lacking in caring for disabled children. She stated there are some services available but those services are in-home services and do not allow the parents the ability to have time to take care of other responsibilities. Chaudhuri said it would also allow the children to interact with other young adults their age. She stated there would be indoor and outdoor activities. Chaudhuri stated security is a big concern and is the reason she wants to build a single-family dwelling next door to the facility.

Bryan Lanning, 2506 Rose Lane Rd., Bellevue, NE stated although he has concerns regarding this facility he has two disabled children who may need this facility when they are adults. He stated a concern he has is sidewalks and the lack of them in this area. Lanning stated another concern is the water runoff from this property causing additional flooding. He stated this facility might cause property values to decrease in the area.

Ted Wiles, 8701 S. 25th St., Bellevue, NE stated he has a handicapped niece who would benefit from this type of facility but does not believe this is the right area for it. He stated a concern for the increase in traffic. He said the traffic has already increased significantly with the new subdivision Melvin Sudbeck is building. Wiles stated there are people who speed in this area and the city has reduced the speed limit to 35 miles per hour (MPH). Wiles stated there are no curbs, sidewalks, or streetlights in the area and he prefers it to remain that way. He stated he is also concerned with the impact on utilities and would not allow a sewer easement to cross his property. Wiles stated he would like clarification on the phase one and phase two projects. Wiles stated he feels it is a conflict of interest to have Mayor Hike as the listing agent and monetarily benefit from the sale of this property.

There was no one else present to speak in favor of, or opposition to this request. Subsequently, Ritz closed the public hearing.

Curry stated the architectural design, access, and setbacks, would be reviewed at the time the applicant submits a building permit application. She stated the small subdivision request was sent to the Public Works department for review and minor revisions were requested. Curry said both the Public Works Department and the Planning Department agree the property is sufficient for this proposal.

Ackley stated from a zoning prospective the property is currently zoned to allow for duplexes or a building with four dwelling units. He stated there a quite a few pockets in the city that do not have sidewalks but as these new areas are developed sidewalks will be required. Ackley stated the developer would need to grade and slope the area to avoid any flooding issues and with this development the flooding issue should improve. He stated the property values in all areas are going

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up at this time but there is no way to tell what would happen in the future. Ackley stated the power line easement is one of the reasons this property has remained undeveloped for so long. He said the applicant has found a way to work around the easement and would be limited as to how much future development could be done on the property. Ackley stated the traffic in the area is heavy because 25th Street is two lanes and as the area grows the city may add a third lane. Ackley stated the conflict of interest deals with someone profiting from a development. He said Hike Real Estate is the realty company selling this property and Bellevue Mayors are not required to give up their day jobs. Ackley stated he feels this is a good project.

Aerni stated new developments in the area are required to install sidewalks.

Ritz asked the applicant to explain the phasing of this development. Chaudhuri stated Phase I would be to develop the 5,200 square foot building and Phase II, would construct another 5,200 square foot building if needed in the future.

Jacobson asked the applicant if there would be a Phase III. Chaudhuri stated there would not be a Phase III. Discussion ensued regarding indoor and outdoor activities

Casey asked the applicant if the front elevation plan provided to the Planning Commission was for Phase I and Phase II. Chaudhuri stated it was Phase I only. She stated the structure is quite large due to the ranch style and ADA (American Disabilities Act) accessibility. Casey asked if Phase II is predicated on the success of Phase I. Chaudhuri stated it is.

Aerni stated it would be important for the applicant to explain why she chose this particular lot. Chaudhuri stated she has been looking for a lot for two years. She explained cost was a big issue and other areas she looked at were half a million dollars.

Ritz stated he appreciated the services offered by this applicant. He stated respite is very necessary for individuals caring for disabled children.

Discussion ensued regarding connection locations for sewer and water.

Casey asked the applicant what types of security would be in place. Chaudhuri stated she is responsible for these adults when they come into her care so security is of the utmost importance. She stated there would be fencing surrounding the property and a gated entry. Chaudhuri said there would be security cameras throughout the house with the exception of the bathrooms. She stated she would be able to monitor the security cameras from her home next door. Casey asked how many staff would be required. Chaudhuri stated with an occupancy of seven there would be two full time employees and two part time employees. She stated the hours would be Friday 3:00 p.m. to Sunday 3:00 p.m. Chaudhuri stated the maximum stay would be seven days, except in the case of an emergency.

Discussion ensued regarding the aesthetics of the structure and signage.

MOTION was made by Aerni, seconded by Casey, to recommend APPROVAL of a request to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, from RG-50 to RG-20 and RG-50 for the purpose of a single-family residence and care facility for disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One. Applicant: Sharon Chaudhuri. General location: 8700 S 25th Street. Case #'s: Z-2106-08, S-2106-14. APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding neighbors. Upon roll call, all voted yes. MOTION carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON August 17, 2021.

PUBLIC HEARING was held on a request to approve the 2022-2027 Capital Improvement Plan. Applicant: City of Bellevue.

Ritz asked staff for updates. Curry stated the CIP (Capital Improvement Plan) has been constructed by the Finance Director and the Department Heads. She stated the plan is in conjunction with the needs of the upcoming year's budget. Curry stated the plan consists of projects for each department.

There was no one present to speak in favor of, or opposition to this request. Subsequently, Ritz closed the public hearing.

Ackley stated he was glad to see the economic development for LB840 being planned for the next four

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years.

Ritz stated item PK231 (page 10) \$13,000,000 dollar Aquatic Center Construction was not listed any further and would need to be corrected before the CIP goes to City Council. He asked what it represents. Curry stated she did not know but would contact the Public Works Department to get that information.

Aerni asked for information regarding the \$575,000 dollar non-departmental amendment marked as Convention Center update. Curry stated the amendment came from the Finance Manager and at this time, he did not provide any additional information.

Discussion ensued regarding funding from other agencies.

MOTION was made by Jacobson, seconded by Ackley, to recommend APPROVAL of a request to approve the 2022-2027 Capital Improvement Plan Update as presented. Applicant: City of Bellevue. APPROVAL of the 2022-2027 Capital Improvement Plan Update as presented. Upon roll call, all voted yes. MOTION carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON August 17, 2021.

PUBLIC HEARING was held on a request to amend the Comprehensive Plan to include the Growth Management Plan of the Sarpy County and Cities Wastewater Agency. Applicant: City of Bellevue.

Ritz asked staff for updates. Curry stated this request is to amend the Comprehensive Plan to include the Growth Management Plan, which was adopted in May of 2021.

There was no one present to speak in favor of, or opposition to this request. Subsequently, Ritz closed the public hearing.

Ritz stated the maps appeared to be centered on Springfield rather than Bellevue. Curry stated it does appear that it focuses on the Sarpy service area.

Ackley stated most of Bellevue has sewers because we tie into the Omaha plan. He stated the goal with the Waste Water Agency is to get infrastructure south of the ridgeline so it can be developed. Ackley said Bellevue has a small area down toward the Platte River so we are part of the agency but most of their plans will not involve Bellevue.

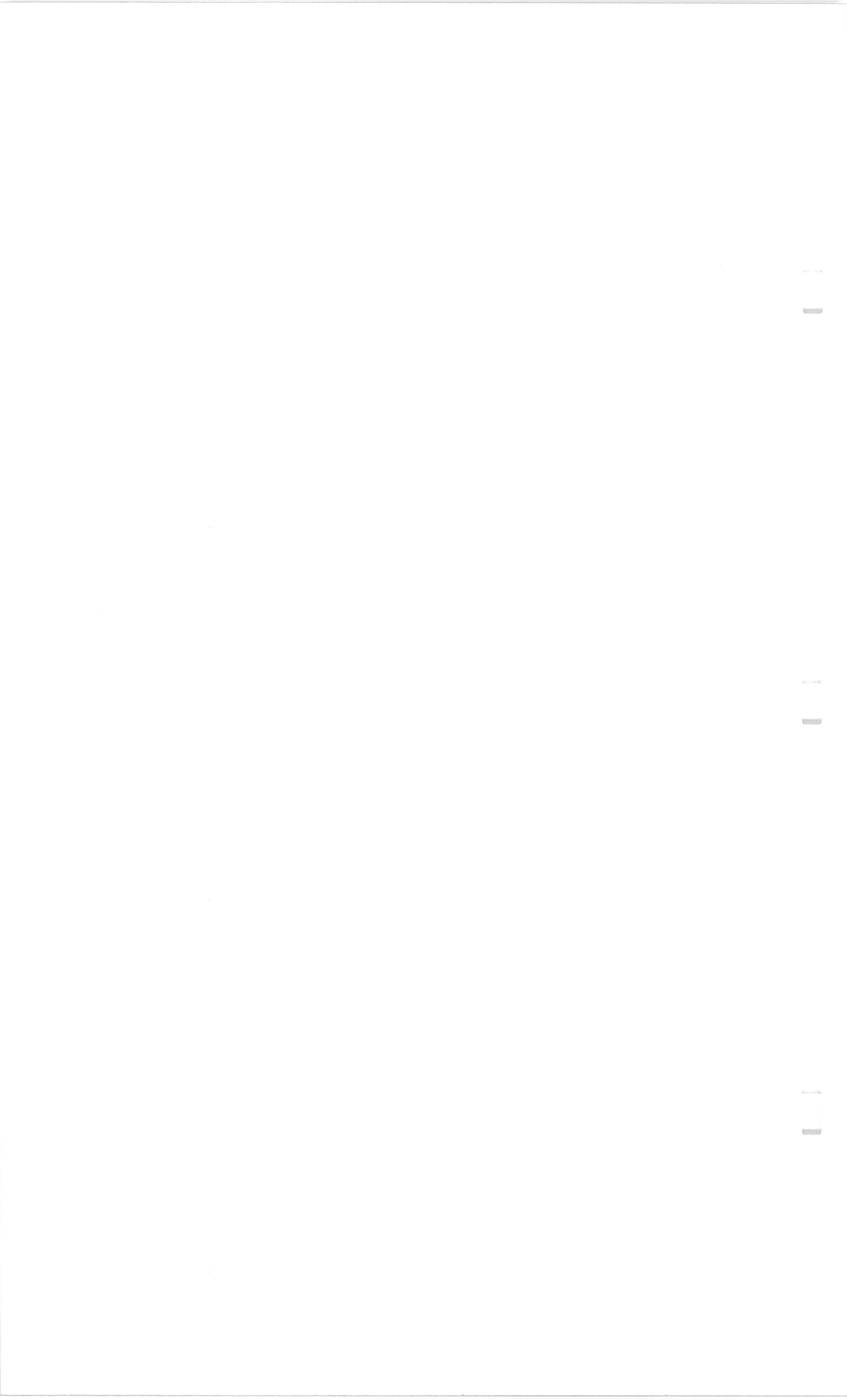
Aerni asked if someone from City of Bellevue staff is part of the agency. Curry stated she did not know but would find out and email the answer.

MOTION was made by Ackley, seconded by Jacobson, to recommend APPROVAL of a request to amend the Comprehensive Plan to include the Growth Management Plan of the Sarpy County and Cities Wastewater Agency. Applicant: City of Bellevue. APPROVAL based upon adoption of Resolutions 2021-13 and 2021-016. Upon roll call, all voted yes. MOTION carried unanimously.

Meeting adjourned at 8:29 p.m.



Dianna Van Horn
Planning Secretary



MINUTE RECORD

***5b2.**
08/17/2021

Bellevue City Council Meeting, August 3, 2021, Page 1

A regular meeting of the Mayor and Council of the City of Bellevue was called to order by Mayor Rusty Hike at the Bellevue City Hall on the 3rd of August 2021, at 6:00 p.m. Present were Council Members Bob Stinson, Paul Cook, Jerry McCaw, Don Preister, Thomas Burns, and Kathy Welch.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide, "Daily Record" and posting in two public places, the designated method for giving notice and was also given to the Mayor and all members of the City Council. A copy of the affidavit of publication, the certificate of posting, and the council's acknowledgment of receipt of notice are hereby attached to these minutes. All proceedings shown hereafter were taken while the convened meeting was open to the public.

PLEDGE OF ALLEGIANCE AND INVOCATION

Mayor Hike led the Pledge of Allegiance. Fr. Tom Jones, Church of the Holy Spirit (Episcopal), 1305 Thomas Drive, Bellevue, gave the invocation.

OPEN MEETINGS ACT

Mayor Hike announced a copy of the Open Meetings Act is posted by the entry in the City Council Chambers.

APPROVAL OF THE AGENDA:

Motion was made by Cook, seconded by Welch, to approve the agenda.

Roll call to approve the agenda was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

APPROVAL OF THE CONSENT AGENDA:

Motion was made by Stinson, seconded by Preister, to approve the consent agenda consisting of the following items: Approval of the July 20, 2021 Board of Equalization Minutes, Approval July 20, 2021 City Council Minutes; Approval of Claims; and Recommendation of the appointment of Dave Compton to the Bellevue Planning Commission for a three-year ending August 2024.

Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

SPECIAL PRESENTATIONS: None

ORGANIZATIONAL MATTERS: Consent Items

APPROVED CITIZEN COMMUNICATION: None

LIQUOR LICENSES:

Recommend approval of application for Krystal M. Carter as the new Manager for Buck's LLC dba "Bucky's Express 33" at 3003 Samson Way, Bellevue. (City Clerk)

Mayor Hike opened the meeting to a public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

No one in the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Motion was made by Cook, seconded by Welch, to recommend to the NLCC the approval of application for Krystal M. Carter as the new Manager for Buck's LLC dba "Bucky's Express 33" at 3003 Samson Way, Bellevue.

Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommend approval of application for Krystal M. Carter as the new Manager for Casey's Retail Company dba "Casey's General Store 2966 and Casey's Retail Store 3830" at 2104 Pratt Avenue and 7724 S. 22nd Street (respectively), Bellevue. (City Clerk)

Mayor Hike opened the meeting to a public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

No one in the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Motion was made by Cook, seconded by Welch, to recommend to the NLCC the approval of application for Krystal M. Carter as the new Manager for Casey's Retail Company dba "Casey's General Store 2966 and Casey's Retail Store 3830" at 2104 Pratt Avenue and 7724 S. 22nd Street (respectively), Bellevue.

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Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommend approval of application for Luvimart LLC dba "Dinah Mart Chandler Road" for a Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only, at 2609 Chandler Road, Bellevue and for Noel Vargas as Manager. (City Clerk)

Mayor Hike opened the meeting to a public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

No one in the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Motion was made by Welch, seconded by Stinson, to recommend to NLCC the approval of application for Luvimart LLC dba "Dinah Mart Chandler Road" for a Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only, at 2609 Chandler Road, Bellevue and for Noel Vargas as Manager.

Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommend approval of application for A&K Sun Valley dba "Sundowner Bar" for a Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only, at 5031 Harrison Street, Bellevue and for Kimberly M. Bleca as Manager. (City Clerk)

Mayor Hike opened the meeting to a public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance. Applicant was present to answer any questions.

No one in the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Motion was made by Preister, seconded by Cook, recommend to NLCC the approval of application for A&K Sun Valley dba "Sundowner Bar" for a Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only, at 5031 Harrison Street, Bellevue and for Kimberly M. Bleca as Manager.

Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

ORDINANCES FOR ADOPTION (Third Reading):

Ordinance No. 4044: Request to rezone Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen's Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, Nebraska from BGH and BNH to BGH and RG-50 for the purpose of existing commercial and residential development. Applicant: Svendsen Real Estate, LLC. General Location: 3501 Harrison Street. (Planning Manager)

Ordinance No. 4044: An ordinance to amend the official Zoning Map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about 3501 Harrison Street, more particularly described in Section 1 of the ordinance and to provide an effective date was read for the third and final time.

Motion was made by Stinson, seconded by Preister, to approve Ordinance No. 4044. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Request to preliminary plat Lots 1 through 5, Svendsen Acres Replat One.

Motion was made by Cook, seconded by Burns, to approve preliminary plat Lots 1 through 5, Svendsen Acres Replat One. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Request to final plat Lots 1 through 5, Svendsen Acres Replat One.

Motion was made by Stinson, seconded by Welch, to approve final plat Lots 1 through 5, Svendsen Acres Replat One. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Waiver of Section 6-4, Subdivision Regulations, regarding Street Design Standards.

Motion was made by Preister, seconded by Burns, to approve Waiver of Section 6-4, Subdivision Regulations, regarding Street Design Standards. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

MINUTE RECORD

Bellevue City Council Meeting, August 3, 2021, Page 3

Ordinance No. 4045: Request to rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest ¼ of Section 27, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG to RG-28-PS for the purpose of multi-family residential development. Applicant: Redwood USA, LLC. General Location: South 25th Street and Cornhusker Road. (Planning Manager)

Ordinance No. 4045: An ordinance to amend the official Zoning Map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about South 25th Street and Cornhusker Road, more particularly described in Section 1 of the ordinance and to provide an effective date was read for the third and final time.

Motion was made by Welch, seconded by McCaw, to approve Ordinance No. 4045. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Request to preliminary plat Lot 1, Redwood 25.

Motion was made by Welch, seconded by Stinson, to approve preliminary plat Lot 1, Redwood 25. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Request to final plat Lot 1, Redwood 25.

Motion was made by Stinson, seconded by Welch, to approve final plat Lot 1, Redwood 25. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

ORDINANCES FOR PUBLIC HEARING (Second Reading): None

ORDINANCES FOR INTRODUCTION: (First Reading):

Ordinance No. 4046: An ordinance a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS. Applicant: Freedom Village, LLC (Jolene Roberts). General Location: 1811 Hillcrest Drive. (Planning Manager)

Ordinance No. 4046: An ordinance to amend the official zoning map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about 1811 Hillcrest Drive, more particularly described in Section 1 of the ordinance and to provide an effective date was read by title only for the first time and scheduled for a public hearing at the Council meeting on August 17th.

Ordinance No. 4047: An ordinance to request the rezoning of Lots 1 and 2 Harold Square Replat One, being a replat of Lot 49, Harold Square from RG-50 to RG-20 and RG-50, for the purpose of a single-family residence and care facility for disabled adult. Applicant: Sharon Chaudhuri. General location: 8700 S. 25th Street. (Planning Manager)

Ordinance No. 4047: An ordinance to amend the official zoning map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about 8700 South 25th Street, more particularly described in Section 1 of the ordinance and to provide an effective date was read by title only for the first time and scheduled for a public hearing at the Council meeting on August 17th.

Ordinance No. 4048: To amend Article 1, Chapter 28, of the Bellevue Municipal Code by amending 28-7 and adding a new Section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks. (Public Works Director)

Ordinance No. 4048: Ordinance No. 4048: An ordinance to amend Article 1, Chapter 28, of the Bellevue Municipal Code by amending Section 28-7 and adding a new Section 28-15 regarding the declaration of Nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks and to provide an effective date was read by title only for the first time and scheduled for a public hearing at the Council meeting on August 17th.

Ordinance No: 4049: An ordinance to adopt the Annual Appropriations Bill. (Finance Director)

Ordinance No: 4049: An ordinance to adopt the Annual Appropriations Bill.

Ordinance No. 4049: An ordinance to adopt the budget statement to be termed the Annual Appropriations Bill; to appropriate sums for necessary expenses and liabilities; to provide for an effective date was read by title only for the first time and scheduled for a public hearing at the Council meeting on August 17th.

Mayor Hike thanked Councilman Burns, Councilwoman Welch, and Councilman Cook for their hard work on the Budget Committee. He mentioned about \$10 million was carried over from last year due to Covid.

MINUTE RECORD

Bellevue City Council Meeting, August 3, 2021, Page 4

PUBLIC HEARINGS ON MATTERS OTHER THAN ORDINANCES:

Recommendation to approve Event Application for Premier Sport Village to host an Outdoor Family Festival with live music on Saturday, August 7, 2021 from 4:00 p.m. to 11:00 p.m., at 14405 Harlan Lewis Road. (City Clerk)

Mayor Hike opened the meeting for public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

Mr. Sean Johnston, 7001 N. 153rd Street, Bennington, stated the intentions when Premier Sports Village was open was to allow the community to use the 25 acres. This time of year, is slow for youth sports. Different events offered to the community will bring income to keep the ball fields running. Mr. Johnston provided details of the event.

No one else from the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Motion was made by Burns, seconded by Stinson, to recommend to approve Event Application for Premier Sport Village to host an Outdoor Family Festival with live music on Saturday, August 7, 2021 from 4:00 p.m. to 11:00 p.m., at 14405 Harlan Lewis Road. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommend approval of a Special Fireworks Application for Subby Anzalone to provide fireworks display for the Premier Sports Village Outdoor Family Festival on August 7, 2021, at approximately 10:00 p.m. for 10-12 minutes. (City Clerk)

Motion was made by Burns seconded by Welch, to recommend approval of a Special Fireworks Application for Subby Anzalone to provide fireworks display for the Premier Sports Village Outdoor Family Festival on August 7, 2021, at approximately 10:00 p.m. for 10-12 minutes. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Mayor Hike mentioned Items 14b., 15a., 15b., and 15c. were pulled by the Planning Manager.

RESOLUTIONS: None

CURRENT BUSINESS:

Recommendation to approve a Special Fireworks Application for Bellino Fireworks to provide a special firework display for the Bellevue Rocks Riverfront Festival on 8/14/2021, sometime between 9:45 p.m. and 10:45 p.m., for no longer than 15 minutes. (City Clerk)

Motion was made by Stinson, seconded by Burns, to recommend approval of a Special Fireworks Application for Bellino Fireworks to provide a special firework display for the Bellevue Rocks Riverfront Festival on 8/14/2021, sometime between 9:45 p.m. and 10:45 p.m., for no longer than 15 minutes. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommendation to approve a separate Agreement with the Chamber of Commerce for additional funding for marketing and rebranding services, in an amount not to exceed \$55,000.00. (Administrator / Community Development Director). {Chamber request two-week extension - Motion to table till August 17th}

Motion was made by Cook, seconded by Welch, to table this item until August 17th.

Mr. Jim Ristow, City Administrator, explained the Chamber has hired a new president. By tabling this item, it will give the Chamber time to review the agreement and answer questions the Council had two weeks ago.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Approve and authorize the Mayor to sign the documents to release the CDBG Housing Rehabilitation Deed of Trust for 832 Hidden Hill Drive, including the Deed of Reconveyance, in an amount not to exceed \$9,432.10. (Finance Director/CDBG Program Specialist)

Motion was made by Burns, seconded by Preister, to approve and authorize the Mayor to sign the documents to release the CDBG Housing Rehabilitation Deed of Trust for 832 Hidden Hill Drive, including the Deed of Reconveyance, in an amount not to exceed \$9,432.10. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

MINUTE RECORD

Bellevue City Council Meeting, August 3, 2021, Page 5

Recommendation to approve the purchase of (18) new radar units from MPH Industries, in an amount not to exceed \$30,600.00. (Capt. Kurt Stroehrer)

Motion was made by Cook, seconded by Welch, to are recommend to approve the purchase of (18) new radar units from MPH Industries, in an amount not to exceed \$30,600.00. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Approve & authorize the Mayor to sign the Memorandum of Understanding (MOU) with the Sarpy County Force Investigation Team. (Capt. Tim Melvin)

Motion was made by Welch, seconded by McCaw, to approve & authorize the Mayor to sign the Memorandum of Understanding (MOU) with the Sarpy County Force Investigation Team.

Motion was made by Cook, seconded by Burns, to open this item for Public Hearing. Roll call vote on the motion to open public hearing was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: absent: none. Motion carried.

****Councilman Stinson advised the City Clerk after the meeting he voted no and would like the record to indicate this. Therefore, the vote was as follows: Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: Stinson; absent: none. Motion carried.**

Mr. Brian Hanson, 2704 Georgia Avenue, stated Springfield and Gretna should be included as cities and signatory parties on the MOU. Ms. Bree Robbins, City Attorney, explained the Sarpy County Sheriff and the Deputies are patrolling those areas involved. Gretna and Springfield would not need to sign off on it due to their law enforcement is not involved.

No one else from the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Approve and authorize the Mayor to sign the On-call Work Authorization with Paul Davis Systems of Omaha of Inc., not to exceed the budgeted amount of \$6,000.00 (if needed). (Public Works Director)

Motion was made by Stinson, seconded by Cook, to approve and authorize the Mayor to sign the On-call Work Authorization with Paul Davis Systems of Omaha of Inc., not to exceed the budgeted amount of \$6,000.00. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Approve and authorize the Mayor to sign the agreement with HDR Engineering, Inc. for the Sarpy Wastewater Agency Connection Study Project, in an amount not to exceed \$73,900.00. (Public Works Director)

Motion was made by Preister, seconded by Welch, to approve and authorize the Mayor to sign the agreement with HDR Engineering, Inc. for the Sarpy Wastewater Agency Connection Study Project, in an amount not to exceed \$73,900.00. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Approve and authorize the Mayor to sign the agreement with HGM Associates Inc. for the Public Works Facility Master Plan Project, in an amount not to exceed \$31,400.00. (Public Works Director)

Motion was made by Burns, seconded by Preister, to approve and authorize the Mayor to sign with HGM Associates Inc. for the Public Works Facility Master Plan Project, in an amount not to exceed \$31,400.00. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Approve and authorize the Mayor to sign the agreement with Jacobs Engineering Group Inc for the Storm Drainage Projects, in an amount not to exceed \$321,823.00. (Public Works Director)

Motion was made by Stinson, seconded by Burns, to approve and authorize the Mayor to sign the agreement with Jacobs Engineering Group Inc for the Storm Drainage Projects, in an amount not to exceed \$321,823.00. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommendation to approve a Special Fireworks Application for Midwest Fireworks to provide a special fireworks display for the Bellevue East High School Homecoming on September 10, 2021 (Rain date September 11, 2021), 1401 High School Drive at 10:00 p.m. (City Clerk)

Motion was made by Cook, seconded by Burns, to recommend to approve a Special Fireworks Application for Midwest Fireworks to provide a special fireworks display for the Bellevue East High

MINUTE RECORD

Bellevue City Council Meeting, August 3, 2021, Page 6

School Homecoming on September 10, 2021 (Rain date September 11, 2021), 1401 High School Drive at 10:00 p.m. (City Clerk)

Motion was made by Cook, seconded by Welch, to change the date to October 1, 2021 with Rain Date of October 2, 2021. Roll call vote on the amendment to change the date to October 1st and the Rain Date to October 2nd was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Roll call vote to approve a Special Fireworks Application for Midwest Fireworks to provide a special fireworks display for the Bellevue East High School Homecoming on October 1, 2021 (Rain date October 2, 2021), 1401 High School Drive at 10:00 p.m., as amended, was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Recommend approval to purchase and install a new gazebo for Washington Park from Creative Sites, LLC and to use the funds from the Parks Fund for the expenditures, in an amount not to exceed \$69,836.00 and to authorize the Mayor to sign. (Public Works Director)

Motion was made by Preister, seconded by Burns, to recommend approval to purchase and install a new gazebo for Washington Park from Creative Sites, LLC and to use the funds from the Parks Fund for the expenditures, in an amount not to exceed \$69,836.00 and to authorize the Mayor to sign. Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

ADMINISTRATION REPORTS: Comments must be limited to items on the current Reports.

Councilman Burns requested Mr. Ristow provide an update on the meeting with the Olde Towne developer. Mr. Ristow mentioned the largest hold up is with the negotiations with the Olde Towne developer and Apollo Heating and Air on the buyout of the property.

Motion was made by Burns, seconded by Preister, to open the administration reports for public hearing. Roll call vote on the motion to open for public hearing was as follows: Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: Stinson; absent: none. Motion carried.

Mr. Brian Hanson, 2704 Georgia Avenue, questioned why the City Attorney does not complete an administration report. He suggested since the legal department is now in house, he feels it should appear in the reports.

No one else from the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

CLOSED SESSION: NONE

ADJOURNMENT:

There being no further business to come before the Council at this time, on motion by Welch, seconded by Burns, the meeting was adjourned at 6:48 p.m.

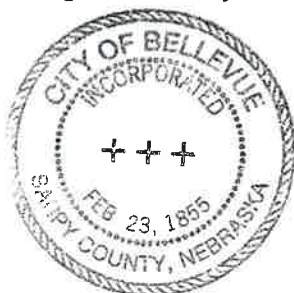
Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; Absent: none. Motion carried.


Susan Kluthe, City Clerk

Rusty Hike, Mayor

I, the undersigned, City Clerk of the City of Bellevue, Nebraska, hereby certify that the foregoing is a true and correct copy of proceedings had and done by the Mayor and Council on August 3, 2021; that all of the subjects included in the foregoing proceedings were contained in the agenda for the meeting, kept continually current and readily available for public inspection at the office of the City Clerk; that such subjects were contained in said agendas for at least twenty-four hours prior to said meeting; that at least one copy of all reproducible material discussed at the meeting was available at the meeting for examination and copying by members of the public; that the said minutes were in written form and available for public inspection within ten working days and prior to the next convened meeting of said body; that all news media requesting notification concerning meetings of said body were provided advance notification of the time and place of said meeting and the subjects to be discussed at said meeting.


Susan Kluthe, City Clerk



City of Bellevue

Tree Board

June 8, 2021 meeting minutes



Our first in person meeting since the pandemic was held on June 8th, 2021 with the following members present: Jo Langabee, Holly Hofreiter, Tom, Mruz, Don Preister, Nancy Scott, and Deborah Woracek. Excused:

Scott Evans, Jim Shada, and Craig Kimball. Doug Clark, Bellevue Public Works Director, was invited but was unable to attend.

The meeting was called to order by the President, Jo Langabee. She reminded all to turn in their hours to Deborah for our records. Jo asked for a ruling on the April minutes. Don moved and Holly seconded a motion that they be approved. The motion passed. **Deborah will email the minutes to the City of Bellevue to be filed.**

Park report was given by Joanne in Jim's absence. Not much is happening except for mowing has been taking place this season. There have been weed issues at Blackhawk and Sundial Park which is by the 25th Street fire station. Jim Shada would like Jo to supervise a minimum waged staff on what to weed. Jo and Holly observed the beds and suggest that they be weeded around what is to be left in the beds. The loss of park staff was discussed. A full-time gardener with at least two helpers would be ideal. Jim also said he is concerned with the rose garden in American Hero's Park. The Honey Locusts took a hit with the early frost last year on top of our area having a major drought. They may need to be taken down. Holly suggested we ask Green Bellevue for volunteers to help with weeding in the various gardens, etc. Jo asked **Don to ask the members of Green Bellevue to see if there is any interest to help with this.**

Old Business

Washington Park carvings: - Don reported that Steve Tamayo, the artist, liked the ideas for the first carving. It will feature a Native American woman facing east, a warrior facing west, and other images to the North and South. Don wants this completed first as it will represent the First People. Steve will use Omaha Tribe images for his drawings.

Report on Invasive species: - Nothing more has been sprayed. Jo suggested we pull any if we see them when in the parks. She talked to Chad Graeve, Natural Resource Specialist at Hitchcock Nature Center, about the problem and learned he uses a different chemical than we have used. **Jo will get the information to Tom Mruz to compare results.** Chad felt they had good luck with the results.

Bellevue 411 –Articles written by Scott Evans were put on social media. **Jo will ask him to write one on bagworms issues.**

NRD Tree grant - Jo was congratulated on spending the exact amount of the grant by obtaining three extra trees, two of which were used as Earth Day grand prizes. Most of the trees were planted at Stonecroft Park and some were planted at American Hero's Park. The grant check has been mailed to the nursery.

Jo did apply for another grant for fall tree planting from the Nebraska State Arboretum. If we get the grant, they will pick out 10 trees for us to plant. Jo would like trees all along the entry road in American Hero's Park. She asked Jim about the plan before she applied for the grant. He approved and we should hear around the middle of July. If we get the grant, we will receive the trees. **She also asked Don to check into volunteers to continue watering our newest trees in Stonecroft Park and in Hero's Park.**

Earth Day Activities Review – Jo reported, and all present agreed that we should consider that the month-long activities for Sarpy County's Earth Day went very well and should be considered successful. Deborah requested we have another pruning workshop when the time is appropriate. **Tom will organize setting one up.** Don suggests that the points for the Earth Day Challenge passport should include bonus points for actually attending an event. For next year's events Jo would like a mulch party at Bellevue West, Tom said this should be organized in the fall and could include using volunteers from the BWHS ROTC, Don suggested we ask the Offutt volunteers to help at Hero's Park as well and he thinks we can also ask for volunteers from Mutual of Omaha. Organizing this will be a good winter project to make the Earth Day activities even better.

Bee City USA status – Don reported that it is now official that Bellevue is a Bee City USA. Any new gardens added to the city should now be designated as pollinator gardens. Don pointed out that we will need to line up the needed after care for these beds. He has received several requests for them. Nancy has 32 plants she won with the option that children help to plant and maintain the pollinator garden. It was suggested we approach Michelle Foss's Scout Group for this project. It could be done in Sundial Park. Or if an elementary school wants to put in a pollinator garden, then Nancy's plants could be used for that project. Bee City USA's requirements go along with Tree City USA's. Nancy questioned the city mowing all the ditches and hills along our roads. Don replied that the city contracts out this work.

Winter Projects:

Letterhead drawings status - Holly explained the definition of a logo. It should reflect the essence of the group. Her daughter, a graphic artist, is willing to assist with this. She suggested one tree in a circle with our name incorporated in the outline. Nancy and Deborah agreed with Holly's daughter that simple would be better. **Holly's daughter could then complete the logo using an outline of one tree that Nancy will draw.** The idea of incorporating the name, Bellevue Tree Board, into the outside circle was accepted by all present.

Tree List of desirable trees and Invasives flyers – Holly gave all present a copy of her sample for the invasive species flyers for us to read and edit. **She would like us to give her questions to help her decide what to put in the flyers to give ideas of what to plant.** For example, do we include undesirable characteristics such as, maple seed helicopters or mulberry stains on driveways, etc. or not? Holly changed the resources to direct the public to the various organizations rather than listing a specific website which may change in the future. She will continue working these lists and hopes to have them available for download in the future

New Business:

Two new Tree USA signs were sent to Jo along with other things such as a desk sign, and 10-year flags. **Don will coordinate with the street dept. for where the new signs should be placed. He and Jo will distribute the stickers, etc. to appropriate places.**

Tree inventory – Jo asked if we should include shrubs and bushes in our inventory. Holly said it adds to the load as we are now included the DBH of the trees as well as their condition. Don feels it adds too much to the task. All agreed. Jo will delete bushes that were added to some of the inventory. She reported that we still need to inventory Copper Creek and Glenmorrie Parks as well as the Log Cabin and Timber Lake and Sunrise. The cemetery also needs to be redone. Thanks to the software program that Graham gave to Jo it will be easier to complete. He can then print out a year-end report for us.

The new parks, Timber Creek, Copper Creek, and Cottonwood will be added to the records.

Spraying for Ailanthus & Honeysuckle is on hold until the proper time of year. More research will be done to see how effective it is to do.

Cutting down trees – Harvesting wood was brought up to Jo by Chad Graeve from Hitchcock Nature center. She asked the Board if we should consider doing this and asked if it is worth it. Chad mentioned several places will take the wood, dry it and return it as lumber for use by the town. Tom said that is it worth it as the ash trees being cut down are healthy and should yield good lumber. **Jo will research the issue by calling some of the companies and report back to the Board. Don will also check with the city tree dump to see if harvesting the wood could be an option.**

Jo signed up the Board to participate in the workshop for tree boards presented by the Nebraska Forest Service. This includes a monthly lecture on Zoom that can be viewed by all after it is presented. She will send us the link to access the programs. The first lecture is June 18th.

It was decided to not meet in July but to have our next meeting be August 10th at the City offices. Tom moved and Holly seconded a motion to adjourn the meeting. The motion passed.

Respectfully submitted,

Deborah Woracek, Secretary

Tentative agenda for August 10,2021

Attendance

Volunteer Hours

Approve Minutes of June 8,2021 meeting

Park Report – Jim

Old Business

 Washington Park carvings

 Report on Invasive species

 Bellevue 411 – articles

Winter Projects

 Letterhead drawings status

 Tree List and Invasives flyers – Holly

New Business

Tree inventory

New parks

Spraying for Ailanthus & Honeysuckle

Cutting down trees – harvesting wood

Monthly timeline with duties

MINUTE RECORD

*6.
08/17/2021

CLAIMS FOR AUGUST 17, 2021

PAGE 1

MAYOR

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	11.28
DILLONS CUSTOMER CHARGES	CPS-BICYCLE RIBBON CUTTING	60.22
THE DAILY RECORD	CPS-SUBSCRIPTION	200.00
		<hr/>
		\$ 271.50

CITY ADMINISTRATOR

CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	54.82
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	21.83
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	4,641.90
JIMMY JOHNS	CPS-SUPPLIES FOR CEA NEGOTIATIONS	46.32
RINE AUCTIONEERS	CPS-OFFICE DESK	1,500.00
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	232.77
		<hr/>
		\$ 6,497.64

LEGAL

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	22.20
DROP BOX	CPS-LEGAL FEES	19.99
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	2,362.64
GOTOMEETING	CPS-MONTHLY CONFERENCE CALLS	154.08
NEBRASKA STATE BAR ASSOCIATION	CPS-TRAINING-GOVT PRACTICES-MATTHEWS	100.00
NEBRASKA STATE BAR ASSOCIATION	CPS-TRAINING-GOVT PRACTICES-ROBBINS	200.00
NEBRASKA.GOV	CPS-LEGAL FEES	92.00
SARPY CO REGISTER OF DEEDS	CPS-RECORDING FEES	10.25
UNITED STATES POSTAL SERVICE	CPS-CERTIFIED MAILING	28.00
		<hr/>
		\$ 2,989.16

CABLE ADVISORY

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	7.52
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/07/19-2021/08/18	9.04
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	3,857.20
		<hr/>
		\$ 3,873.76

CITY CLERK

AMAZON.COM, LLC	CPS-BINDERS	19.56
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	60.56
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	11.28
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	1,934.63
		<hr/>
		\$ 2,026.03

FINANCE/RISK MANAGEMENT

CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	150.76
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	54.68
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	5,401.24
INFOSAFE SHREDDING	SHREDDING SERVICE	30.00
RED WING BUSINESS ADVANTAGE ACCT	SAFETY BOOTS-D RUSH	179.99
		<hr/>
		\$ 5,816.67

LIBRARY

ABE BOOKS	CPS-BOOKS	24.34
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	116.95
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	37.61
DILLONS CUSTOMER CHARGES	CPS-CREDIT-SUPPLIES	29.08
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	6,870.44
INGRAM LIBRARY SERVICES	BOOKS	2,173.01
JENNIFER SULLIVAN-TRIPLETT	REIMB FOR LOCAL MILEAGE	9.68
MATRIX BUSINESS SYSTEMS INC	COPIER EXPENSE	13.08
OCLC INC	MONTHLY SUBSCRIPTION 2021/08/01-2021/08/31	1,384.67

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CLAIMS FOR AUGUST 17, 2021

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LIBRARY (cont'd)

OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	2,148.18
QUADIENT FINANCE USA, INC	POSTAGE REFILL	600.00
SCOTT WELCH	MONTHLY WEB HOSTING-AUG 2021	125.00
SECRETARY OF STATE	(3) NOTARY APPLICATIONS	90.00
VERIZON WIRELESS	MONTHLY SERVICE 2021/06/17-2021/07/16	400.10
WALMART-CAPITAL ONE	CC-SUPPLIES	33.34
		<hr/>
		\$ 14,055.48

ADMINISTRATIVE SERVICES

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	52.57
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	13,872.96
GRETNA GUIDE & NEWS	LEGAL AD	14.50
HUMAN RESOURCE ASSOC OF THE MIDLANDS	CPS-JOB POSTING AD	100.00
HUMAN RESOURCE ASSOC OF THE MIDLANDS	CPS-MEMBERSHIP DUES-DECKER	120.00
INFOSAFE SHREDDING	SHREDDING SERVICE	30.00
MATRIX BUSINESS SYSTEMS INC	COPIER EXPENSE	77.92
MORROW AND ASSOCIATES	ENTRY LEVEL EXAM FOR PO	3,750.00
ONE SOURCE	BACKGROUND CHECKS-JUL 2021	993.90
SOCIETY FOR HUMAN RESOURCE MGT	CPS-MEMBERSHIP DUES-DECKER	219.00
TRISTAR CLAIMS MANAGEMENT SERVICES	WORK COMP CLAIMS-JUNE AND JULY 2021	774.41
UPS	MAILING	1.41
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	2,610.85
		<hr/>
		\$ 22,617.52

CODE ENFORCEMENT

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	22.11
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	9,071.05
GREAT PLAINS UNIFORMS	BALLISTIC VEST-WOLD	750.66
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	442.77
		<hr/>
		\$ 10,286.59

PUBLIC WORKS

CARAHSOFT TECHNOLOGY CORPORATION	BENTLEY SUPPORT SUBSCRIPTION	7,805.00
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	45.14
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	8,374.92
MATRIX BUSINESS SYSTEMS INC	COPIER EXPENSE	135.48
NEBRASKA IOWA SUPPLY CO	DIESEL FUEL FOR CITY TANKS	3,691.71
ONE CALL CONCEPTS	LOCATES	740.63
SARPY CO REGISTER OF DEEDS	RECORDING WAIVER-SIDEWALK	10.00
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	75.85
		<hr/>
		\$ 20,878.73

PARKS

US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	4,162.92
ALEXANDER LAWN & LANDSCAPE, INC	MOWING CYCLE 7	9,521.90
AQUA-CHEM	FLOW SWITCHES SENSORS	242.67
A-RELIEF SERVICES	PORTABLE RESTROOMS-CITY PARKS	483.00
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	33.85
DOSTALS CONSTRUCTION CO	LOOKINGGLASS PARK IMP	416,331.48
DULTMEIER SALES LLC	POLY FITTINGS, SWIVEL	47.80
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	8,089.18
FARMERS NATIONAL COMPANY	RESET AERATOR-OAKHURST POUND	400.00
FERGUSON ENTERPRISES INC #1657	WATER HEATER	1,365.39
HOTSY EQUIPMENT CO	PRESSURE WASHER PARTS	224.50

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PARKS (cont'd)

LINCOLN FENCE CONTRACTORS	FENCING-AHP KRAMER STRUCTURE	10,793.00
MENARDS	SHOE BRUSH, NUTS	11.92
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/05/15-2021/07/12	8,786.12
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	5,789.25
PILOT ROCK	REPLACEMENT BENCH	364.00
SITEONE LANDSCAPE SUPPLY	WASP SPRAY, STRIPING PAINT	140.97
TERRY HUGHES TREE SERVICE	TREE REMOVAL-PAYNE DR	5,197.50
THOMPSON DREESSEN & DORNER	LOOKINGGLASS SPLASH-2021/07/28-2021/08/01	2,600.00
WALKERS UNIFORM RENTAL	UNIFORM SERVICE	13.42
		<hr/>
		\$ 474,598.87

RECREATION

AMERICAN FOODS GROUP	CPS-CONCESSION SUPPLIES	166.57
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	47.52
DICK'S CLOTHING AND SPORTING GOODS	CPS-ATHLETIC EQUIPMENT	227.76
DILLONS CUSTOMER CHARGES	CPS-CONCESSION SUPPLIES	333.35
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	2,109.96
KIMBERLY THOMPSON	REFUND WEDDING DEPOSIT	375.00
SAM'S CLUB DIRECT	CPS-CONCESSION SUPPLIES	991.90
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	685.10
WESTLAKE ACE HARDWARE	CLEANING SUPPLIES, KEYS	14.98
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		\$ 4,952.14

BUILDING MAINTENANCE

AQUA-CHEM	CHEMICALS FOR POOLS	736.85
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	3.76
DC ELECTRIC/HEARTLAND LIGHTING	3 PORT WIRE SPLICES	148.29
DUKE AERIAL EQUIPMENT	SCISSOR LIFT ANNUAL INSPECTION	628.35
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	8,258.48
FERGUSON ENTERPRISES INC #1657	PLUMBING SUPPLIES	213.87
HELM SERVICES, INC	REPLACE BELT, RESET BLOWER MOTOR	280.00
IDEAL PURE WATER COMPANY	BOTTLED WATER	35.00
INTERSTATE POWER SYSTEMS, INC	GENERATOR SERVICE-1510 WALL ST	258.00
JACKSON SERVICES, INC	DOOR MAT SERVICE-LIBRARY	108.39
MENARDS	LUMBER, BRICKS, GUTTER, LIMESTONE, TILE, COUPLERS, GFCI TESTERS, BATTERIES	980.35
MMC MECHANICAL CONTRACTORS, INC	A/C MAINTENANCE	951.35
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/22-2021/07/22	2,216.39
SECURITY EQUIPMENT	SECURITY MONITORING	2,262.00
SITEONE LANDSCAPE SUPPLY	COMPRESSION COUPLING	59.80
STATE STEEL	HOT ROLLED ANGLE	111.41
SURVEILLANCE-VIDEO	CPS-REPLACE RELAY AT PD GATE	350.00
THE HOME DEPOT PRO-SUPPLY WORKS	JANITORIAL SUPPLIES	538.48
TRICO MECHANICAL SERVICES	A/C MAINTENANCE - SARPY COMM TOWER, DIST 3, LIBRARY	2,171.17
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	632.44
VOSS LIGHTING	JANITORIAL SUPPLIES	280.80
WESTLAKE ACE HARDWARE	SUPPLIES	10.98
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		\$ 21,236.16

CEMETERY

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	3.76
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	1,506.62
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	109.22
PULVERENTE MONUMENT COMPANY, LLC	MAUSOLEUM DOOR ENGRAVING	50.00
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	230.64
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		\$ 1,900.24

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STREETS

ALFRED BENESCH & COMPANY	2021 CONCRETE PROJECTS-2021/06/07-2021/07/04	9,622.06
ALFRED BENESCH & COMPANY	2021 OVERLAY PROJECTS-2021/06/07-2021/07/04	12,647.48
ALFRED BENESCH & COMPANY	2021 A/C RESURFACING-2021/06/07-2021/07/04	3,863.75
ALFRED BENESCH & COMPANY	S 25TH IMPROVEMENTS-2021/02/15-2021/07/04	2,620.70
ALFRED BENESCH & COMPANY	CAPEHART RD IMP 2021/07/05-2021/08/01	7,993.50
CARHARTT, INC	CPS-UNIFORM-D RUSH	36.54
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	33.85
CONCRETE SUPPLY, INC	CONCRETE	1,245.00
DIY HOLDING COMPANY, LLC	2021 CONCRETE PAVEMENT REHAB	161,748.00
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	39,960.10
FELSBURG HOLT & ULLEVIG, INC	36TH ST TO CORNHUSKER DESIGN 2021/06/01-2021/06/30	62,270.73
K2 CONSTRUCTION	S 25TH ST IMP TO 2021/06/21-FINAL	12,993.57
LOGAN CONTRACTORS SUPPLY	PAVERS STREET EDGES	498.00
MENARDS	LUMBER	148.08
MID-AMERICAN SIGNAL	MATRIX SENSOR AND HARNESS, SENSOR FOR INTERSECTIONS	92,743.00
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/22-2021/07/22	83,681.46
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	2,992.74
OMNI	2021 OVERLAY PROJECTS	68,146.61
OMNI	ASPHALT	895.70
READY MIXED CONCRETE COMPANY	CONCRETE	15,146.84
TRAVELERS	LIABILITY CLAIM, AUTO LIABILITY CLAIM	1,818.70
TRISTAR CLAIMS MANAGEMENT SERVICES	WORK COMP CLAIMS-JUNE AND JULY 2021	4,454.54
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	2,986.66
WALKERS UNIFORM RENTAL	UNIFORM SERVICE	13.42
		\$ 588,561.03

FLEET MAINTENANCE

911 CUSTOM, LLC	T-RAIL MOUNT, TRIGGER GUARD,ADAPTOR	1,946.33
A&L HYDRAULICS, INC	REBUILD HYD CYLINDERS	2,336.04
AA WHEEL & TRUCK SUPPLY, INC	LANYARDS, CABLE	9.34
ALLIED OIL & TIRE COMPANY	BULK OIL, DRUM CHARGE, ANTIFREEZE	2,699.66
AUTO VALUE PARTS - SOUTH OMAHA	SPARK PLUGS, TENSIONER, MUFFLER, DOOR HANDLE, FREON	1,133.75
AUTOMOTIVE WAREHOUSE DIST, INC	PARTS, COUPLINGS, MUFFLER CLAMP, PRIMELINE	1,949.32
BAXTER CHRYSLER DODGE JEEP	COWL PANEL, COOLING FAN	286.84
BAXTER FORD	NAME PLATE, NUT, SEAT BELT, SENSOR, RETAINER, BRACKET, JOINT KIT	870.60
BEARDMORE CHEVROLET	PIPE	51.72
BELLEVUE TIRE & AUTO SERVICE	TIRES	556.08
BRIGGS & STRATTON, LLC	VISOR LAMP	52.69
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	51.80
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	26.33
CONNECTED AUTOMOTIVE SYSTEM	CPS-TECH DIAGNOSTIC SUBSCRIPTION	8,260.00
CORNHUSKER INTERNATIONAL TRUCKS	PARTS, FITTINGS, INJECTOR, BATTERY, ENGINE KIT, VALVE KIT	7,727.53
DANKO EMERGENCY EQUIPMENT	FOLDING LADDER BRACKET	297.36
DULTMEIER SALES LLC	SCREEN, STRAINER	245.32
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	19,510.81
FACTORY MOTOR PARTS CO	SPARK PLUGS, IGNITION COIL, FILTERS	87.07
FARM PLAN	FILLER CAP, PARTS, CHAIN SAWS	766.56
FEDERAL EXPRESS CORPORATION	CPS-DRILLING PAPER FOR BINDER	16.49
HENDERSON PRODUCTS, INC	HYDRAULIC MOTOR, SPINNER PARTS, AUGER SPEED SENSOR	1,587.71
INLAND TRUCK PARTS CO	SLACK ADJUSTERS	165.60

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FLEET MAINTENANCE (cont'd)

INTERSTATE BATTERIES	BATTERIES	1,537.54
JIM HAWK TRUCK TRAILERS	FIRE EXTINGUISHERS, CARTRIDGES, FLAP	586.56
KRIHA FLUID POWER CO	FITTINGS, COUPLERS, DRAIN CORK	443.98
LAURSEN ASPHALT REPAIR EQUIPMENT A433	DIGITAL CONTROLLER	543.27
LIBRA SAFETY PRODUCTS	LENS CLEANING	42.00
LOGAN CONTRACTORS SUPPLY	CREDIT-COUPLING	(12.38)
MACQUEEN EQUIPMENT, LLC	PARTS FOR ST359	305.38
MATHESON TRI-GAS INC	WELDING SUPPLIES	96.28
MENARDS	RUST PROOF SPRAY, SPRING, TOTES, SUPPLIES	159.03
MICHAEL TODD & COMPANY	CUTTING EDGES	1,289.66
NAFA FLEET MANAGEMENT ASSOCIATION	CPS-MEMBERSHIP DUES	499.00
NAPA AUTO PARTS	STEERING GEAR, LAMP, GROMMETS, FILTERS, RADIATOR FAN	1,166.39
NEBRASKA IOWA INDUSTRIAL FASTENERS	SUPPLIES, DRILL BITS, CLAMPS	158.16
OMAHA DOOR & WINDOW COMPANY	WINDOW FOR PARTS ROOM	2,448.62
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	1,145.00
OMAHA SLINGS	COUPLING LINKS	321.30
O'REILLY AUTOMOTIVE PARTS	DISC BRAKE KIT	14.05
P&M HARDWARE	SPOOL	49.00
POWERPLAN	SCREWS, CLAMP, PIN FASTENERS	131.32
QUALITY TIRES, INC	ALL TRAIL TIRES	240.00
RIVER CITY RECYCLING	RECYCLE TIRES	1,020.00
ROGER'S TOWING	TOW CHARGE-FORD F250	80.00
SERVICE EXPRESS CO	COUPLERS	32.85
SHELL SUPER STORE	CPS-GAS-FLEET CARD NOT WORKING	87.65
SUSPENSION SHOP	HD SPRINGS, U-BOLTS	967.88
TERMINAL SUPPLY CO	BATTERY JUMPER TERMINALS	114.33
TOMASEK MACHINE SHOP	MACHINE WORK ON SHAFT	210.00
TOOL SHED	BLANK CHISEL, FOLDING LADDER BRACKET, COOLANT VALVE	509.62
TRISTAR CLAIMS MANAGEMENT SERVICES	WORK COMP FUNDING-JUN 2021	1,029.10
TRUCK CENTER COMPANIES	IDLER ALTERNATOR PULLEY	78.94
TY'S OUTDOOR POWER & SERVICE	FAN HOUSING STARTER, PARTS	98.95
UPS STORE	SHIPPING VISTA SCREEN FOR REPAIR	47.62
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	405.71
VERMEER EQUIPMENT OF NEBRASKA	DUST CAP	10.05
WALKERS UNIFORM RENTAL	UNIFORM SERVICE	85.40
WELDON PARTS INC	MUD FLAPS	42.44
		<u>\$ 66,619.65</u>

SOLID WASTE

PAPILLION SANITATION	TRASH HAULING FEES-JUN 2021	313,661.35
		<u>\$ 313,661.35</u>

PLANNING

AMERICAN PLANNING ASSOCIATION	MEMBERSHIP DUES	733.00
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	11.28
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	4,286.59
GRETNA GUIDE & NEWS	LEGAL AD	16.60
INDOFF	COPY PAPER LEGAL	66.99
MARCO TECHNOLOGIES, LLC	COPIER EXPENSE	371.79
MERCURY PROPERTY MANAGEMENT	REFUND REZONING APPLICATION FEE	325.00
		<u>\$ 5,811.25</u>

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PERMITS & INSPECTIONS

CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	18.81
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	11,187.04
INTERNATIONAL ASSOCIATION OF ELECTRICAL INSPECTORS	CPS-MEMBERSHIP DUES-FOLLMER	120.00
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	1,106.07
		<u>\$ 12,431.92</u>

POLICE

88 TACTICAL GROUP INC	CPS-TRAINING-STALDER, ALBRECHT, MAGUIRE	2,085.00
ACTION SIGNS	INSTALL GRAPHICS	225.00
AMAZON.COM, LLC	CPS-K9 SUPPLIES, PRINTER SUPPLIES, OFFICE SUPPLIES, TOOL SET FOR COMPUTER	1,378.10
A-RELIEF SERVICES	PORTABLE RESTROOM-GUN RANGE	126.00
AVERY L LOSCHEN	RENT FOR K9 BLDG-AUG 2021	1,248.00
AXON ENTERPRISE, INC	TASERS, BATTERIES AND HOLSTERS	4,439.15
BUDGET CAR RENTAL	CPS-CREDIT ON RENTAL-BAILEY	(511.89)
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	663.35
CARL M GRUBB	ADVANCE FOR PER DIEM FOR TRAINING	76.50
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	322.31
CITY OF LAVISTA	TUITION FOR 5 OFFICERS	7,500.00
CODY ALBRECHT	REIMB MEAL FOR TRAINING	70.13
CONSOLIDATED MANAGEMENT CO	MEALS FOR TRAINING AT THE ACADEMY	276.18
DON & RON'S CARSTAR COLLISION CENTER	CRUISER DAMAGE REPAIR	5,000.00
DON'S PIONEER UNIFORMS	UNIFORMS AND NAME TAGS	1,155.72
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	128,430.09
ENTERPRISE FM TRUST	CPS-DEA VEHICLE LEASE-JULY 2021	556.70
FBI NATIONAL ACADEMY ASSOCIATES, INC	CPS-TRAINING-DUCKER, REED, STROEHER	1,050.00
FLAMINGO HOTEL	CPS-DEPOSIT FOR LODGING-CHIZEK, STALDER	201.82
GOVDIRECT, INC	PANASONIC TOUGHBOOK	2,844.10
GREAT PLAINS UNIFORMS	BALLISTIC VESTS	2,035.66
INFOSAFE SHREDDING	SHREDDING SERVICE-AUG 2021	120.00
INTERNATIONAL ASSOCIATION OF CHIEFS OF POLICE	CPS-TRAINING-BRAZDA, MILOS	1,150.00
JACKSON SERVICES, INC	DOOR MAT SERVICE	83.13
JO DON'S	MEDAL OF VALOR PLATES	40.00
JOHN E REID AND ASSOCIATES	CPS-TRAINING-BISHOP	550.00
JONES & BARTLETT PUBLISHERS	COURSE MATERIAL FOR LIFE SUPPORT	171.48
KALAHARI RESORT & CONVENTION	CPS-DEPOSIT FOR LODGING-MANNING	82.00
LP POLICE	LP LOCATE PLAN-JULY 2021	129.95
LUBBEN VETERINARY SERVICE, LLC	VET SERVICE FOR K9 PUPPY	33.00
MATRIX BUSINESS SYSTEMS INC	COPIER EXPENSE	408.94
MOLLY COON	REIMB PER DIEM FOR TRAINING	178.50
NATIONAL ASSOCIATION OF TOWN WATCH	SHIRTS AND BANNERS FOR NNO	1,624.40
NEBRASKA LAW ENFORCEMENT TRAINING CENTER	INSTRUCTOR DEV COURSE-JORDAN	291.00
POSITIVE CONCEPTS	PRINTER PAPER FOR CRUISER	750.00
RAY ALLEN MANUFACTURING CO	DOG BEDS FOR KENNEL, K9 SUPPLIES	629.92
REX SPECIALITIES	CPS-LARGE GOGGLES FOR K9-VETTER	86.95
ROGER'S TOWING	TOWING CHARGES	160.00
ROSEN CENTRE HOTEL	CPS-LODGING FOR TRAINING-DUCKER, MARRS, SAUM	3,398.72
SETCOM CORP	REPAIR DAMAGED HEADSETS	629.55
SMITH DAVIS INSURANCE INC	NOTARY BOND-BETSWORTH	40.00
SOUTHWEST AIRLINES	CPS-AIR FARE FOR TRAINING-BRAZDA, CHIZEK, MILOS, STALDER, VETTER	1,750.83
STREET COP TRAINING	CPS-TRAINING-KEEFE, VETTER	398.00
TRAVELERS	AUTO LIABILITY CLAIM	1,749.87
TRAVELERS	LIABILITY CLAIMS	20,264.00

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POLICE (cont'd)

TRISTAR CLAIMS MANAGEMENT SERVICES	WORK COMP CLAIMS-JUNE AND JULY 2021	27,967.75
U.S. CELLULAR	MONTHLY SERVICE 2021/07/09-2021/08/08	118.08
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	12,771.10
VISTA PRINT	CPS-BUSINESS CARDS-MANNING	41.72
WALMART COMMUNITY	CPS-SUPPLIES-VETTER	302.78
WATCHGUARD VIDEO	BODY CAMERA REPLACEMENT	970.00
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		\$ 236,063.59

FIRE & RESCUE

AIRGAS USA, LLC	MEDICAL SUPPLIES	352.13
AMAZON.COM, LLC	CPS-BIKE RACK, BIKE SHIRTS, MEDICAL SUPPLIES, UNIFORMS, TRUCK BOOKS, OFFICE SUPPLIES	1,733.79
AMERICAN HEART ASSOCIATION	CPS-PARAMEDIC BOOKS	393.76
BOUND TREE MEDICAL, LLC	MEDICAL SUPPLIES	5,816.12
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	95.87
CREIGHTON UNIVERSITY	FIRST 1/2 PARAMEDIC COURSE-SCHLIEP, ROBISON, SCHENCK, BRITAIN	17,200.00
EC DATA SYSTEMS, INC	CPS-SHARE OF FAX SERVER	7.95
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	77,467.83
GEORGE STEIN	REIMB FOR SERVICE-6423	729.50
HELEN BRACKEN	REIMB FOR SERVICE-5012	250.00
J.D. CASEY CO	CAR WASH SOAP	536.48
KHOLL'S PHARMACY & HOMECARE	CPS-UNIFORM-GUIDO	80.63
MARCO TECHNOLOGIES, LLC	COPIER EXPENSE	176.40
MATHESON TRI-GAS INC	METHANE	38.06
MENARDS	CLEANING SUPPLIES, REMOTES, SHEATING	490.03
NORTHERN TOOL & EQUIPMENT	CPS-SAWZALL, CUTOFF SAW	2,706.23
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	7,446.88
PWW MEDIA, INC	CPS-WEBINAR-GRAY	129.00
SANDRY FIRE SUPPLY, LLC	BUNKER COATS AND PANTS, CHISEL SAW	20,205.00
SHRED-IT USA	SHREDDING SERVICE	144.00
SUZANNE MICEK	REIMB FOR SERVICE-6644	91.16
THE FIRE STORE	CPS-ELEVATOR KEYS	241.80
TREK BICYCLE OMAHA MIDTOWN	CPS-BIKE REPAIR	160.25
TRISTAR CLAIMS MANAGEMENT SERVICES	WORK COMP CLAIMS-JUNE AND JULY 2021	2,118.17
U.S. CELLULAR	MONTHLY SERVICE 2021/07/09-2021/08/08	477.32
US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	7,522.18
WESTLAKE ACE HARDWARE	STORAGE STRAP	15.98
ZOLL MEDICAL CORPORATION	BATTERY	137.76
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		\$ 146,764.28

INFORMATION TECHNOLOGY

HOSTGATOR.COM	CPS-MONTHLY DOMAIN MAINTENANCE	69.95
CORE TECHNOLOGIES, INC	TELEPHONE MAINTENANCE BILLABLE TIME	837.01
DELL MARKETING L.P.	COMPUTERS FOR IT	8,531.52
DH WIRELESS SOLUTIONS	NETCLOUD FOR IT	1,375.44
INTERSTATE ALL BATTERY CENTER	BATTERIES	372.00
MOTOROLA SOLUTIONS, INC	CABLES	428.34
SHI INTERNATIONAL CORP	AVANT SERVICE FEE	235.48
TJ CABLE	LOCATES FOR IT	200.00
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		\$ 12,049.74

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NON-DEPARTMENTAL/CONTRACTS

BENEFIT PLANS	CIV RET PLAN, TPA FEES-APR-JUN 2021	972.50
CENTURY LINK	MONTHLY SERVICE 2021/07/22-2021/08/21	543.55
LOCKTON COMPANIES, LLC	WELLNESS CONSULTING-JULY 2021	1,815.00
NE-DEPARTMENT OF REVENUE	2021/06 SALES TAX	3,624.02
SARPY COUNTY COURT HOUSE	ANIMAL CONTROL-SEP 2021	13,452.93
SCOTT WELCH	CPS-MONTHLY WEB MAINTENANCE	125.00
TRAVELERS	LIABILITY CLAIM FBU35851-JUL 2020	39,989.00
		<u>\$ 60,522.00</u>

WASTEWATER

US BANK VOYAGER FLEET SYSTEMS	FUEL FOR CITY VEHICLES-JULY 2021	1,465.55
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	45.50
CENTURY LINK	MONTHLY SERVICE 2021/07/13-2021/08/12	467.03
EMPLOYEE BENEFITS SYSTEMS	HEALTH INSURANCE-JULY 2021	10,942.58
GALVIN GLASS	REPLACE BACK WINDOW	322.53
HDR ENGINEERING, INC	SO LIFT STATION 2021/06/27-2021/07/31	15,277.47
MENARDS	GREAT STUFF FOR GAPS, CABLES, SUPPLIES FOR MEETING	110.53
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/23-2021/07/22	3,948.22
RAILROAD MANAGEMENT CO	LICENSE FEE 2021/09/10-2022/09/09	284.85
UTILITY EQUIPMENT COMPANY	MARKING FLAGS, LOCATORS AND PROB RODS	1,650.35
		<u>\$ 34,514.61</u>

COMMUNITY BETTERMENT

NEBRASKA DEPARTMENT OF REVENUE	QRTLTY LOTTERY TAX 51-C 2021/06/30	62,049.00
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/21-2021/07/20	100.35
		<u>\$ 62,149.35</u>

COMMUNITY DEVELOPMENT

ABBY HIGHLAND	CDBG CONSULTANT 2021/07/19-2021/07/23	892.39
		<u>\$ 892.39</u>

FEDERAL FORFEITURES

VERIZON WIRELESS	MONTHLY CELLULAR SERVICE	361.10
		<u>\$ 361.10</u>

TOTAL CLAIMS FOR AUGUST 17, 2021	\$2,132,402.75
TOTAL PAYROLL FOR AUGUST 3, 2021	\$1,097,681.00

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

10a.
08/17/2021

COUNCIL MEETING DATE: 08/20/2021		SUBMITTED BY: Susan Kluthe, City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input checked="" type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Application for new Manager for OSF Nebraska Inc. dba "Outback Steakhouse" Bellevue.

SYNOPSIS/BACKGROUND:

OSF Nebraska Inc. dba "Outback Steakhouse" would like recommendation to approve Michael E. Sullivan as a new Manager for the stores located at 10408 South 15th Street, Bellevue. Applications are turned directly into the NE Liquor Control Commission by the applicant then forwarded on to the City Clerk's Office by the NE Liquor Control Commission. The Clerk sends application to be reviewed by the Police and then submitted to the City Council for review and recommendation, and then forwarded to the NE Liquor Control Commission for final approval (if there are no issues).

FISCAL IMPACT: BUDGETED FUNDS?: GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: COUNTER-PARTY: INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED:

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Recommend approval of application for Michael E. Sullivan as the new Manager for OSF Nebraska Inc. dba "Outback Steakhouse" at 10408 South 15th Street, Bellevue.

ATTACHMENTS:

1. <input type="text" value="Application"/>	2. <input type="text" value="Police Report"/>	3. <input type="text"/>
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM: *A. Bruykelin*

FINANCE APPROVAL AS TO FORM: *[Signature]*

ADMINISTRATOR APPROVAL AS TO FORM: *[Signature]*

076835

OSF 2813

**MANAGER APPLICATION
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 950-6
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
Website: www.lcc.nebraska.gov

Office Use	RECEIVED	LS
JUL 12 2021		
NEBRASKA LIQUOR CONTROL COMMISSION		

MUST BE:

- ✓ Include copy of US birth certificate, naturalization paper or current US passport
- ✓ Nebraska resident. Include copy of voter registration card or print out document from Secretary of State website
- ✓ Fingerprinted. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application
- ✓ 21 years of age or older

Corporation/LLC information

Name of Corporation/LLC: OSF Nebraska, Inc.

Premise information

Liquor License Number: 076835 Class Type 1 (if new application leave blank)

Premise Trade Name/DBA: Outback Steakhouse

Premise Street Address: 10408 South 15th Street

City: Bellevue County: Sarpy Zip Code: 68123

Premise Phone Number: (402) 991-9275

Premise Email address: Licensespermits@Outback.com

The individual whose name is listed as a corporate officer or managing member as reported on insert form 3a or 3b or listed with the Commission. To see authorized officers or members search your license information [here](#).

✓ 

Kelly Lefferts

SIGNATURE REQUIRED BY CORPORATE OFFICER / MANAGING MEMBER
(Faxed signatures are acceptable)



2100007801

01400

**MANAGER APPLICATION
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 95046
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
Website: www.lcc.nebraska.gov



FORM MUST BE COMPLETELY FILLED OUT IN ORDER FOR APPLICATION TO BE PROCESSED

MANAGER MUST:

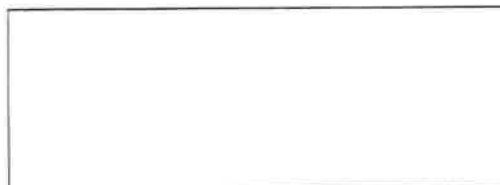
- ✓ Complete all sections of the application. Be sure it is signed by a **member or corporate officer**. corporate officer or member must be an individual on file with the Liquor Control Commission
- ✓ Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- ✓ Provide a copy of one of the following: US birth certificate, naturalization papers or current US passport (even if you have provided this before)
- ✓ Be a registered voter in the State of Nebraska, include a copy of voter card or print document from Secretary of State website with application

Spouse who **will not** participate in the business. spouse must:

- ✓ Complete the Spousal Affidavit of Non Participation Insert (must be notarized). The non-participating spouse completes the top half; the manager completes the bottom half. **Be sure to complete both halves of this form.**
- Need not answer question #1 of the application

Spouse who **will** participate in the business. the spouse must:

- Sign the application
- ✓ Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the state of Nebraska, include a copy of voter card with application
- Spousal Affidavit of Non Participation Insert **not** required



Manager's information must be completed below PLEASE PRINT CLEARLY

**50-12*

Last Name: Sullivan First Name: Michael MI: E

Home Address: 1003 S. 197th Circle

City: Omaha *Elkhorn* County: Douglas Zip Code: 68022 *-4810*

Home Phone Number: (630) 577-7809

Driver's License Number & State: [REDACTED]

Social Security Number: [REDACTED]

Date Of Birth: [REDACTED] Place Of Birth: Chicago, IL

Email address: Licensespermits@outback.com

Are you married? If yes, complete spouse's information (Even if a spousal affidavit has been submitted)

YES NO

Spouse's information

Spouses Last Name: Sullivan First Name: Staci MI: D

Social Security Number: [REDACTED]

Driver's License Number & State: [REDACTED]

Date Of Birth: [REDACTED] Place Of Birth: Elmhurst, IL

APPLICANT & SPOUSE MUST LIST RESIDENCE(S) FOR THE PAST TEN (10) YEARS
APPLICANT SPOUSE

CITY & STATE	YEAR FROM	YEAR TO	CITY & STATE	YEAR FROM	YEAR TO
Elkhorn, NE	2020	present	Same		
Rolling Meadows, IL	2014	2020			
Arlington Heights, IL	2013	2014			
Streamwood, IL	2004	2013			

MANAGER'S LAST TWO EMPLOYERS

YEAR FROM TO		NAME OF EMPLOYER	NAME OF SUPERVISOR	TELEPHONE NUMBER
4/2000	present	Outback Steakhouse	William Alfred	(813) 282-1225
4/99	4/2000	Cyberg Communications	N/A	N/A

1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY.

Must be completed by both applicant and spouse, unless spouse has filed an affidavit of non-participation.

Has anyone who is a party to this application, or their spouse, EVER been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea. include traffic violations. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES NO

If yes, please explain below or attach a separate page.

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (City & State)	Description of Charge	Disposition

2. Have you or your spouse ever been approved or made application for a liquor license in Nebraska or any other state?

YES NO

IF YES, list the name of the premise(s):

3. Do you, as a manager, qualify under Nebraska Liquor Control Act (§53-131.01) and do you intend to supervise, in person, the management of the business?

YES NO

4. List the alcohol related training and/or experience (when and where) of the person making application.

*NLCC Training Certificate Issued: 20698599 Name on Certificate: Michael Sullivan

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)
Michael Sullivan	06/2021	ServSafe

*For list of NLCC Certified Training Programs see training

Experience:

Applicant Name / Job Title	Date of Employment:	Name & Location of Business:
Michael Sullivan, JVP	4/2000	Outback Steakhouse, Tampa, FL 33607

5. Have you enclosed form 147 regarding fingerprints?

YES NO

PERSONAL OATH AND CONSENT OF INVESTIGATION

The above individual(s), being first duly sworn upon oath, deposes and states that the undersigned is the applicant and/or spouse of applicant who makes the above and foregoing application that said application has been read and that the contents thereof and all statements contained therein are true. If any false statement is made in any part of this application, the applicant(s) shall be deemed guilty of perjury and subject to penalties provided by law. (Sec §53-131.01) Nebraska Liquor Control Act.

The undersigned applicant hereby consents to an investigation of his/her background including all records of every kind and description including police records, tax records (State and Federal), and bank or lending institution records, and said applicant and spouse waive any rights or causes of action that said applicant or spouse may have against the Nebraska Liquor Control Commission and any other individual disclosing or releasing said information to the Nebraska Liquor Control Commission. If spouse has **NO** interest directly or indirectly, a spousal affidavit of non-participation may be attached.

The undersigned understand and acknowledge that any license issued, based on the information submitted in this application, is subject to cancellation if the information contained herein is incomplete, inaccurate, or fraudulent.

Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in FBI identification record. The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.


Signature of Manager Applicant

N/A
Signature of Spouse

ACKNOWLEDGEMENT

State of Nebraska
County of Douglas The foregoing instrument was acknowledged before me this

6/25/21 date by MICHAEL SULLIVAN
NAME OF PERSON BEING ACKNOWLEDGED


Notary Public signature



In compliance with the ADA, this application is available in other formats for persons with disabilities. A ten day advance period is required in writing to produce the alternate format.


**SPOUSAL AFFIDAVIT OF
NON PARTICIPATION INSERT**

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 95046
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
Website: www.lee.nebraska.gov



I acknowledge that I am the spouse of a liquor license holder. My signature below confirms that I will not have any interest, directly or indirectly in the operation of the business (§53-125(13)) of the Liquor Control Act. I will not tend bar, make sales, serve patrons, stock shelves, write checks, sign invoices, represent myself as the owner or **in any way participate in the day to day operations of this business in any capacity**. The penalty guideline for violation of this affidavit is cancellation of the liquor license.

I acknowledge that I am the applicant of the non-participating spouse of the individual signing below. I understand that my spouse and I are responsible for compliance with the conditions set out above. If it is determined that my spouse has violated (§53-125(13)) the commission may cancel or revoke the liquor license.



Signature of **NON-PARTICIPATING SPOUSE**
Staci Sullivan

Print Name



Signature of **APPLICANT**
Michael Sullivan

Print Name

State of Nebraska, County of Douglas

State of Nebraska, County of Douglas

The foregoing instrument was acknowledged before me
this 6/25/21 (date)

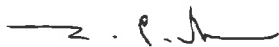
The foregoing instrument was acknowledged before me
this 6/25/21 (date)

by STACI SULLIVAN

Name of person acknowledged
(Individual signing document)

by MICHAEL SULLIVAN

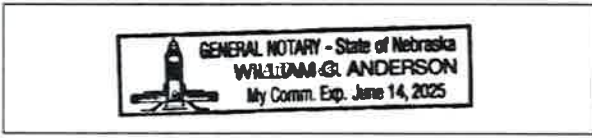
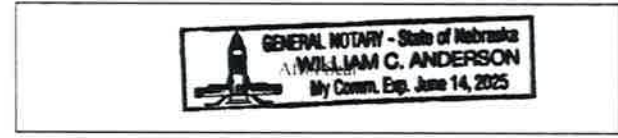
Name of person acknowledged
(Individual signing document)



Notary Public Signature



Notary Public Signature



In compliance with the ADA, this spousal affidavit of non participation is available in other formats for persons with disabilities. A ten day advance period is requested in writing to produce the alternate format.

**PRIVACY ACT STATEMENT/
SUBMISSION OF FINGERPRINTS /
PAYMENT OF FEES TO NSP-CID**

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 95046
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
Website: www.lcc.nebraska.gov



**THIS FORM IS REQUIRED TO BE SIGNED BY EACH PERSON BEING FINGERPRINTED:
DIRECTIONS FOR SUBMITTING FINGERPRINTS AND FEE PAYMENTS:**

- **FAILURE TO FILE FINGERPRINT CARDS AND PAY THE REQUIRED FEE TO THE NEBRASKA STATE PATROL WILL DELAY THE ISSUANCE OF YOUR LIQUOR LICENSE**
- Fee payment of \$45.25 per person **MUST** be made **DIRECTLY** to the Nebraska State Patrol:
It is recommended to make payment through the **NSP PayPort** online system at www.nc.gov/go/nsp
Or a check made payable to **NSP** can be mailed directly to the following address:
*****Please indicate on your payment who the payment is for (the name of the person being fingerprinted) and the payment is for a Liquor License*****
The Nebraska State Patrol – CID Division
3800 NW 12th Street
Lincoln, NE 68521

- Fingerprints taken at NSP LIVESCAN locations will be forwarded to NSP – CID
Applicant(s) will not have cards to include with license application.
- Fingerprints taken at local law enforcement offices may be released to the applicants:
Fingerprint cards should be submitted with the application.

Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record. The procedures for obtaining a change, correction, or updating a FBI identification record are set forth in Title 28, CFR, 16.34.

****Please Submit this form with your completed application to the Liquor Control Commission****

Trade Name Outback Steakhouse

Name of Person Being Fingerprinted: Michael Sullivan

Date of Birth: [REDACTED] Last 4 SSN: [REDACTED]

Date fingerprints were taken: 7/6/2021

Location where fingerprints were taken: Omaha Troop A Headquarters

How was payment made to NSP?

NSP PAYPORT CASH CHECK SENT TO NSP CK #

My fingerprints are already on file with the commission – fingerprints completed for a previous application less than 2 years ago? YES


SIGNATURE REQUIRED OF PERSON BEING FINGERPRINTED

APPLICATION FOR LIQUOR LICENSE
AND CORPORATE MANAGER

POLICE REPORT

Date of City Council Meeting: August 20, 2021 Due to City Clerk: August 10, 2021



Applicant: OSF Nebraska Inc. dba "Outback Steakhouse"

Location/Address: 10408 South 15th Street, Bellevue

Requested Action:

Recommendation to approve application for Michael E. Sullivan as Corporate Manager of OSF Nebraska Inc. dba "Outback Steakhouse" 10408 South 15th Street. Bellevue, NE

Individuals to be Checked:

<u>Name & Address</u>	<u>DOB</u>
1. <u>Michael E. Sullivan, 1003 S. 197th Circle, Elkhorn, NE 68022-481</u>	
2. _____	

Comments:

Approved

Signature of Reviewer: Asst Chief [Signature]

Date: 7-26-21

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

12a.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm		Planning Manager		
AGENDA ITEM:		CONSENT AGENDA	<input type="checkbox"/>	SPECIAL PRESENTATION		<input type="checkbox"/>
LICQUOR LICENSE	<input type="checkbox"/>	ORDINANCE	<input checked="" type="checkbox"/>	PUBLIC HEARING		<input type="checkbox"/>
RESOLUTION	<input type="checkbox"/>	CURRENT BUSINESS	<input type="checkbox"/>	OTHER		<input type="checkbox"/>

SUBJECT:

Approval of a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS. Applicant: Freedom Village, LLC (Jolene Roberts). General Location: 1811 Hillcrest Drive.

SYNOPSIS/BACKGROUND:

Jolene Roberts, on behalf of Freedom Village, LLC is requesting a change in zone for Lot 7, Tiller's 4th Addition, from BG to RG-20-PS for the purpose of construction of a senior living development. The proposal consists of two living options; Seven-4-plex single family "garden homes", each with a garage, and a 28-unit, four-story apartment building. With the -PS zoning overlay, site plan approval is required.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRUBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Department and Planning Commission have recommended Approval of this request.

ATTACHMENTS:

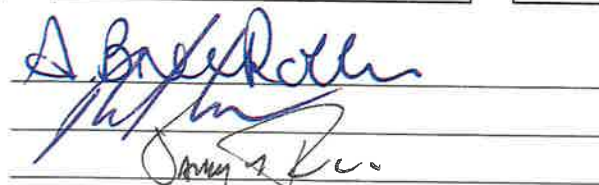
1. Planning Commission Recommendation Sheet	2. Staff Report	3. Rezoning Ordinance 4046
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



City of Bellevue

PLANNING COMMISSION RECOMMENDATION

APPLICANT: Freedom Village, LLC

Case #: Z-2106-07

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to rezone Lot 7, Tiller's 4th Addition, located in the Northeast ¼ of Section 35, T14N, R13E, of the 6th P.M., Sarpy County, Nebraska, from BG to RG-20-PS, for the purpose of a senior living development.

On July 22, 2021, the City of Bellevue Planning Commission voted five yes, zero no, two absent and one abstained:

APPROVAL based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance.

VOTE:

Yes:	Five:	No:	Zero:	Abstain:	One:	Absent:	Two:
	Casey				Aerni		Perrin
	Ritz						Cutsforth
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021

CITY OF BELLEVUE PLANNING DEPARTMENT

RECOMMENDATION REPORT # 2

CASE NUMBER: Z-2106-07

FOR HEARING OF:

REPORT #1: July 22, 2021

REPORT #2: August 17, 2021

I. GENERAL INFORMATION

A. APPLICANT:

Freedom Village, LLC
Jolene Roberts
1902 Harlan Drive
Bellevue, NE 68005

B. PROPERTY OWNER:

Hillcrest Offices, LLC
Jolene Roberts
1902 Harlan Drive, Suite A
Bellevue, NE 68005

C. GENERAL LOCATION:

1811 Hillcrest Drive

D. LEGAL DESCRIPTION:

Lot 7, Tiller's 4th Addition, located in the Northeast ¼ of Section 35, T14N, R13E of the 6th P.M., Sarpy County, Nebraska.

E. REQUESTED ACTIONS:

1. Rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS with site plan approval.

F. EXISTING ZONING AND LAND USE:

BG, Vacant

G. PURPOSE OF REQUEST:

The purpose of this request is to obtain approval of a rezoning to facilitate the construction of a senior living development.

H. SIZE OF SITE:

The site is approximately 6.2 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE:

The site is presently vacant and covered in vegetation. There is also a parking lot covering the south and west portions of the property.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Hillcrest Health, BG and RG-8-PS
2. **East:** Commercial/Vacant, BG
3. **South:** Single Family Residential (across Harlan Dr), RS-72
4. **West:** Hillcrest Health, BG

C. REVELANT CASE HISTORY:

On July 22, 2021, the Planning Commission recommended APPROVAL of a request to rezone Lot 7, Tiller's 4th Addition, located in the Northeast ¼ of Section 35, T14N, R13E of the 6th P.M., Sarpy County, Nebraska, from BG to RG-20-PS for the purpose of a senior living development.

D. APPLICABLE REGULATIONS:

1. Section 5.14, Zoning Ordinance, regarding RG-20 uses and requirements.
2. Section 5.17, Zoning Ordinance, regarding the Planned Subdivision District.

III. ANALYSIS

A. COMPREHENSIVE PLAN:

The Future Land Use Map of the Comprehensive Plan shows this area as commercial.

B. OTHER PLANS:

The applicant is requesting Tax Increment Financing (TIF) for this project.

C. TRAFFIC AND ACCESS:

1. There is no MAPA traffic data available for this specific area.
2. The property will have access from two points along Hillcrest Drive. There will be no access to Harlan Drive.

D. UTILITIES:

All utilities are available to this property.

E. ANALYSIS:

1. Jolene Roberts, on behalf of Freedom Village, LLC, has submitted a request for a rezoning for Lot 7, Tiller's 4th Addition, from BG to RG-20-PS, for the purpose of a senior living development.

The intent of the RG-20 district is to permit moderately high density development and uses that are typical and compatible in the operation of apartment houses.

The -PS zoning overlay allows for the construction of multiple buildings on one lot, in addition to encouraging the creative design of new living areas. With the -PS zoning overlay, site plan approval is required.

2. The proposal consists of two living options for its residents:
 - Seven 4-plex single family "garden homes" are proposed. Each garden home will have a garage and will consist of between 1,050 to 1,287 square feet of living space.
 - A 28-unit, four-story apartment building. Each apartment will range in size from 850 to 990 square feet.

There are 56 units total with this proposal.

3. Architectural renderings have been provided by the applicant and are attached. These renderings have not been reviewed for compliance with Section 8.11, Zoning Ordinance, for the city's design standards. Compliance with these regulations will be reviewed as part of the building permit process.
4. The site plan contains community green space with a fire pit, gazebo structure, dog park, and a picnic shelter with a barbeque grill as amenities for the Freedom Village residents. In addition, the apartment building will have a clubhouse with gathering space and a fitness center.

5. The site plan shows 153 parking stalls for the development. Twenty-eight of these parking stalls will be provided with garages. This exceeds the minimum requirement of 84 stalls.

6. The landscape plan has been reviewed by staff and meets the minimum requirements of the zoning ordinance.

7. This application was sent out to the following departments for review: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, and the Bellevue Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Public Works Engineer Matt Knight had technical comments regarding the site plan. These comments have since been satisfied.

Don Gifford, Bellevue Fire Department, had comments regarding fire hydrant placement. The applicant has been in contact with Mr. Gifford. This item will be addressed as part of the building permit process.

No other comments were received on this case.

8. This property is part of the Harlan Drive corridor, which is presently a mix of commercial and residential uses. The south side of the corridor is a mix of multi-family and single family residences. The north side of the corridor consists of single family residences and a church to the west of Hillcrest's existing development, with commercial uses to the east.

This property was the former site of the Days Inn Hotel and failed waterpark project. Ms. Roberts purchased the property in 2010, with the intent of the future expansion of Hillcrest. At the time this property was purchased, the BG zoning district allowed for nursing home facilities and senior residences as a permitted use. Most of the existing Hillcrest development is zoned BG for this reason. The 2011 Zoning Ordinance update changed the previous pyramidal zoning structure, therefore, requiring the requested change of zone for this property from BG to RG-20-PS.

9. This property was previously deemed blighted and substandard. The applicant is requesting Tax Increment Financing (TIF) through a separate redevelopment plan proposal.

10. The Future Land Use Map of the Comprehensive Plan shows this area as commercial; however, staff is supportive of an amendment to multi-family residential for this property. As previously stated, this corridor is a mix of residential and commercial uses currently, with this project being an expansion of the adjacent Hillcrest development.

F. TECHNICAL DEFICIENCIES:

None

IV. DEPARTMENT RECOMMENDATION

APPROVAL based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance.

V. PLANNING COMMISSION RECOMMENDATION

APPROVAL based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance.

VI. ATTACHMENTS TO REPORT

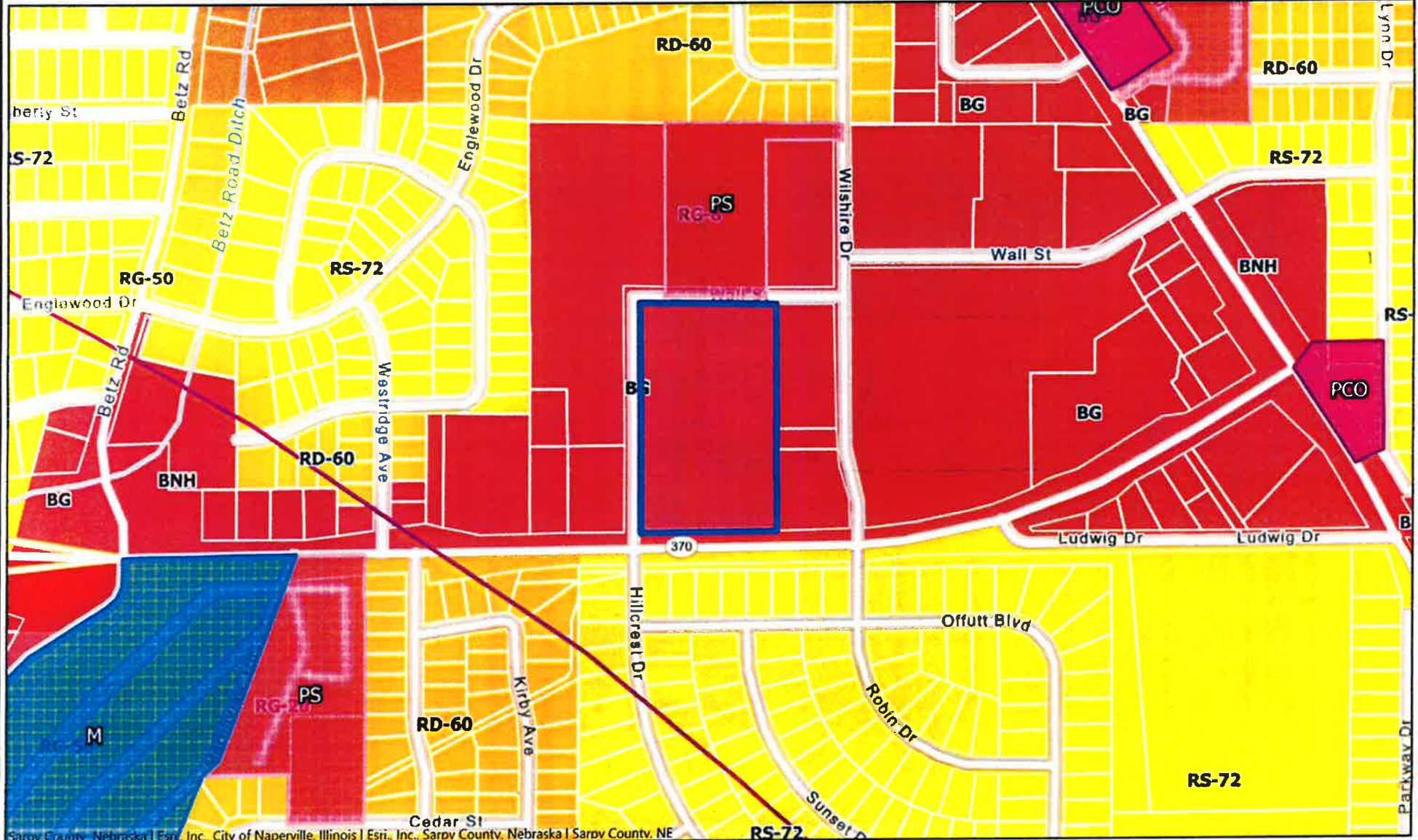
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Justification letter received June 21, 2021
4. Site plan received June 18, 2021
5. Landscape plan received July 8, 2021
6. Architectural renderings received June 18, 2021

VII. COPIES OF REPORT TO:

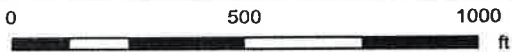
1. Freedom Village, LLC
2. TD2
3. Larry Jobeun, Fullenkamp, Jobeun, Johnson & Bellevue LLP
4. Public Upon Request

Prepared by:

Assistant Planning Manager: Date of Report



Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska | Sarpy County, NE



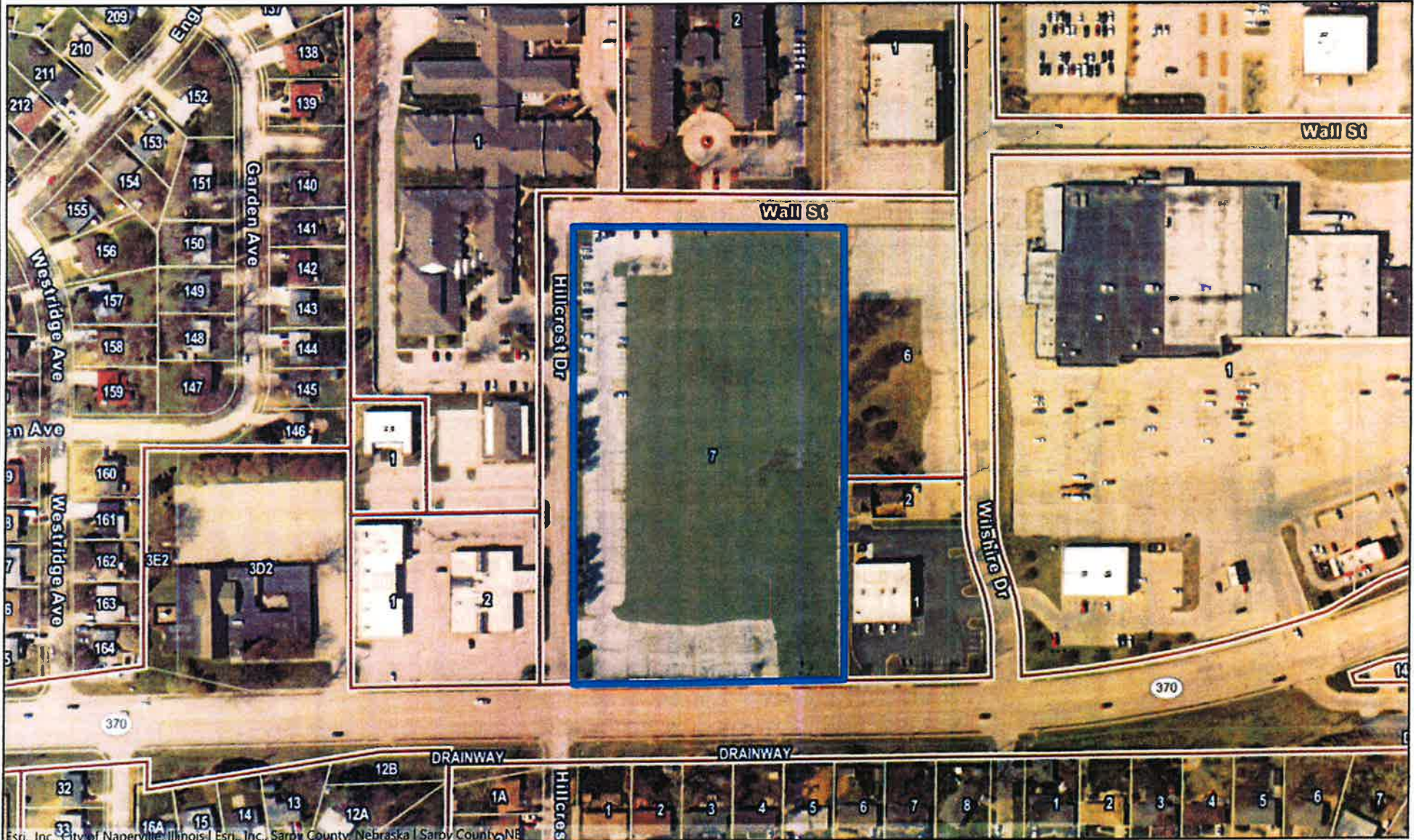
Map Scale 1: 6370

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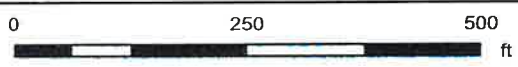


Notes





Esri, Inc., City of Naperville, Illinois Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 3185

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



FREEDOM VILLAGE
WRITTEN JUSTIFICATION OF THE ZONING CHANGE

The Applicant proposes to develop 1811 Harlan Drive in Bellevue Nebraska, Sarpy County, legally described as Lot 7 Tiller's 4th Addition, into an age 55 and older, active adult community. The redevelopment site is immediately to the east of Hillcrest Health and Rehabilitation (post-acute rehab and long-term care of 151 occupants) and south of Harmony Court (independent living for over 100 aging adult occupants) and east of Hillcrest Home Care and Hospice and Innovate Rehab and Wellness. This redevelopment compliments the existing neighborhood of housing and services for aging adults 55 years and older.

The new development, which shall be known as Freedom Village, can be described as a small community of people who desire to live in a 'lock and leave' homestyle environment. Freedom Village consists of two living options. The first is designed as a 4-plex single family garden home (28 homes total). Each ranch style home size is 1050 SF to 1287 SF. Each home has a garage, two bedrooms or bedroom with den, two bathrooms, kitchen, living room, laundry and storage space. The homes face a large green community space that will feature a fire pit area, gazebo reading/conversation area, and BBQ grill with outdoor covered dining area. In addition, Freedom Village will feature a fenced-in dog park and designated garden plots.

The second living option entails a small apartment building featuring 28 individual apartments. Apartments will range in size from 850 SF to 990 SF and have one bedroom with bath, or one bedroom with den, laundry, kitchen, storage, and a balcony/patio. The entry level of the intimate apartment building faces the large open courtyard space and offers a clubhouse for Freedom Village residents. Within the clubhouse is a fireplace room, large group gathering area with a kitchen, and a fitness center. The onsite property manager will have a sales office near the clubhouse.

Currently, the subject property is zoned as BG (Business General District) and does not allow for the intended use of the redevelopment project. As such, the Applicant requests a re-zoning of the subject property from BG to RG-20 PS – General Residential, which permits moderately high density, multifamily housing. A re-zoning of the subject property to RG-20 is required for the redevelopment project to move forward.

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FREEDOM VILLAGE

1811 HILLCREST DRIVE BELLEVUE, NE 68005

Issue /	Date

PRELIMINARY

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PLANNING DEPT.

LEA Project #	2000240
Date	
Drawn by	S. Orma
Checked by	D. Harp

Overall Site Plan

C0.1

NOT FOR CONSTRUCTION

SITE SUMMARY		
EXISTING ZONING: R3 PROPOSED ZONING: R3-20-PS		
SITE DATA	REQUIRED	PROVIDED
TOTAL SITE SIZE	2,000,000 S.F. (12,000 S.F.)	4,100,000 S.F. (288,378 S.F.)
SETBACKS*	FRONTYARD - 30' REARYARD - 10' SIDEYARD - 5' STREET YARD - 10'	FRONTYARD - 51.4' (MIN) REARYARD - 91.4' (MIN) SIDEYARD - 89.1' (MIN) STREET YARD - 51.4' (MIN)
IMPERVIOUS COVERAGE	80% MAX.	60%
BUILDING HEIGHT	75'	48'-0" MAX (APPROX.)

*PER PS DISTRICT REQUIREMENTS.

- NOTES:**
- THE SITE PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE (POCC) AS REQUIRED BY SITE. SITE SPECIFIC DESIGN IS PROVIDED FOR APPROVAL AS PROVIDED FOR IN BELLEVUE MUNICIPAL CODE APPENDIX A, ARTICLE 6.04B SUBPARAGRAPH 2.
 - THE LIST OF MATERIALS FOR THIS SITE INCLUDE THE FOLLOWING:
 - COMMON AREA FOR RESIDENTS
 - 1.1A. READING STRUCTURE
 - 1.1A. FIRE PIT
 - 1.1A. PHONE SHED/STATION
 - 1.1A. BBQ AREA
 - 1.1A. FENCED IN DOG PAVES FOR USE BY THE RESIDENTS

GARDEN HOME SUMMARY				
BUILDING NO.	TYPE	1 BRD UNITS	2 BRD UNITS	TOTAL
BUILDING A	TYPE A	0	4	4
BUILDING B	TYPE B	2	2	4
BUILDING C	TYPE A	0	4	4
BUILDING D	TYPE A	0	4	4
BUILDING E	TYPE B	2	2	4
BUILDING F	TYPE A	0	4	4
BUILDING G	TYPE B	2	2	4
TOTAL UNITS		2	28	30

APARTMENT UNIT BREAKDOWN (BUILDING H)		
TYPE	NUMBER OF UNITS	TOTAL
1 BEDROOM	28	28
TOTAL	28	28

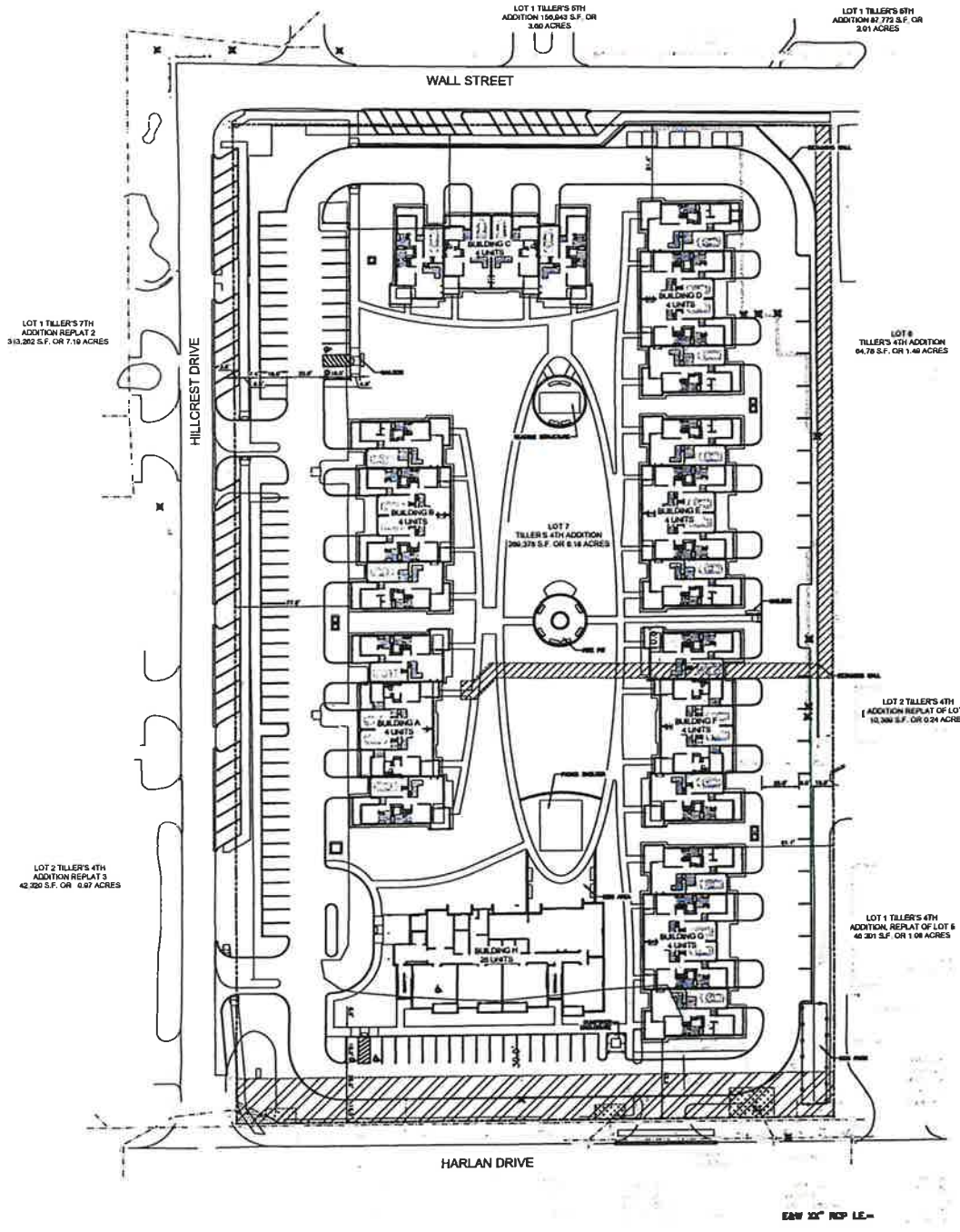
PARKING SUMMARY		
STALL TYPE	STALLS	TOTAL
STANDARD STALLS	65	65
ADA STALLS	4	69
GARAGE STALLS	28	97
TANDEN STALLS (AT GARAGE)	28	125
TOTAL STALLS	125	125

DRIVING REQUIREMENTS:
1 FREE DRIVING PER 75 STALLS
2 PER APPROVEMENT = 65 STALLS
TOTAL REQUIRED = 94 STALLS



EASEMENT LEGEND

- EASEMENT GRANTED TO STATE OF NEBRASKA, RECORDED AUGUST 19, 1982 AT 10:04 AM, REC'D 10:04 AM OF THE SHERIFF COUNTY RECORDS
- EASEMENT GRANTED TO STATE OF NEBRASKA, RECORDED AUGUST 19, 1982 AT 10:04 AM, REC'D 10:04 AM OF THE SHERIFF COUNTY RECORDS
- EASEMENT GRANTED TO STATE OF NEBRASKA, RECORDED AUGUST 19, 1982 AT 10:04 AM, REC'D 10:04 AM OF THE SHERIFF COUNTY RECORDS



NOTED: This drawing is prepared by the architect and is not to be used for construction purposes without the approval of the architect. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing.

FREEDOM VILLAGE

1811 HILLCREST DRIVE, BELLEVUE, NE 68005

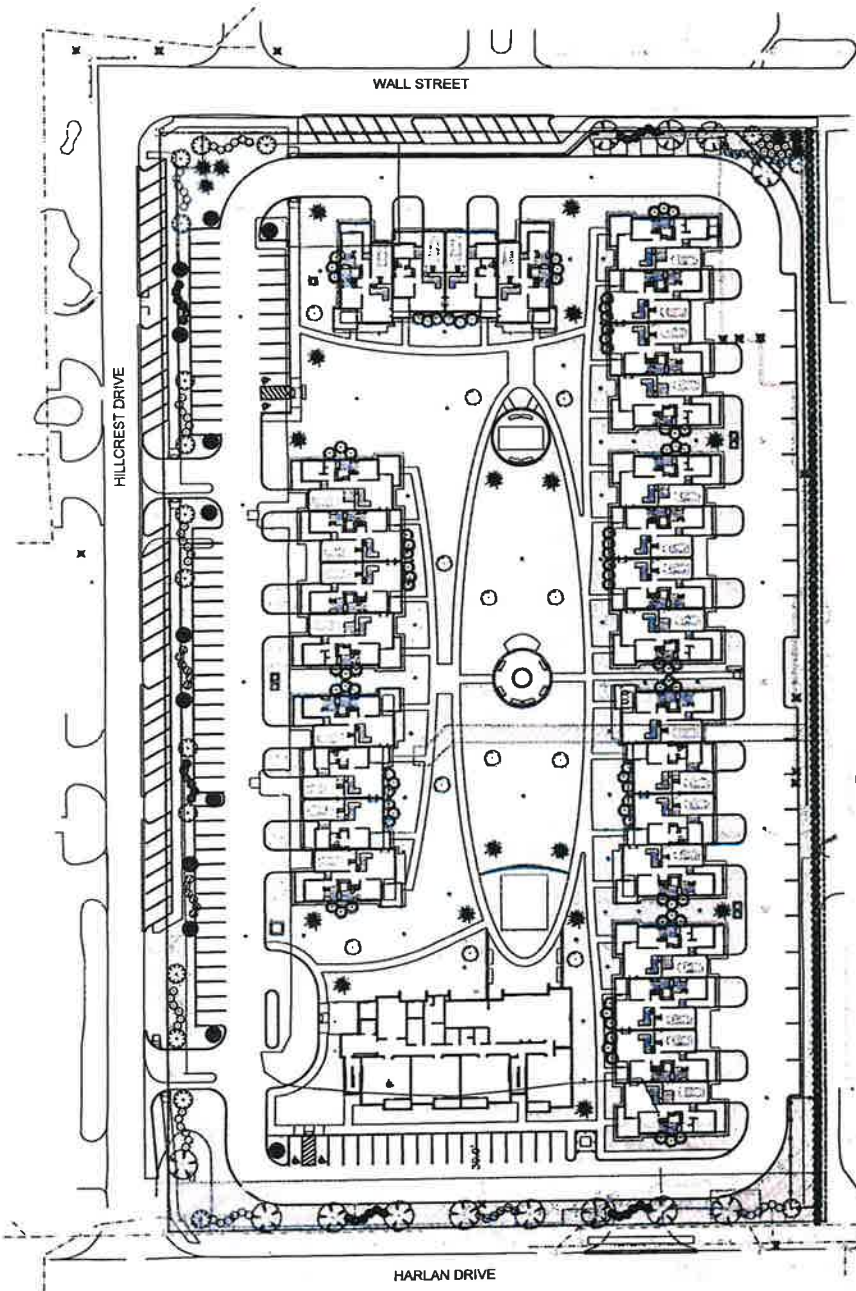
PRELIMINARY

LSA Project #	2000-2400
Date	
Drawn by	S. Givens
Checked by	D. Hines

NOT FOR CONSTRUCTION

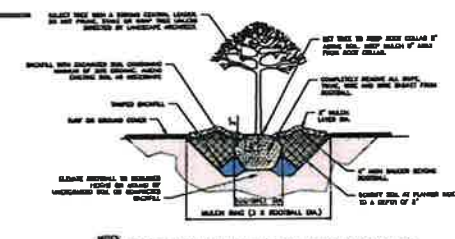
Landscaping Plan

L1.1

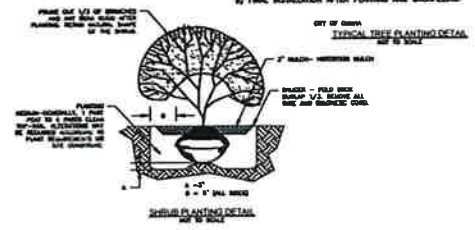


LEGEND

- 18" TREE
- 12" TREE
- 8" TREE
- 6" TREE
- 4" TREE
- 3" TREE
- 2" TREE
- 1" TREE
- 18" SHRUB
- 12" SHRUB
- 8" SHRUB
- 6" SHRUB
- 4" SHRUB
- 3" SHRUB
- 2" SHRUB
- 1" SHRUB



- SOIL USED AS BACKFILL SHALL BE AMENDED AS NECESSARY TO CONTAIN 2% ORGANIC MATERIAL.
- PLANTING STAGES:
A) EXCAVATION OF PLANTER AREA AND COMPACTION RELIEF TREATMENT PRIOR TO PLANTING AND BACKFILLING.
B) FINAL REGULATION AFTER PLANTING AND BACKFILLING.



LANDSCAPE TREE SCHEDULE							
QTY.	BOTANICAL NAME	COMMON NAME	PLANTING METHOD	SIZE @ PLANTING	SPACING	MATURE SPREAD	MATURE HEIGHT
OVERSTORY DECIDUOUS TREES							
10	ACER FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B&B	2" CAL.	AS SHOWN	35'	45'
12	QUERCUS RUBRUM	RED OAK	B&B	2" CAL.	AS SHOWN	50'	60'
UNDERSTORY/ORNAMENTAL							
18	ACER GINNALA	AMUR MAPLE	B&B	2" CAL.	AS SHOWN	20'	25'
13	MALUS X PRAIRIFRENS	RAINFREE CRAB	B&B	2" CAL.	AS SHOWN	15'	20'
CONIFEROUS TREE							
22	PICEA OLAUCA DENSATA	BLACKHILLS SPRUCE	B&B	6" HT.	AS SHOWN	25'	40'
DECIDUOUS SHRUBS							
24	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	CONT.	5 GAL.	AS SHOWN	3'	7'
80	AMELANCHIER ALBIFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	3 GAL.	AS SHOWN	6'	8'
84	SPIREA BETULIFOLIA 'TOR'	BIRCHLEAF SPIRAEA	CONT.	3 GAL.	36" O.C.	3'	3'
EVERGREEN SHRUBS							
185	JUNIPERUS CHINENSIS 'MANEY'	MANEY JUNIPER	CONT.	3 GAL.	6" O.C.	6'	3'

LANDSCAPING CALCULATIONS
 - REQUIRED LANDSCAPING AREA = 126 PROPOSED DETAILS @ 10 S.F./DETAIL = 1,260 S.F.
 - TOTAL PROPOSED LANDSCAPING AREA = 18,081 S.F.
 12,821 S.F. > 1,260 S.F.

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MAY 18 2021
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2021-05-14

SCHEMATIC DESIGN
FREEDOM VILLAGE



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2021-05-14

VIEW 1 - LOOKING EAST TO READING STRUCTURE AND NEIGHBORHOOD GREEN
FREEDOM VILLAGE



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2021-05-14

VIEW 3 - LOOKING SOUTHWEST TO APARTMENT BUILDING
FREEDOM VILLAGE



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VIEW 4 - APARTMENT BUILDING ENTRY
FREEDOM VILLAGE

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2021-05-14

VIEW 5 - NEIGHBORHOOD GREEN FROM NORTH
FREEDOM VILLAGE

PLANNING DEPT.

22

**FREEDOM VILLAGE -
 GARDEN HOME A**

1811 HILLCREST DR
 ELLEVUE, NE 68005



SITE PROGRAM

- 28 GARDEN HOMES
- 28 APARTMENTS
- 28 GARAGE PARKING SPACES AT GARDEN HOMES
- 28 DRIVEWAY PARKING SPACES AT GARDEN HOMES
- 91 SURFACE PARKING REGULAR STALLS
- 4 ACCESSIBLE PARKING
- 95 TOTAL SURFACE PARKING (REGULAR STALLS + ACCESSIBLE PARKING)

A 4 PLEX GARDEN HOME*

- (2) 1BD+1BA+DEN+1 CAR GARAGE AT 1050 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- *AREAS DO NOT INCLUDE GARAGE

B 4 PLEX GARDEN HOME*

- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1290 SF.
- *AREAS DO NOT INCLUDE GARAGE

C APARTMENT BUILDING (4 LEVELS)

- (21) 1BD+1BA APARTMENTS AT 845 SF.
- (7) 1BD+1BA+DEN APARTMENT AT 900 SF.
- 1470 SF. COMMUNITY ROOM ON LEVEL 1
- 430 SF. EXERCISE ROOM ON LEVEL 1

Item	No.	Date	Description

DATE	
REVISION	
NO. 1	
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
NO. 7	
NO. 8	
NO. 9	
NO. 10	

PRELIMINARY

DATE	2020.02
DATE	19.Jan.2020
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ARCHITECTURAL SITE PLAN

A-101.A

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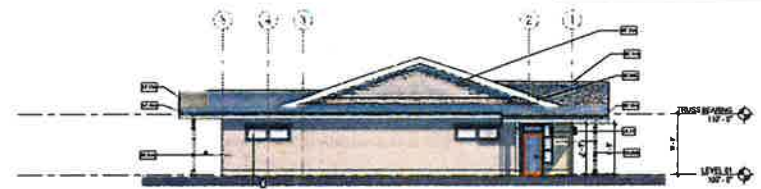
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 1811 Hillcrest Drive, Ellevue, NE 68005
 Lantz Boggio Architects & Engineers, Inc.
 500 DTG Plaza, Suite 200, Englewood, CO 80111
 Tel: 303.733.8400
 Fax: 303.733.8401
 www.lantz-boggio.com

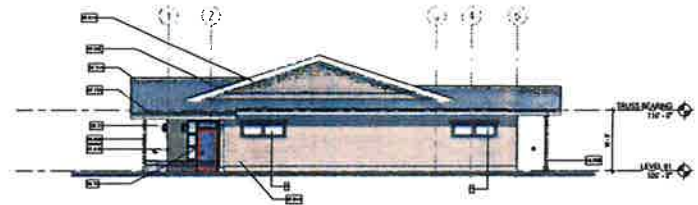
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EXTERIOR ELEVATION - SIDE OF HOUSE
 TRANSMISSION TOWER, WINDS WINDSHIELD ELEVATION
 WINDS WINDSHIELD ELEVATION

KEYNOTE LEGEND	
KEYNOTE NUMBER	KEYNOTE TEST
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D1 EXTERIOR ELEVATION - SIDE
 1/8" = 1'-0"



C1 EXTERIOR ELEVATION - SIDE
 1/8" = 1'-0"



B1 EXTERIOR ELEVATION - GARAGE SIDE
 1/8" = 1'-0"



A1 EXTERIOR ELEVATION FACING PARK
 1/8" = 1'-0"

MARK BOGGIO
 Architectural Firm
 800 678-7663 | 603-281-0100 | 603-281-0101

**FREEDOM VILLAGE -
 GARDEN HOME A**

1811 HILLCREST DR
 LLEWIS, NE 68005

Item	No.	Date	Description

Project Name	
Sheet #	
Issue	
Issue Date	

PRELIMINARY

Issue Number	
Issue Date	
Issue Description	

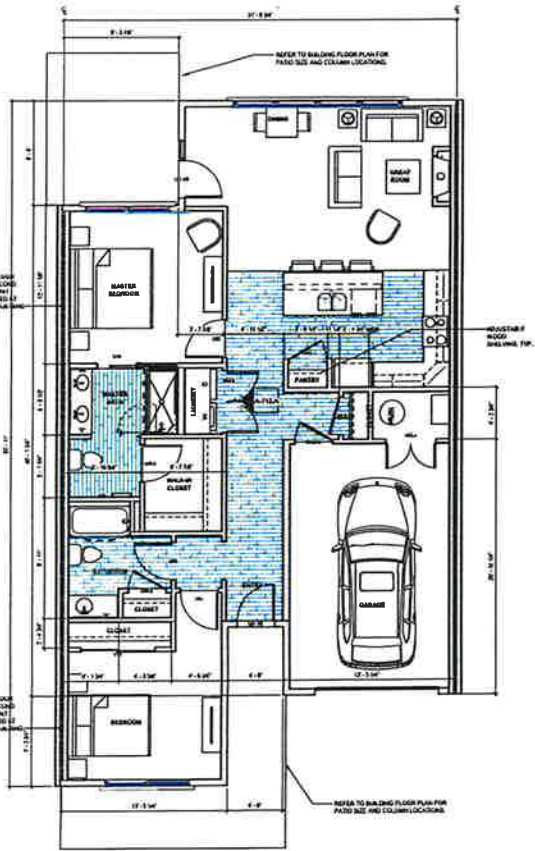
EXTERIOR ELEVATIONS

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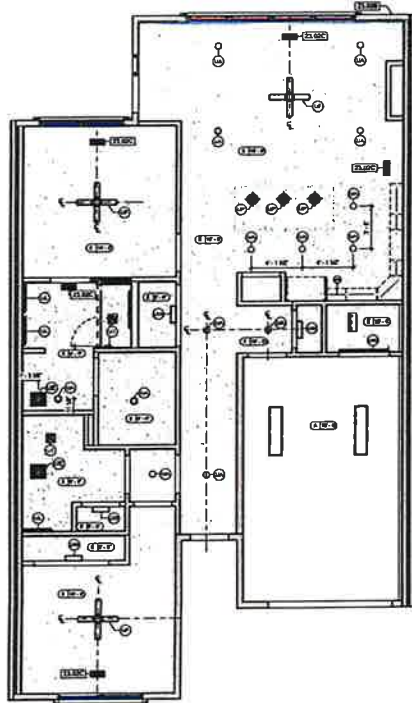
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A1 ENLARGED UNIT PLAN - UNIT C1.0



A3 ENLARGED UNIT RCP - UNIT C1.0

FINISH GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL MATERIALS AND COMPONENTS ARE AS SHOWN AND SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. VERIFY ALL MATERIALS AND COMPONENTS ARE AS SHOWN AND SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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CEILING PLAN GENERAL NOTES
BLDG A AND B

- CONTRACTOR SHALL VERIFY ALL MATERIALS AND COMPONENTS ARE AS SHOWN AND SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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CEILING PLAN SYMBOLS LEGEND

LIGHTING SYMBOLS

- LED PANEL LIGHT
- LED TRACK LIGHT
- LED RECESSED LIGHT
- LED TRACK LIGHT
- LED RECESSED LIGHT
- LED TRACK LIGHT
- LED RECESSED LIGHT
- LED TRACK LIGHT
- LED RECESSED LIGHT
- LED TRACK LIGHT

Mechanical, Low Voltage & Misc. Ceiling Symbols

- MECHANICAL CEILING
- MECHANICAL CEILING
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CEILING TYPE LEGEND

- CEILING TYPE
- CEILING TYPE
- CEILING TYPE
- CEILING TYPE

FINISH WORKING NOTES:

FLOOR FINISH COLOR LEGEND:

KEYNOTE LEGEND

KEY VALUE KEYNOTE TEXT

22.02B PLASTIC COVERED WALL CAP, PAINTED TO MATCH EXTERIOR. RE: MECH

22.02C CEILING SUPPLY GRILLE COORDINATED TO LIGHT FIXTURES. FIELD VERIFY. RE: MECH

LANTZ BOGGIO
 Architects & Interior Designers
 1811 Hillcrest, Bellevue, NE

FREEDOM VILLAGE
BUILDING A
BUILDING B
 1811 Hillcrest, Bellevue, NE

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Date	No.	Date	Description

PRELIMINARY

DATE: 11/18/2021

BY: [Signature]

SCALE: AS SHOWN

DATE: 11/18/2021

BY: [Signature]

SCALE: AS SHOWN

DATE: 11/18/2021

BY: [Signature]

SCALE: AS SHOWN

DATE: 11/18/2021

BY: [Signature]

SCALE: AS SHOWN

ENLARGED UNIT PLAN AND RCP

A-713.AB

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HILLCREST FREEDOM VILLAGE - GARDEN HOME B

1181 HILLCREST DRIVE LEBUE, NE 68005

HARLAN DRIVE

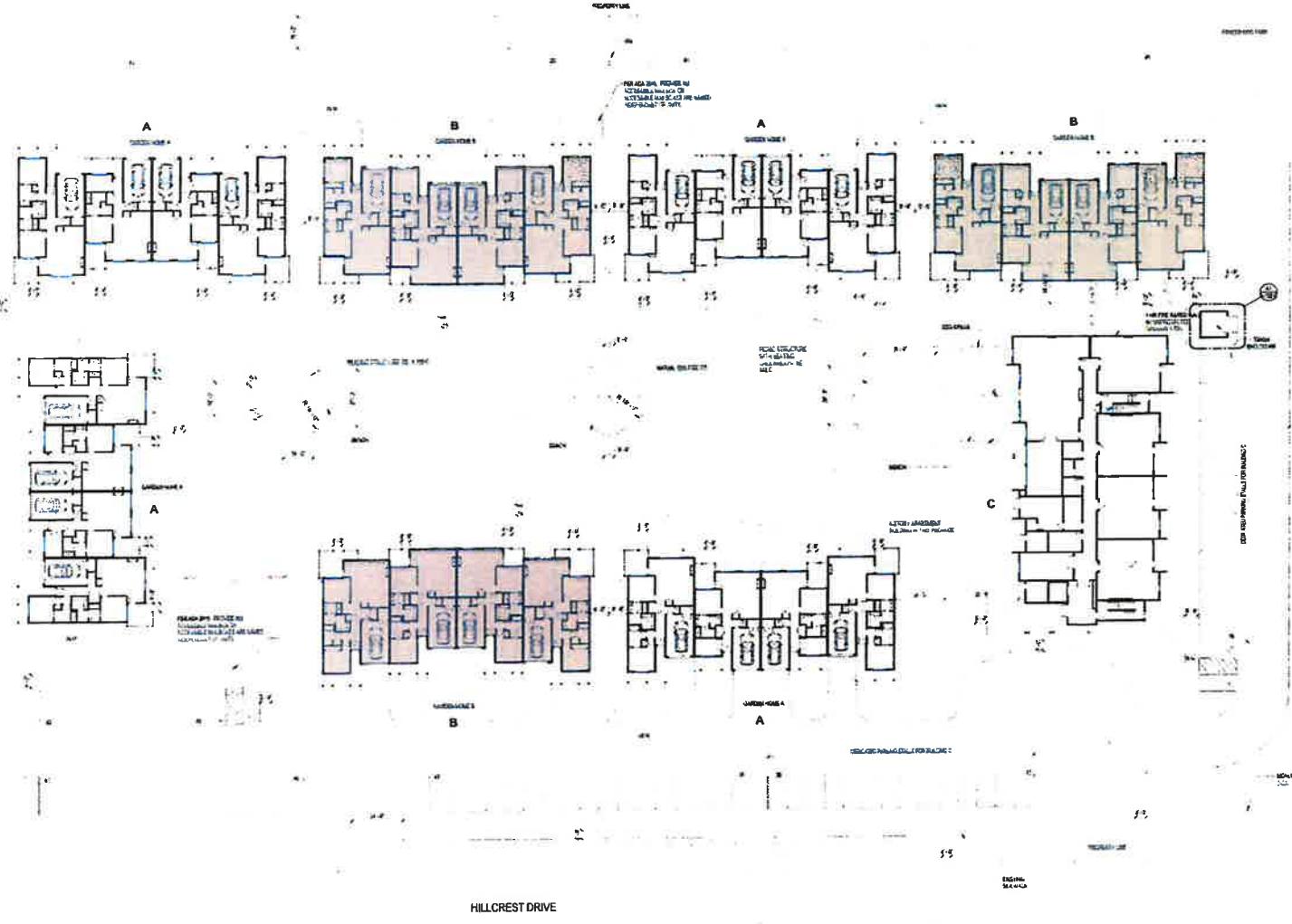
Item	No.	Date	Description

Project Name: _____
 Date: _____
 Scale: 1/8" = 1'-0"
 100% DESIGN DEVELOPMENT

PRELIMINARY

ARCHITECTURAL SITE PLAN

A-101.B



- SITE PROGRAM**
- 28 GARDEN HOMES
 - 28 APARTMENTS
 - 28 GARAGE PARKING SPACES AT GARDEN HOMES
 - 28 DRIVEWAY PARKING SPACES AT GARDEN HOMES
 - 91 SURFACE PARKING REGULAR STALLS
 - 4 ACCESSIBLE PARKING
 - 95 TOTAL SURFACE PARKING (REGULAR STALLS + ACCESSIBLE PARKING)

A 4 PLEX GARDEN HOME*

- (2) 1BD+1BA+DEN+1 CAR GARAGE AT 1050 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- *AREAS DO NOT INCLUDE GARAGE

B 4 PLEX GARDEN HOME*

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- (2) 1BD+1BA+DEN APARTMENT AT 900 SF.
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C APARTMENT BUILDING (4 LEVELS)

- (21) 1BD+1BA APARTMENTS AT 845 SF.
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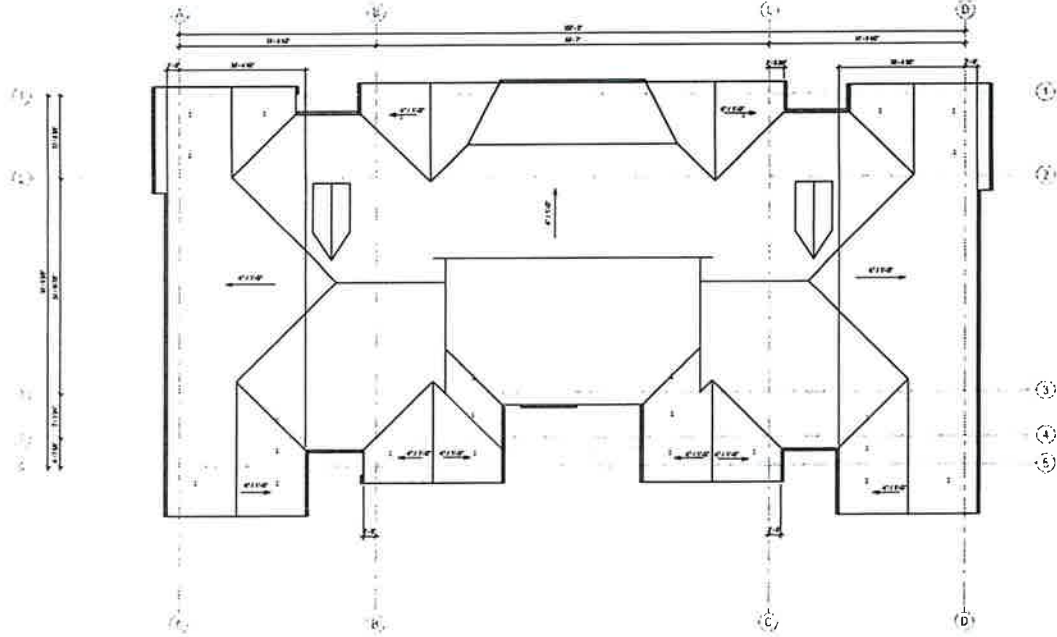
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A1 SITE PLAN

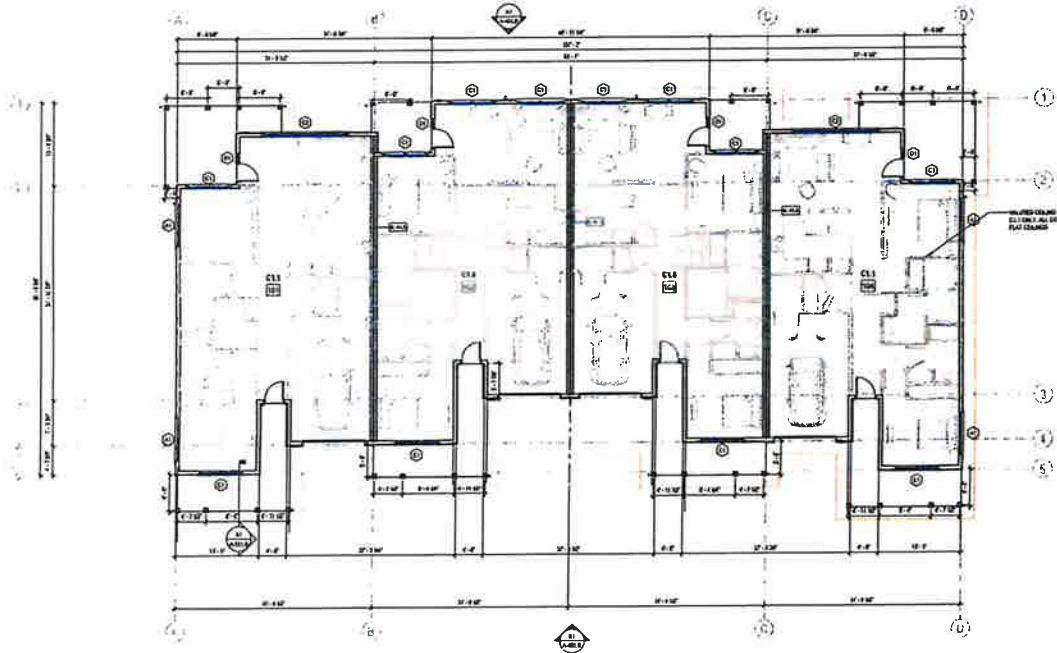
1. These drawings are prepared in accordance with the provisions of the Uniform Building Code, International Building Code, and applicable local codes and regulations. The design is based on the information provided and does not constitute a warranty of any kind. The designer is not responsible for the accuracy of the information provided. The drawings are prepared in accordance with the provisions of the Uniform Building Code, International Building Code, and applicable local codes and regulations. The design is based on the information provided and does not constitute a warranty of any kind. The designer is not responsible for the accuracy of the information provided.



B1 OVERALL ROOF PLAN

- FLOOR PLAN GENERAL NOTES**
1. EXISTING WALLS SHALL BE SHOWN WITH THE EXTERIOR FACE OF EXISTING CONCRETE OR BRICK. THE INTERIOR FACE OF EXISTING CONCRETE OR BRICK SHALL BE SHOWN WITH THE INTERIOR FACE OF EXISTING CONCRETE OR BRICK.
 2. ALL FOUNDATION WALLS AND EXTERIOR WALLS SHALL BE CONSIDERED AS BEING 16 INCHES THICK UNLESS OTHERWISE NOTED. INTERIOR WALLS SHALL BE CONSIDERED AS BEING 12 INCHES THICK UNLESS OTHERWISE NOTED.
 3. GRID LINES ARE LOCATED ON FACE OF UNFINISHED CONCRETE WALLS AND CENTERLINE OF TRUSS OR JOIST.
 4. REFER TO SHEET AND SERIES DRAWINGS FOR UNFINISHED FLOOR PLAN.
 5. REFER TO FINISHING PLAN FOR ALL FLOORING AND FLOOR FINISH LOCATIONS, FINISH SLOPE TO DRAIN.
 6. ALL DOOR OPENINGS ARE SPECIFICALLY INDICATED BY FINISH WALL BE LOCATED 4" FROM FACE OF ADJACENT WALL, TYPICAL.
 7. REFER TO CEILING COMPLIANCE PLAN (C-COMPL) DRAWINGS FOR ALL BASED WALL LOCATIONS AND FINISH REQUIREMENTS.

- ROOF PLAN GENERAL NOTES**
1. SEE ROOF RISE CALCULATIONS FOR DIMENSIONS OF ROOF VALLES AT EACH END.
 2. PROVIDE ROOF RISE AT EACH END OF ROOF VALLE AS SHOWN HEREIN UNLESS OTHERWISE NOTED.
 3. REFER TO LIFE SAFETY PLAN SHEETS FOR LOCATIONS OF ROOF WALLS. ROOF WALLS AND ROOF WALLS SHALL BE CONSIDERED AS BEING 16 INCHES THICK UNLESS OTHERWISE NOTED. INTERIOR WALLS SHALL BE CONSIDERED AS BEING 12 INCHES THICK UNLESS OTHERWISE NOTED. REFER TO SHEET AND SERIES DRAWINGS FOR UNFINISHED FLOOR PLAN.
 4. ALL DOWNSPOUTS TO BE CONNECTED TO UNDERGROUND STORMWATER COLLECTION SYSTEM UNLESS OTHERWISE NOTED.
 5. SMALL JAMBES 12" BY 16" AND 12" BY 12" SHALL BE LOCATED AT EACH END OF ROOF WALLS. REFER TO SHEET AND SERIES DRAWINGS FOR UNFINISHED FLOOR PLAN.
 6. ALL ROOF WALLS SHALL BE CONSIDERED AS BEING 16 INCHES THICK UNLESS OTHERWISE NOTED.
 7. ALL ROOF WALLS SHALL BE CONSIDERED AS BEING 16 INCHES THICK UNLESS OTHERWISE NOTED.



A1 LEVEL 01 OVERALL FLOOR PLAN

LANTZ BOGGIO
 ARCHITECTS
 3800 GTC Plaza, Suite 200 (Opposite) CO 80111, Ph: 303.733.2424

**HILLCREST FREEDOM
 VILLAGE - GARDEN
 HOME B**

1181 HILLCREST DR
 LEVIEUE, NE 68005

**RECEIVED
 JUN 18 2021
 PLANNING DEPT.**

Issue	No.	Date	Description

Sheet 7 of 7
 DATE OF ISSUE: 05/11/2021

PRELIMINARY

USA Project # 2020.24
 Drawn by: Author
 Checked by: Checker

OVERALL FLOOR PLAN &
 ROOF PLAN

A-210.B

NOT FOR CONSTRUCTION

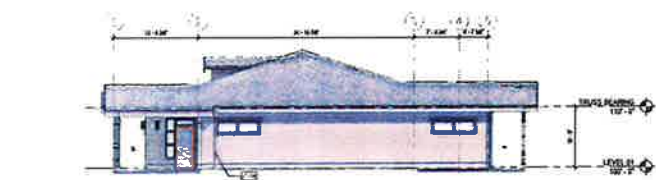
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01/20/2021 10:41:11 PM

ITEM NUMBER	REVISION	DATE
01	ISSUED FOR PERMIT	11/17/2021
02	REVISION TO PERMIT	11/17/2021
03	REVISION TO PERMIT	11/17/2021
04	REVISION TO PERMIT	11/17/2021
05	REVISION TO PERMIT	11/17/2021
06	REVISION TO PERMIT	11/17/2021
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20	REVISION TO PERMIT	11/17/2021

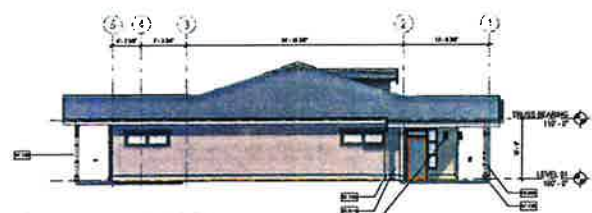
LANTZ BOGGIO
Architectural Firm
3600 DTC Parkway, Suite 200 | Denver, CO 80111 | Tel. 303.752.4444

**HILLCREST FREEDOM
VILLAGE - GARDEN
HOME B**

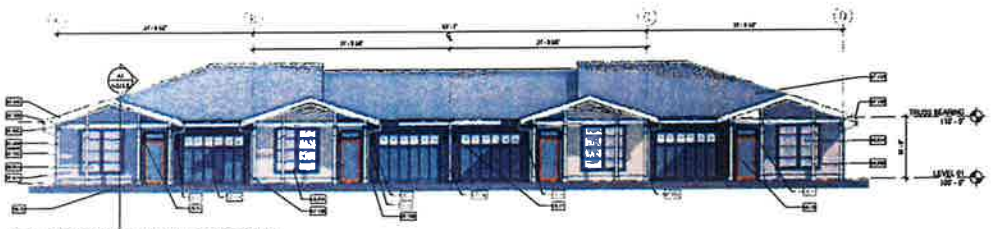
1181 HILLCREST DR LLEVUE, NE 68005



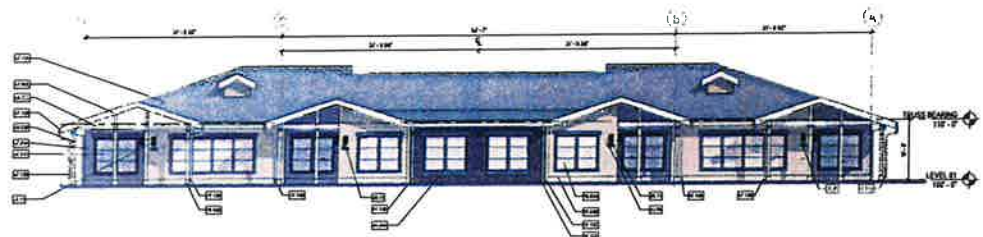
D1 OVERALL WEST ELEVATION
14'0" x 11'0"



D4 OVERALL EAST ELEVATION
14'0" x 11'0"



B1 EXTERIOR ELEVATION GARAGE SIDE
14'0" x 11'0"



A1 EXTERIOR ELEVATIONS PARK SIDE
14'0" x 11'0"

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JUN 18 2021
PLANNING DEPT.

Rev	Iss.	Date	Description

Project Name:
Sheet #
DATE REVISION (REV) COMMENTS
DATE (REV)

PRELIMINARY

UBA Project # 2020-24
Date:
Drawn by:
Checked by:

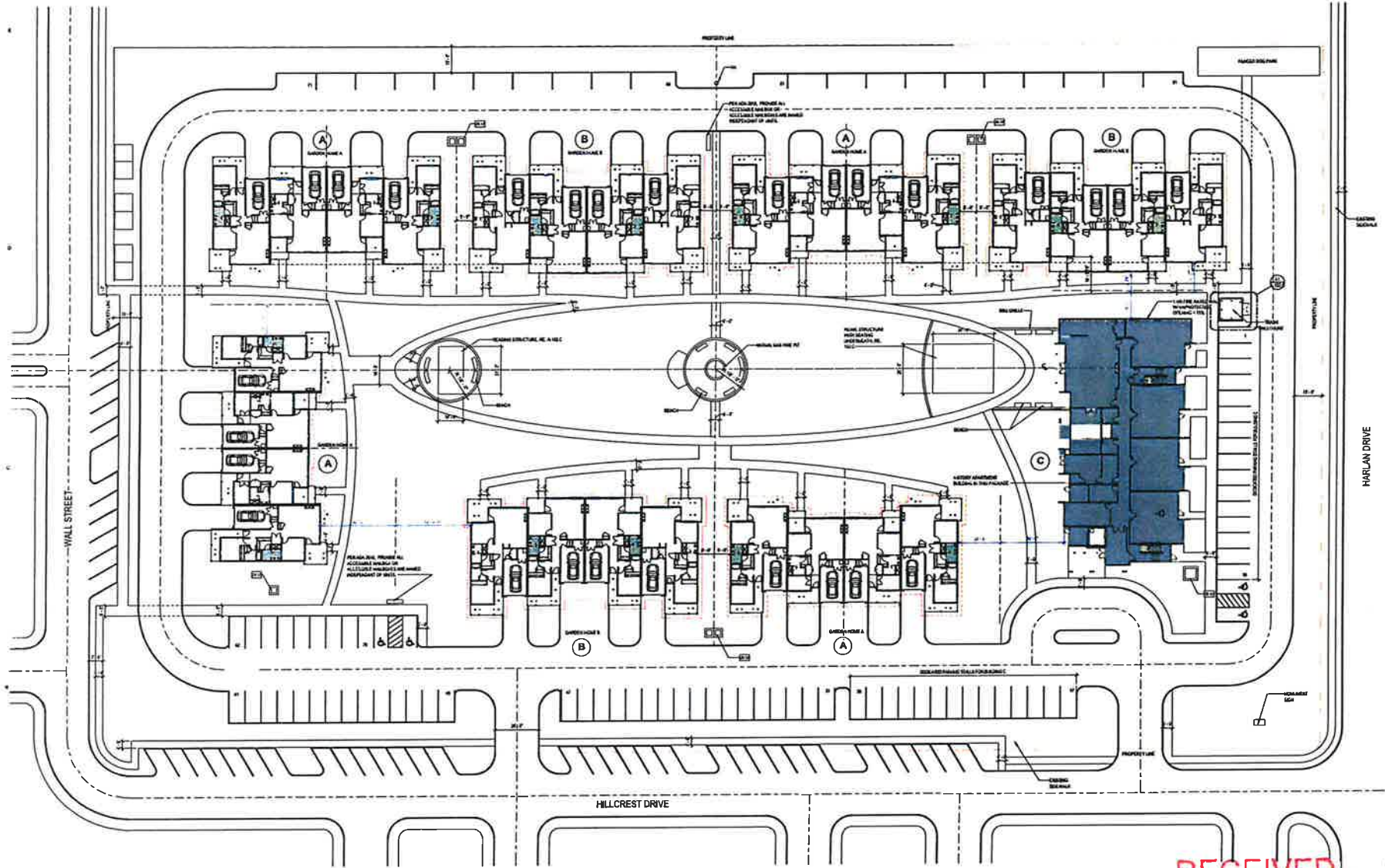
Author
Checker

EXTERIOR ELEVATIONS

A-401.B

NOT FOR CONSTRUCTION

REVISED	REVISION



FREEDOM VILLAGE BUILDING C

1811 HILLCREST DRIVE BELLEVUE, NE 68005

Date	By	Description

Project Name: _____
 Scale: _____ Date: _____
 100% DESIGN DEVELOPMENT (11.11.2021)

PRELIMINARY

100% Project #	2020-2400
Date	
Drawn by	Author
Checked by	Checker

ARCHITECTURAL SITE PLAN

A-101.C

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PLANNING DEPT.

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SITE PROGRAM

- 28 GARDEN HOMES
- 28 APARTMENTS
- 28 GARAGE PARKING SPACES AT GARDEN HOMES
- 28 DRIVEWAY PARKING SPACES AT GARDEN HOMES
- 91 SURFACE PARKING REGULAR STALLS
- 4 ACCESSIBLE PARKING
- 95 TOTAL SURFACE PARKING (REGULAR STALLS + ACCESSIBLE PARKING)

A 4 PLEX GARDEN HOME*

- (2) 1BD+1BA+DEN+1 CAR GARAGE AT 1050 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- *AREAS DO NOT INCLUDE GARAGE

B 4 PLEX GARDEN HOME*

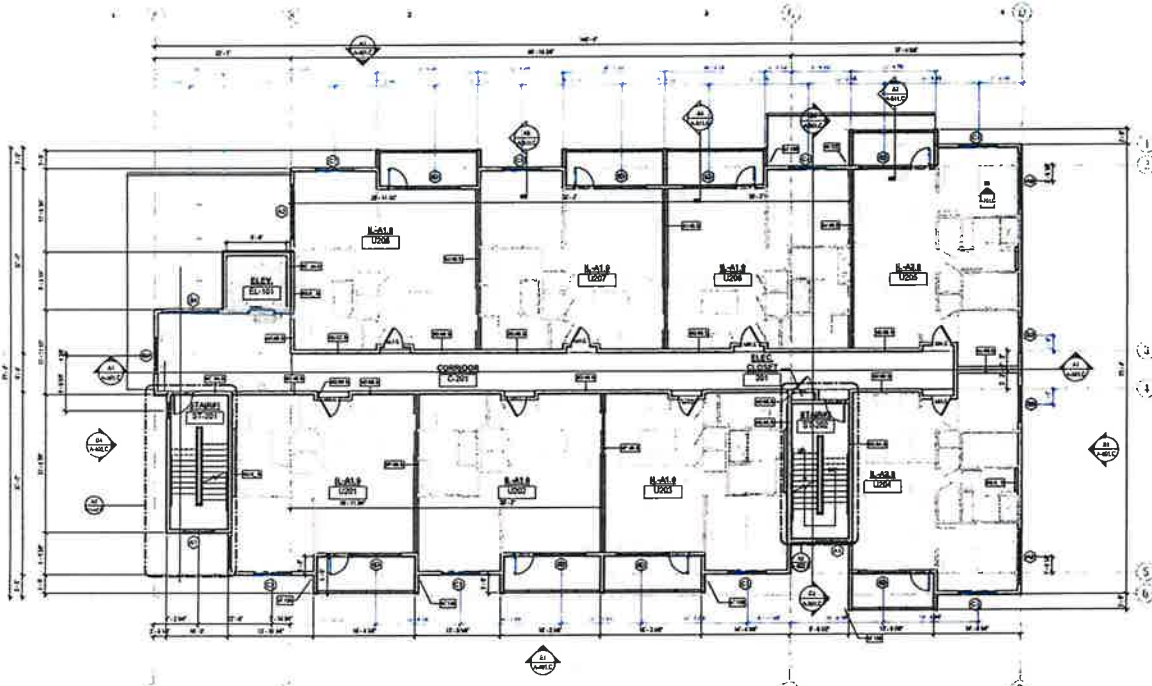
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- *AREAS DO NOT INCLUDE GARAGE

C APARTMENT BUILDING (4 LEVELS)

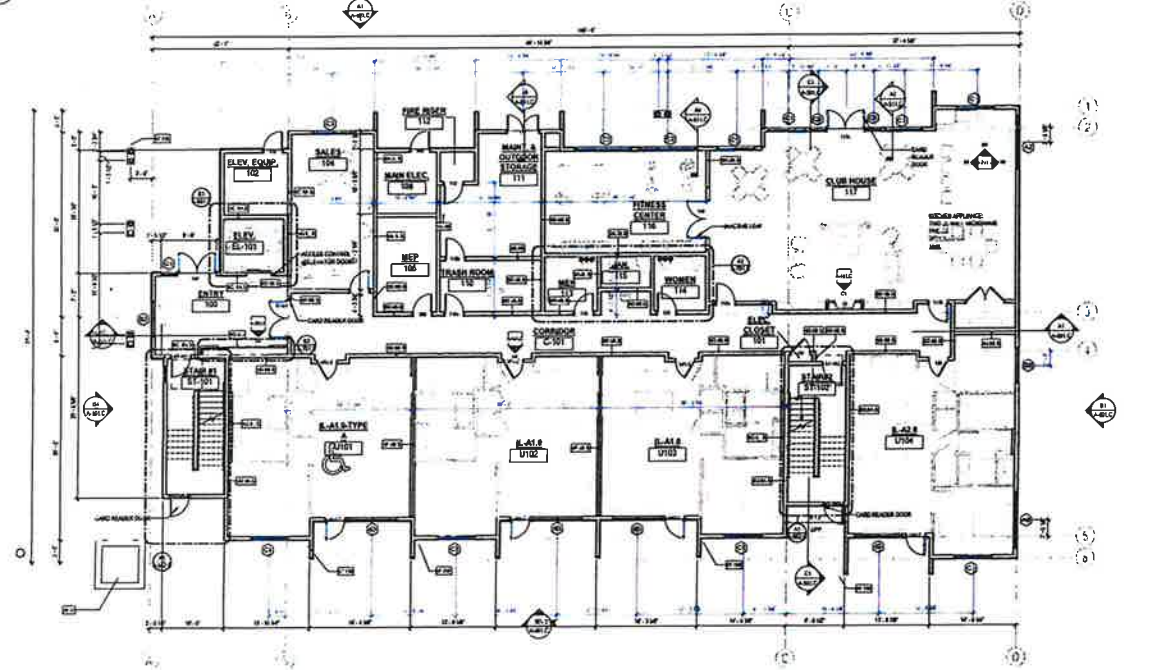
- (21) 1BD+1BA APARTMENTS AT 845 SF.
- (7) 1BD+1BA+DEN APARTMENT AT 900 SF.
- 1470 SF. COMMUNITY ROOM ON LEVEL 1
- 430 SF. EXERCISE ROOM ON LEVEL 1

10/20/2021 11:25:34 AM
 Lantz Boggio Architects & Interiors Group
 14501 17th Ave, NE, Suite 201, Bellevue, WA 98005
 Tel: 206.464.8800 Fax: 206.464.8801
 www.lantz-boggio.com
 Project: 2020-2400
 Date: 11/11/2021
 Scale: 1/8" = 1'-0"
 Drawn by: [blank]
 Author: [blank]
 Checked by: [blank]
 Checker: [blank]

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C1 LEVEL 02 OVERALL FLOOR PLAN



A1 LEVEL 01 OVERALL FLOOR PLAN

- FLOOR PLAN GENERAL NOTES**
1. REFER TO ALL NOTES ON SHEETS 01-100 THROUGH 01-105 FOR GENERAL NOTES AND CONDITIONS OF CONTRACT.
 2. ALL PROFESSIONAL SHALL BE SHOWN WITH A PROFESSIONAL SEAL AND EXPIRE DATE OF SEAL TO FACE OF SHEET OR DRAWING.
 3. GRID LINES ARE LOCATED ON FACE OF UNFINISHED EXTERIOR WALLS AND CENTERLINE OF EXISTING COLUMN LINES.
 4. REFER TO SHEET 01-100 FOR GENERAL NOTES AND CONDITIONS OF CONTRACT.
 5. REFER TO SHEET 01-100 FOR ALL FINISHED FINISHES. THE REFER TO THE FINISH SCHEDULE FOR ALL FINISHES AND MATERIALS. ALL FINISHES SHALL BE AS SHOWN ON SHEET 01-100.
 6. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE SHOWN WITH A DASHED LINE. ALL NEW WALLS SHALL BE SHOWN WITH A SOLID LINE. ALL EXISTING WALLS TO BE RECONSTRUCTED SHALL BE SHOWN WITH A DASHED LINE AND A SOLID LINE.
 7. REFER TO FINISH SCHEDULE FOR ALL FINISHES AND MATERIALS. PROVIDE SLOPE TO DRAIN.
 8. ALL DOOR SCHEDULES NOT SPECIFICALLY INDICATED SHALL BE LOCATED AT THE FACE OF EXISTING WALL TYPES UNLESS NOTED OTHERWISE.
 9. REFER TO CODE COMPLIANCE PLANS AS SHOWN ON SHEETS 01-100 THROUGH 01-105 FOR ALL FINISH WALL LOCATIONS AND FINISH SCHEDULES.

GENERAL LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING WALL
(Symbol)	NEW WALL
(Symbol)	EXISTING DOOR
(Symbol)	NEW DOOR

LANTZ BOGGIO
 ARCHITECTS AND ENGINEERS
 1811 HILLCREST DRIVE, BELLEVUE, NE 98005

**FREEDOM VILLAGE
 BUILDING C**

1811 HILLCREST DRIVE, BELLEVUE, NE 98005

Item	Rev.	Date	Description

Project Name: _____
 Sheet # _____ of _____
 Date: _____
 Author: _____
 Checker: _____

PRELIMINARY

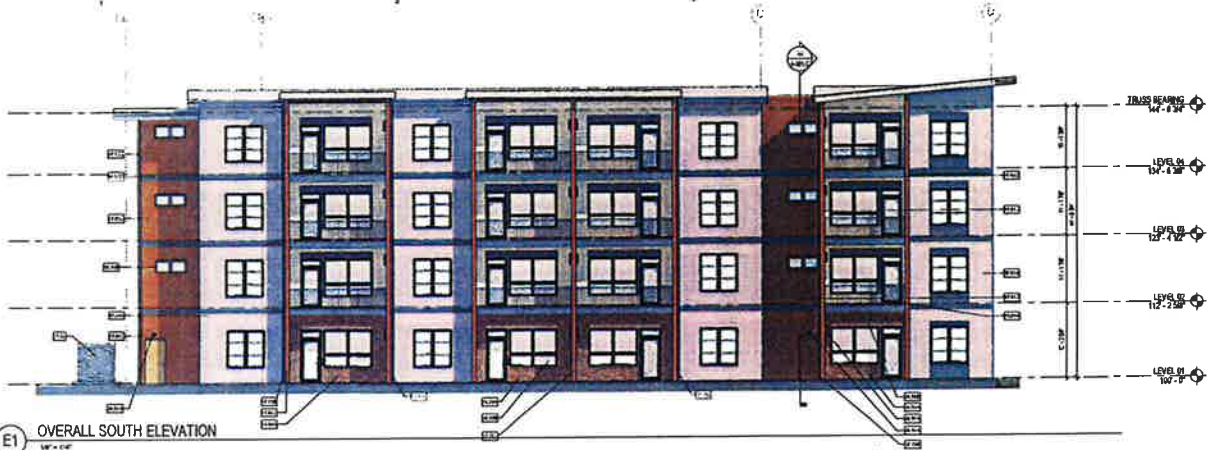
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 JUN 18 2021
 PLANNING DEPT.**

NOT FOR CONSTRUCTION

L&A Project # 2020-2400
 Date _____
 Drawn by _____
 Checked by _____

OVERALL FLOOR PLAN - LEVEL 1 & 2

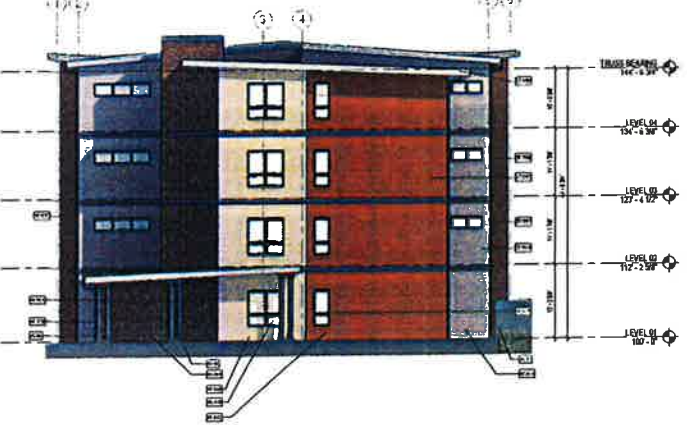
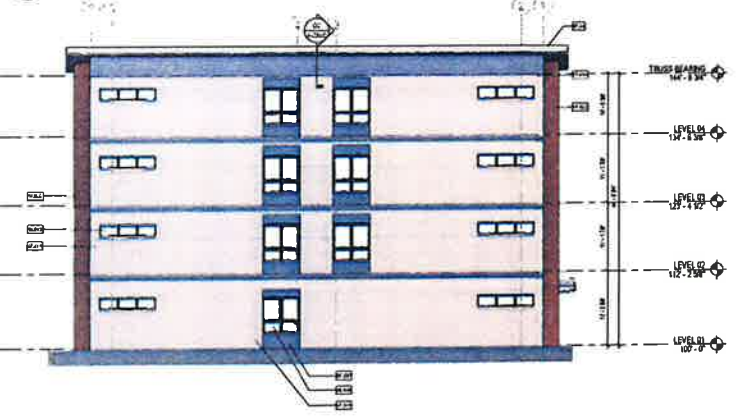
A-210.C



DESCRIPTION	DATE
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99. REVISED PER COMMENTS FROM CLIENT	06/25/23
100. REVISED PER COMMENTS FROM CLIENT	07/05/23

EXTERIOR LIGHTING FIXTURE

USE EXTERIOR LIGHTING FIXTURES AS SHOWN ON SHEET E-101 FOR ALL EXTERIOR LIGHTING. ALL FIXTURES SHALL BE INSTALLED AT THE EXTERIOR WALLS OF THE BUILDING. ALL FIXTURES SHALL BE INSTALLED AT THE EXTERIOR WALLS OF THE BUILDING. ALL FIXTURES SHALL BE INSTALLED AT THE EXTERIOR WALLS OF THE BUILDING. ALL FIXTURES SHALL BE INSTALLED AT THE EXTERIOR WALLS OF THE BUILDING.



RECEIVED
JUN 18 2021
PLANNING DEPT.

LANTZ-BOGGIO
 Architects & Interior Designers
 1811 Hillcrest Drive, Bellevue, NE 68005
 402.252.5500

**FREEDOM VILLAGE
 BUILDING C**
 1811 HILLCREST DRIVE, BELLEVUE, NE 68005

Item No.	Date	Description

DATE: 06/18/2021
 TIME: 10:00 AM

PRELIMINARY

USA Project # 2005-2400
 Date: 06/18/2021
 Drawn by: Author
 Checked by: Checker

EXTERIOR ELEVATIONS

A-401.C

NOT FOR CONSTRUCTION

Lantz-Boggio Architects & Interior Designers, 1811 Hillcrest Drive, Bellevue, NE 68005, 402.252.5500
 6/18/2021 10:00 AM

Room	Floor	Date	Description

Project Name: _____
 Room / _____
 Date: _____
 Scale: _____

PRELIMINARY

By: _____
 Date: _____

Checked By: _____
 Date: _____

ENLARGED UNIT PLAN AND RCP

A-710.C

FINISH GENERAL NOTES

1. PROVIDE FINISHES TO MATCH THE GENERAL CONTRACT DRAWINGS AND SPECIFICATIONS. ALL FINISHES SHALL BE INSTALLED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
2. ALL FINISHES SHALL BE INSTALLED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
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15. ALL FINISHES SHALL BE INSTALLED TO THE FINISH LINE UNLESS OTHERWISE NOTED.

FINISH WORKING NOTES:

FLOOR FINISH COLOR LEGEND:

- LAMINATE
- CERAMIC TILE
- POLISHED CONCRETE
- CARPET

Key Value	Material Legend	Keynote Text
23.030	PLASTIC COVERED WALL CAP, PAINTED TO MATCH EXTERIOR, SEE MECH.	
23.030C	CEILING SUPPLY GRILLE COORDINATED W/ LIGHT FIXTURES, FIELD VERIFY, SEE MECH.	

CEILING PLAN GENERAL NOTES-BLDG C

1. PROVIDE FINISHES TO MATCH THE GENERAL CONTRACT DRAWINGS AND SPECIFICATIONS.
2. ALL FINISHES SHALL BE INSTALLED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
3. ALL FINISHES SHALL BE INSTALLED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
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CEILING PLAN SYMBOLS LEGEND

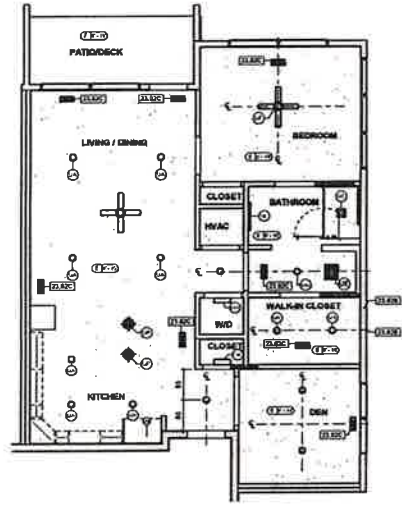
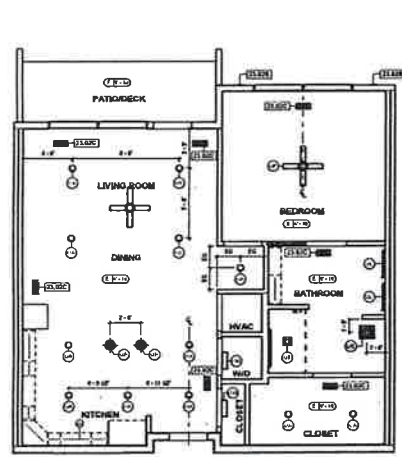
- Lighting Symbols**
- RECESSED DOWNLIGHT
 - TRACK LIGHT
 - RECESSED CANOPY LIGHT
 - RECESSED DOWNLIGHT
 - TRACK LIGHT
 - RECESSED CANOPY LIGHT
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 - RECESSED CANOPY LIGHT
 - TRACK LIGHT
 - RECESSED CANOPY LIGHT
 - TRACK LIGHT

Mechanical Low Voltage & Misc. Ceiling Symbols

- RECESSED DOWNLIGHT
- TRACK LIGHT
- RECESSED CANOPY LIGHT
- TRACK LIGHT
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CEILING TYPE LEGEND

- RECESSED DOWNLIGHT
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D4 BATHROOM VANITY ELEV.
1/4" = 1'-0"

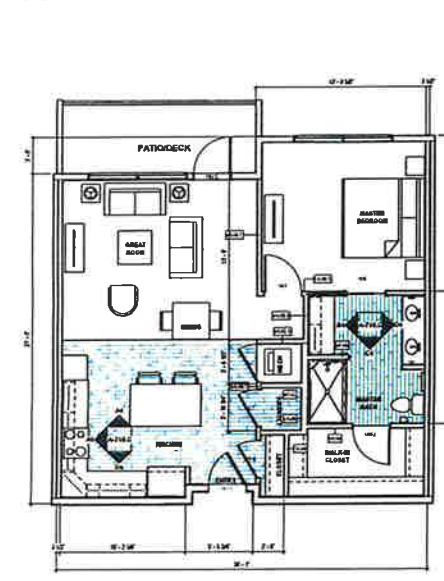
B4 BATHROOM SHOWER ELEV.
1/4" = 1'-0"

RECEIVED
JUN 18 2021
PLANNING DEPT.

C1 ENLARGED UNIT RCP - UNIT A1.0
1/4" = 1'-0"

C3 ENLARGED UNIT RCP - UNIT A2.0
1/4" = 1'-0"

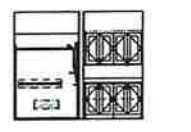
C4 BATHROOM ELEVATION
1/4" = 1'-0"



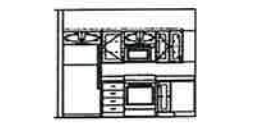
A1 ENLARGED UNIT PLAN - UNIT A1.0
1/4" = 1'-0"

A3 ENLARGED UNIT PLAN - UNIT A2.0
1/4" = 1'-0"

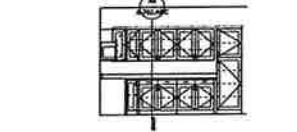
A4 KITCHEN ISLAND ELEVATION
1/4" = 1'-0"



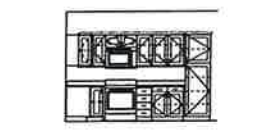
B5 KIT. REF/RANGE ELEV.
1/4" = 1'-0"



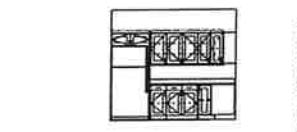
C6 KITCHEN ELEVATION
1/4" = 1'-0"



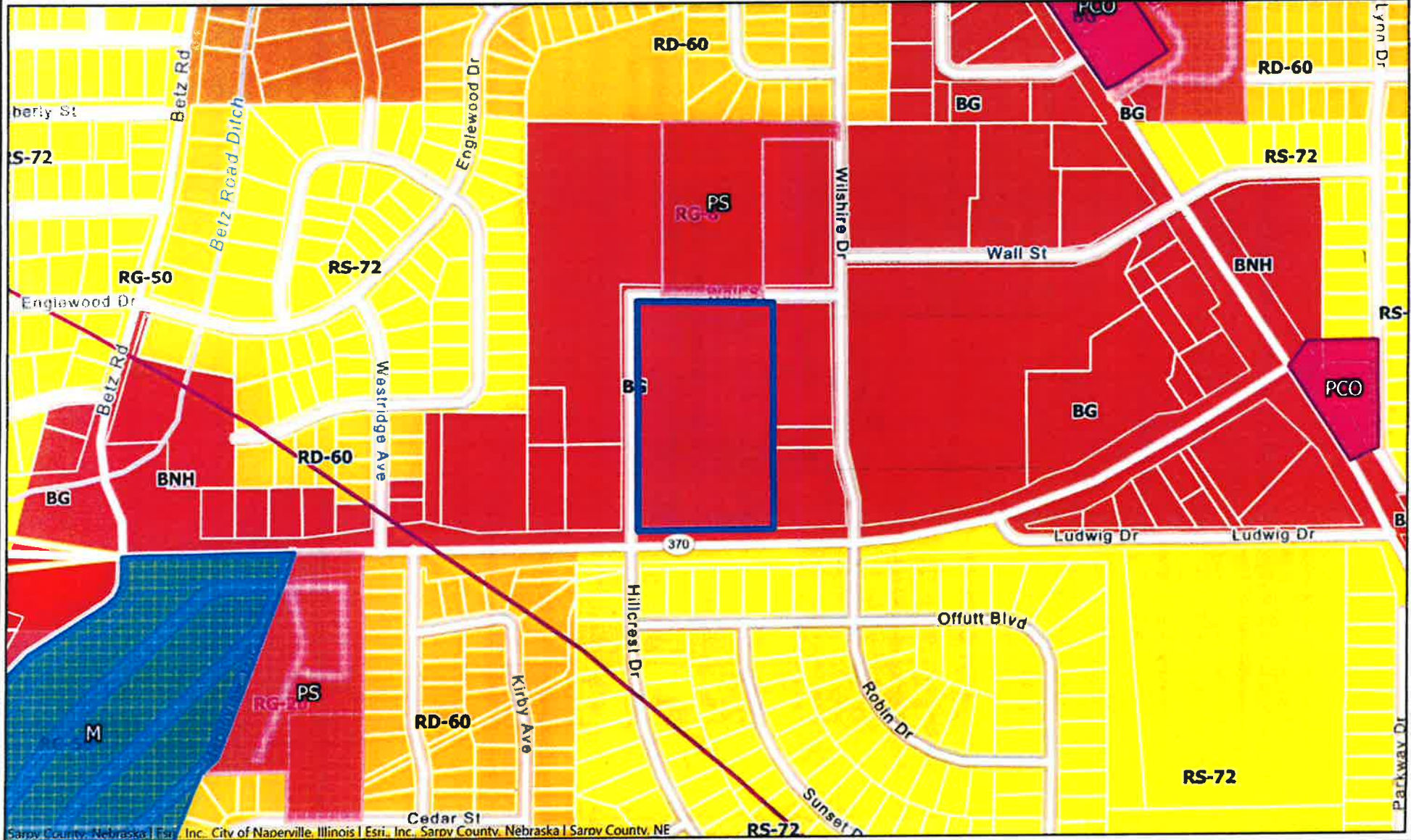
A5 KITCHEN RANGE ELEV.
1/4" = 1'-0"



D6 KITCHEN REF. ELEV.
1/4" = 1'-0"



NOT FOR CONSTRUCTION



Sarpy County, Nebraska | Esri, Inc. City of Naperville, Illinois | Esri, Inc. Sarpy County, Nebraska | Sarpy County, NE



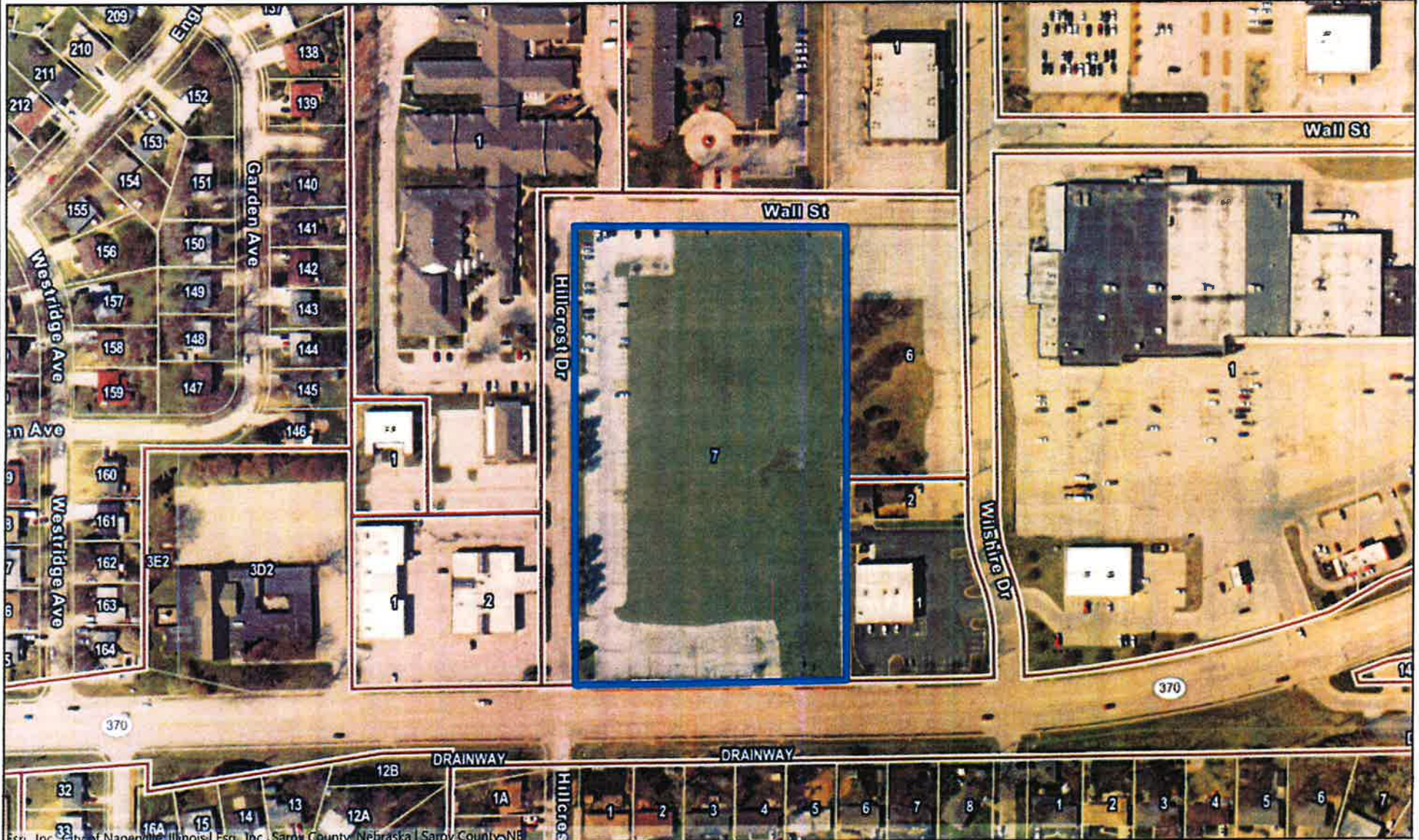
Map Scale 1: 6370

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Notes





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0 250 500 ft

Map Scale 1: 3185

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Notes

SITE SUMMARY		
EXISTING ZONING: R3 PROPOSED ZONING: R3-28-P3		
SITE DATA	REQUIRED	PROVIDED
TOTAL SITE SIZE	2,000 S.F. (112,000 S.F.)	4,100 S.F. (288,270 S.F.)
SETBACKS*	FRONT YARD - 20' REAR YARD - 10' SIDE YARD - 10'	FRONT YARD - 51.4' (MIN) REAR YARD - 91.4' (MIN) SIDE YARD - 15.1' (MIN) STREET YARD - 61.4' (MIN)
IMPERVIOUS COVERAGE	80% MAX.	60%
BUILDING HEIGHT	7'0"	48'-0" MAX (APPROX.)

*PER R3 DISTRICT REQUIREMENTS.

- REMARKS:**
- THE SITE PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE (PCC) AS REQUIRED BY SITE. SITE SPECIFIC DESIGN IS PROVIDED FOR APPROVAL AS PROVIDED FOR IN BELLEVUE MUNICIPAL CODE APPENDIX A, ARTICLE 6.3.0. SUBPARAGRAPHS 2.
 - THE LIST OF AMENITIES FOR THIS SITE INCLUDE THE FOLLOWING:
 - WALKING STRUCTURE
 - BIKE RACKS
 - BIKE STORAGE
 - BIKE AREA
 - PERFORM GOOD PARK FOR USE BY THE RESIDENTS

GARDEN HOME SUMMARY			
BUILDING NO.	TYPE	1 BED UNITS	2 BED UNITS
BUILDING A	TYPE A	0	4
BUILDING B	TYPE B	2	2
BUILDING C	TYPE A	0	4
BUILDING D	TYPE A	0	4
BUILDING E	TYPE B	2	2
BUILDING F	TYPE A	0	4
BUILDING G	TYPE B	2	2
TOTAL UNITS		28	28

APARTMENT UNIT BREAKDOWN (BUILDING H)	
TYPE	NUMBER OF UNITS
1 BEDROOM	28
TOTAL	28

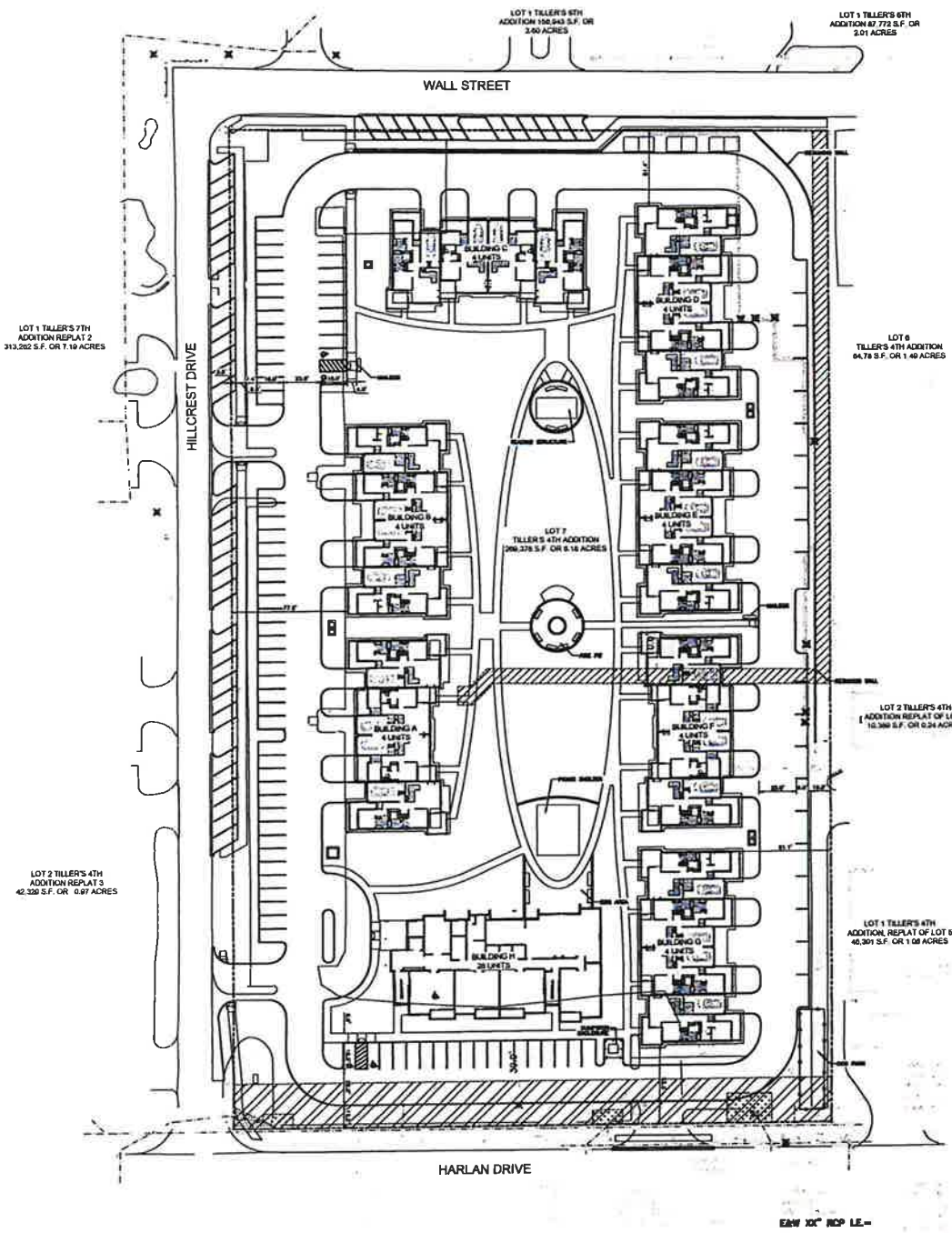
PARKING SUMMARY	
STALL TYPE	STALLS
STANDARD STALLS	80
ADA STALLS	4
GARAGE STALLS	28
TANDEM STALLS (AT GARAGE)	28
TOTAL STALLS	140

PERFORM REQUIREMENTS:

- 1 PER DWELLING = 18 STALLS
- 2 PER APARTMENT = 56 STALLS
- TOTAL REQUIRED = 44 STALLS

EASEMENT LEGEND

- EASEMENT GRANTED TO CHESAPEAKE PUBLIC UTILITIES COMPANY FOR THE INSTALLATION AND MAINTENANCE OF UTILITY EQUIPMENT AS SHOWN ON THE UTILITY RECORDS.
- EASEMENT GRANTED TO THE STATE OF NEBRASKA FOR THE INSTALLATION AND MAINTENANCE OF UTILITY EQUIPMENT AS SHOWN ON THE UTILITY RECORDS.

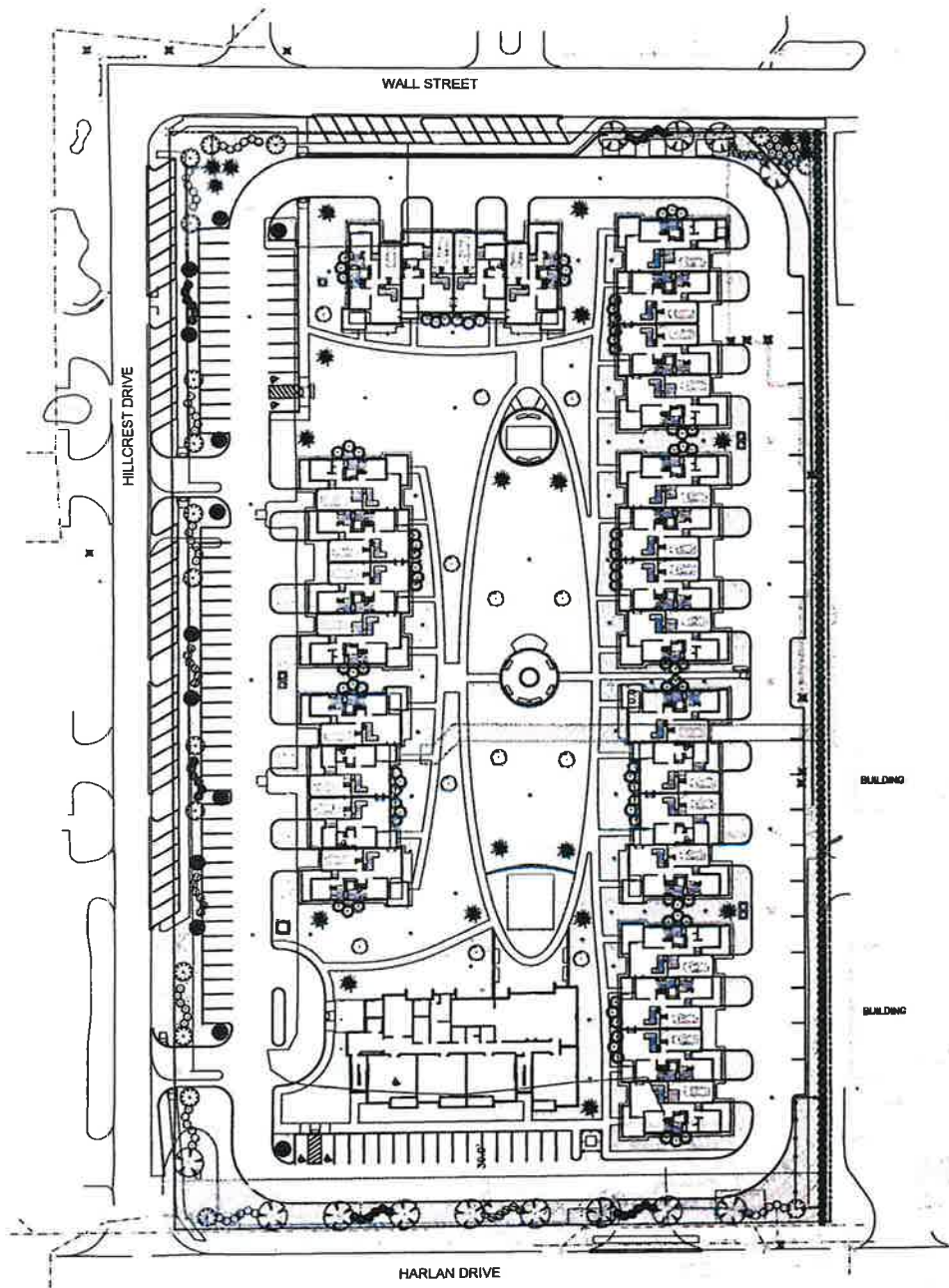


EAH XC RCP LE-

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JUN 18 2021
PLANNING DEPT.

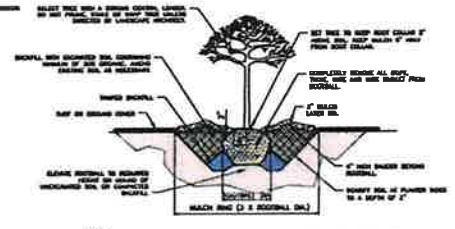
LSA Project #	2020-2400
Date	
Drawn by	B. Davis
Checked by	D. Patten

PRELIMINARY

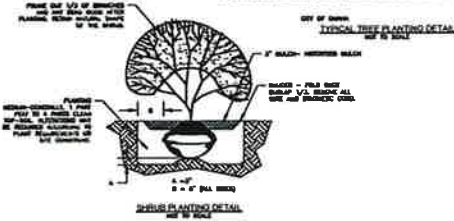


LEGEND

- ASBESTOS
- ASBESTOS BASE SHEET
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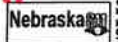
1. ALL PLANTS USED AS SPECIFIED SHALL BE AMENDED AS NECESSARY TO CORRECT FOR ORGANIC MATERIAL.
2. PLANTING SPECIES: AMENDMENT BOTTOM THIRD OF BASKET, ROOTS AND TRUNK. REMOVE TREE AND PLANTS. TRIM SPECIES TO STABILIZE. COMPLETE REMOVAL OF ALL WIRE, BERRY, AND TRUNK. REMOVE SPECIES AND WIRE.
3. STREET TREE PLANTING INSPECTION AND APPROVAL BY CITY OF OMAHA SHALL BE DONE IN TWO STAGES:
 - A) EXAMINATION OF PLANTER AREA AND COMPACTOR RELIEF TREATMENT PRIOR TO PLANTING AND BACKFILLING.
 - B) FINAL INSTALLATION AFTER PLANTING AND BACKFILLING.



LANDSCAPE TREE SCHEDULE							
QTY.	BOTANICAL NAME	COMMON NAME	PLANTING METHOD	SIZE @ PLANTING	SPACING	NATURE SPREAD	NATURE HEIGHT
OVERSTORY DECIDUOUS TREES							
13	ACER FRAXINUS 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	BAB	2" CAL.	AS SHOWN	35'	40'
12	QUERCUS FLUMINUM	RED OAK	BAB	2" CAL.	AS SHOWN	50'	80'
UNDERSTORY/ORNAMENTAL							
18	ACER GRINOLA	AMUR MAPLE	BAB	2" CAL.	AS SHOWN	20'	20'
13	MALUS X PRANIFRERE	PRANIFRERE CRAB	BAB	2" CAL.	AS SHOWN	15'	20'
CONIFEROUS TREE							
22	PICEA GLAUCA DENSATA	BLACKHILLS SPRUCE	BAB	8" HT.	AS SHOWN	25'	50'
DECIDUOUS SHRUBS							
24	ARONIA ARBUTIFOLIA 'SUNSHINE'™	RED CHOCERRY	CONT.	3 GAL.	AS SHOWN	3'	7'
60	AMELANCHIER ALNFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	3 GAL.	AS SHOWN	5'	6'
84	SPirea RETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	CONT.	3 GAL.	30" O.C.	3'	3'
EVERGREEN SHRUBS							
185	JUNIPERUS CHINENSIS 'MANEY'	MANEY JUNPER	CONT.	3 GAL.	8" O.C.	6'	3'

LANDSCAPE SCHEDULE
 - REDUCED LANDSCAPE AREA - 125 PROPOSED SHALES X 18 SF/SHALE = 2,250 SF.
 - TOTAL PROPOSED LANDSCAPE AREA = 15,001 SF.
 13,001 SF. > 2,250 SF.

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NOT FOR CONSTRUCTION



ORDINANCE NO. 4046

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF BELLEVUE, NEBRASKA, AS PROVIDED FOR BY ARTICLE 3 OF ORDINANCE NO. 3619 BY CHANGING THE ZONE CLASSIFICATION OF LAND LOCATED AT OR ABOUT 1811 HILLCREST DRIVE, MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THE ORDINANCE AND TO PROVIDE AN EFFECTIVE DATE.

WHEREAS, having received a recommendation from the city of Bellevue Planning Commission and proper notice having been given and public hearing held as provided by law:

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That part of the official zoning map of the City of Bellevue, Nebraska, as provided in Article 3, of Ordinance No. 3619 is hereby amended to change the zone classification of the following described parcel of land:

Lot 7, Tiller's 4th Addition, located in the Northeast ¼ of Section 35, T14N, R13E of the 6th P.M., Sarpy County, Nebraska.

From BG (General Business) to RG-20-PS (General Residential – 2,000 Square Foot Zone – Planned Subdivision).

(Freedom Village, LLC)

Section 2. Except as amended herein, the official zoning map and the classification shown therein shall remain as heretofore existing.

Section 3. This ordinance shall take affect and be in force from and after its adoption and publication according to law.

ADOPTED by the Mayor and City Council this _____ day of _____, 2021.

APPROVED AS TO FORM:

City Attorney

ATTEST

City Clerk

Mayor

First Reading: 8/3/2021
Second Reading: 08/17/2021
Third Reading: _____

SITE SUMMARY		
EXISTING ZONING: R3 PROPOSED ZONING: R3-28-P3		
SITE DATA	REQUIRED	PROVIDED
TOTAL SITE SIZE	2,000 S.F. (112,000 S.F.)	4,100 S.F. (288,270 S.F.)
SETBACKS*	FRONT YARD - 20' REAR YARD - 10' SIDE YARD - 10'	FRONT YARD - 51.4' (MIN) REAR YARD - 91.4' (MIN) SIDE YARD - 15.1' (MIN) STREET YARD - 61.4' (MIN)
IMPERVIOUS COVERAGE	80% MAX.	60%
BUILDING HEIGHT	7'0"	48'-0" MAX (APPROX.)

*PER R3 DISTRICT REQUIREMENTS.

- REMARKS:**
- THE SITE PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE (PCC) AS REQUIRED BY SITE. SITE SPECIFIC DESIGN IS PROVIDED FOR APPROVAL AS PROVIDED FOR IN BELLEVUE MUNICIPAL CODE APPENDIX A, ARTICLE 6.3.0. SUBPARAGRAPHS 2.
 - THE LIST OF AMENITIES FOR THIS SITE INCLUDE THE FOLLOWING:
 - WALKING STRUCTURE
 - FIRE PIT
 - PICNIC SHELTER
 - BBO AREA
 - PERFORM GOOD PARK FOR USE BY THE RESIDENTS




GARDEN HOME SUMMARY			
BUILDING NO.	TYPE	1 BED UNITS	2 BED UNITS
BUILDING A	TYPE A	0	4
BUILDING B	TYPE B	2	2
BUILDING C	TYPE A	0	4
BUILDING D	TYPE A	0	4
BUILDING E	TYPE B	2	2
BUILDING F	TYPE A	0	4
BUILDING G	TYPE B	2	2
TOTAL UNITS		28	28

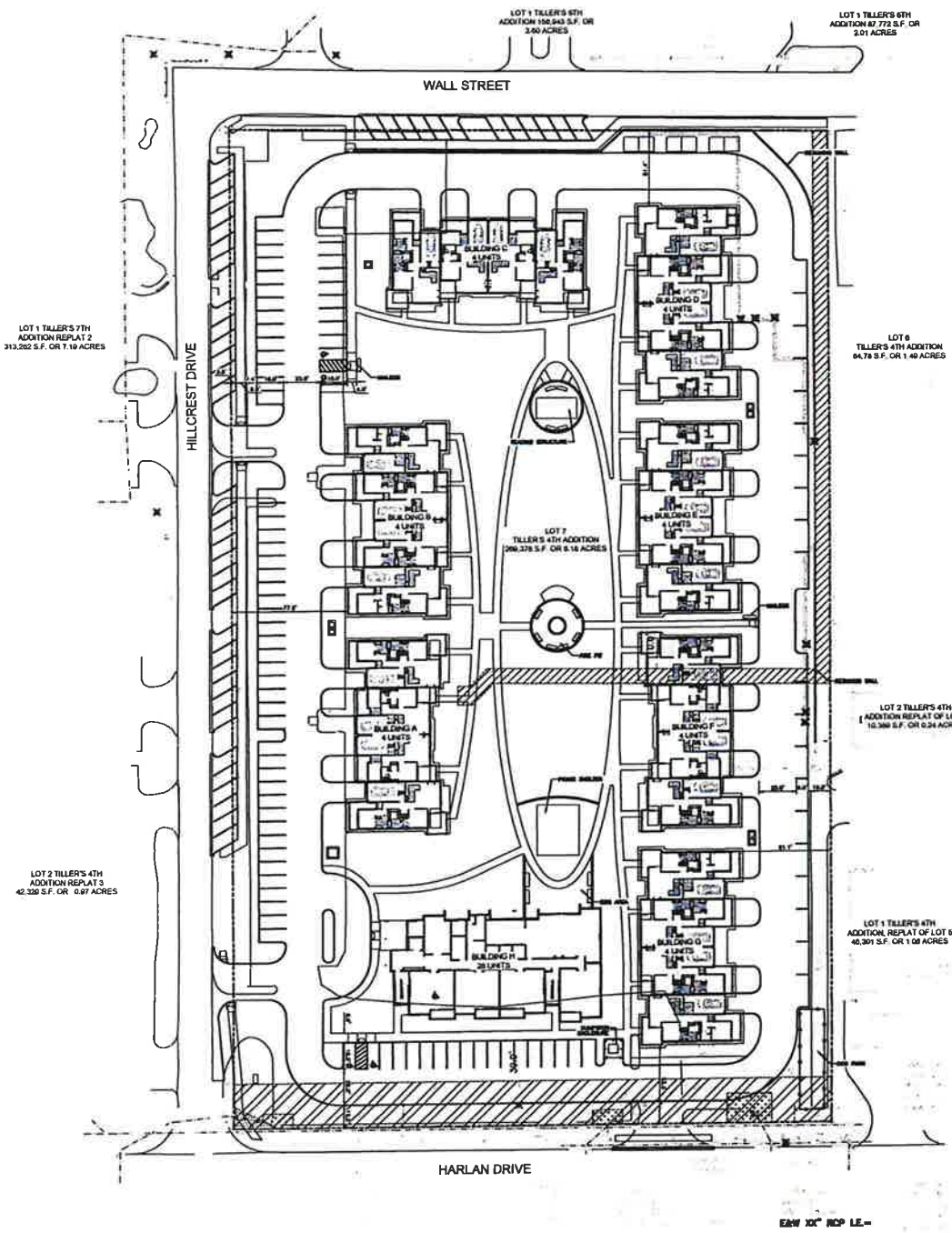
APARTMENT UNIT BREAKDOWN (BUILDING H)	
TYPE	NUMBER OF UNITS
1 BEDROOM	28
TOTAL	28

PARKING SUMMARY	
STALL TYPE	STALLS
STANDARD STALLS	80
ADA STALLS	4
GARAGE STALLS	28
TANDEM STALLS (AT GARAGE)	28
TOTAL STALLS	132

PARKING REQUIREMENTS:
1 PER DWELLING = 18 STALLS
2 PER APARTMENT = 56 STALLS
TOTAL REQUIRED = 44 STALLS

EASEMENT LEGEND

-  EASEMENT GRANTED TO CHESAPEAKE PUBLIC UTILITIES COMPANY FOR THE USE OF OVERHEAD POWER LINES AND TO BE MAINTAINED AS SUCH BY THE SHAW COUNTY RECORDER.
-  EASEMENT GRANTED TO THE STATE OF NEBRASKA FOR THE USE OF OVERHEAD POWER LINES AND TO BE MAINTAINED AS SUCH BY THE SHAW COUNTY RECORDER.
-  EASEMENT GRANTED TO THE STATE OF NEBRASKA FOR THE USE OF OVERHEAD POWER LINES AND TO BE MAINTAINED AS SUCH BY THE SHAW COUNTY RECORDER.



EAH 100' ROP LE-

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JUN 18 2021
PLANNING DEPT.

LSA Project #	2020-2400
Date	
Drawn by	B. Davis
Checked by	D. Patten

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

12b.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, from RG-50 to RG-20 and RG-50 for the purpose of a single-family residence and care facility for disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One. Applicant: Sharon Chaudhuri. General location: 8700 S 25th Street.

SYNOPSIS/BACKGROUND:

Sharon Chaudhuri submitted a request to rezone Lots 1 and 2, Harold Square Replat one, from RG-50 to RG-50 and RG-20 for the purpose of a single family residence for herself on Lot 2, and a care facility for young disabled adults (ages 18-34) on proposed Lot 1. The applicant is requesting RG-20 zoning for proposed Lot 1, while Lot 2 will remain zoned RG-50. The applicant has indicated the facility will be named Asha's House after her late daughter. The applicant will provide a day learning center, as well as overnight stays at Asha's House. She states the facility will be designed like a large single-family residence. This request is not for site plan approval. The conceptual site plan and architectural plans are for reference only. A small subdivision plat will be on the agenda when this ordinance has second reading.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Department and Planning Commission have recommended approval of this request.

ATTACHMENTS:

1. Planning Commission Recommendation Sheet
2. Staff Report
3. Rezoning Ordinance 41047
4.
5.
6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



City of Bellevue

PLANNING COMMISSION RECOMMENDATION

APPLICANT: Sharon Chaudhuri
CASE #'s: Z-2106-08, S-2106-14
CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, from RG-50 to RG-20 and RG-50 for the purpose of a single-family residence and a care facility for disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One.

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding neighbors.

VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Perrin
	Aerni						Cutsforth
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021

CITY OF BELLEVUE PLANNING DEPARTMENT

RECOMMENDATION REPORT # 2

CASE NUMBERS: Z-2106-08
S-2106-14

FOR HEARING OF:
REPORT #1: July 22, 2021
REPORT #2: August 17, 2021

I. GENERAL INFORMATION

A. APPLICANT:

Sharon Chaudhuri
12054 Carpenter
Papillion, NE 68046

B. PROPERTY OWNERS:

Farouq and Marlen Qaqish
12316 Rose Lane
Omaha, NE 68154

C. GENERAL LOCATION:

8700 South 25th Street

D. LEGAL DESCRIPTION:

Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, located in the NE ¼ of Section 21, T4N, R13E of the 6th P.M., Sarpy County, Nebraska.

E. REQUESTED ACTIONS:

1. Rezone Lots 1 and 2, Harold Square Replat One, from RG-50 to RG-50 and RG-20.
2. Small Subdivision plat Lots 1 and 2, Harold Square Replat One.

F. EXISTING ZONING AND LAND USE:

RG-50, Vacant

G. PURPOSE OF REQUEST:

The applicant is requesting a change of zone and small subdivision plat to facilitate the construction of a single family residence, as well as a care facility for young disabled adults.

H. SIZE OF SITE:

The site is approximately 5.8 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE:

The site is presently vacant and covered in vegetation.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Duplex Residential, RD-60
2. **East:** Single Family Residential, RS-72
3. **South:** Single Family Residential, RS-72
4. **West:** Single Family Residential (across S 25th St), RE

C. REVELANT CASE HISTORY:

On July 22, 2021, the Planning Commission recommended APPROVAL of a request to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, located in the Northeast ¼ of Section 21, T14N, R13E of the 6th P.M., Sarpy County, Nebraska, from RG-50 to RG-50 and RG-20 for the purpose of construction of a single family residence, as well as a care facility for young disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One.

D. APPLICABLE REGULATIONS:

1. Section 5.12, Zoning Ordinance, regarding RG-50 uses and requirements.
2. Section 5.14, Zoning Ordinance, regarding RG-20 uses and requirements.
3. Chapter 5, Subdivision Regulations, regarding small subdivisions.

III. ANALYSIS

A. COMPREHENSIVE PLAN:

The Future Land Use Map of the Comprehensive Plan designates this property as medium density residential.

B. OTHER PLANS:

None

C. TRAFFIC AND ACCESS:

1. There is no MAPA traffic data information available for this area.
2. The property has access from South 25th Street.

D. UTILITIES:

All utilities are available to this property.

E. ANALYSIS:

1. Sharon Chaudhuri has submitted a request to small subdivision plat Lots 1 and 2, Harold Square Replat One.
2. The applicant is also requesting to rezone Lots 1 and 2, Harold Square Replat One. The property is presently zoned RG-50.

The applicant is requesting RG-20 zoning for proposed Lot 1, while Lot 2 will remain zoned RG-50.

3. Ms. Chaudhuri wishes to construct a single family residence for herself on proposed Lot 2. She wants to build a care facility for young disabled adults (ages 18-34) on proposed Lot 1. The applicant has indicated this facility will be named Asha's House after her late daughter. The intent of this facility is "to give parents an opportunity to refresh themselves while their loved one enjoys time socializing with others their age." The applicant has established a non-profit for Asha's House. Ms. Chaudhuri will provide a day learning center, as well as overnight stays at Asha's House. She states the facility will be designed like a large single-family residence. Please refer to Ms. Chaudhuri's attached letter and architectural plans.
4. This request is not for site plan approval. The conceptual site plan and architectural plans are for reference only. Staff will complete a full review of items such as access, parking, setbacks, and architectural design standards upon submittal of a building permit.

5. The proposed lots meet the minimum requirements for their intended zoning districts.

6. This application was sent out for review by the following departments and individuals: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, Sarpy County Planning Director, Sarpy County Public Works Department, and the Omaha Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Public Works Engineer Matt Knight requested minor technical revisions to the plat. These revisions have since been made by the applicant's surveyor.

No other comments were received in this case.

7. This property was platted in 1973. It has likely remained vacant due to a 75' wide OPPD easement which cuts through the property, thereby making development difficult.

With the platting and proposed layout of the property, the buildings will front and take access from South 25th Street. This property has no access through the adjacent neighborhood.

8. The Future Land Use Map of the Comprehensive Plan designates this area as medium density residential. While the requested RG-50 zoning is compatible with the Future Land Use Map, a change to RG-20 zoning will require an amendment.

F. TECHNICAL DEFICIENCIES:

None

IV. DEPARTMENT RECOMMENDATION

APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding area.

V. PLANNING COMMISSION RECOMMENDATION

APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding neighbors.

VI. ATTACHMENTS TO REPORT

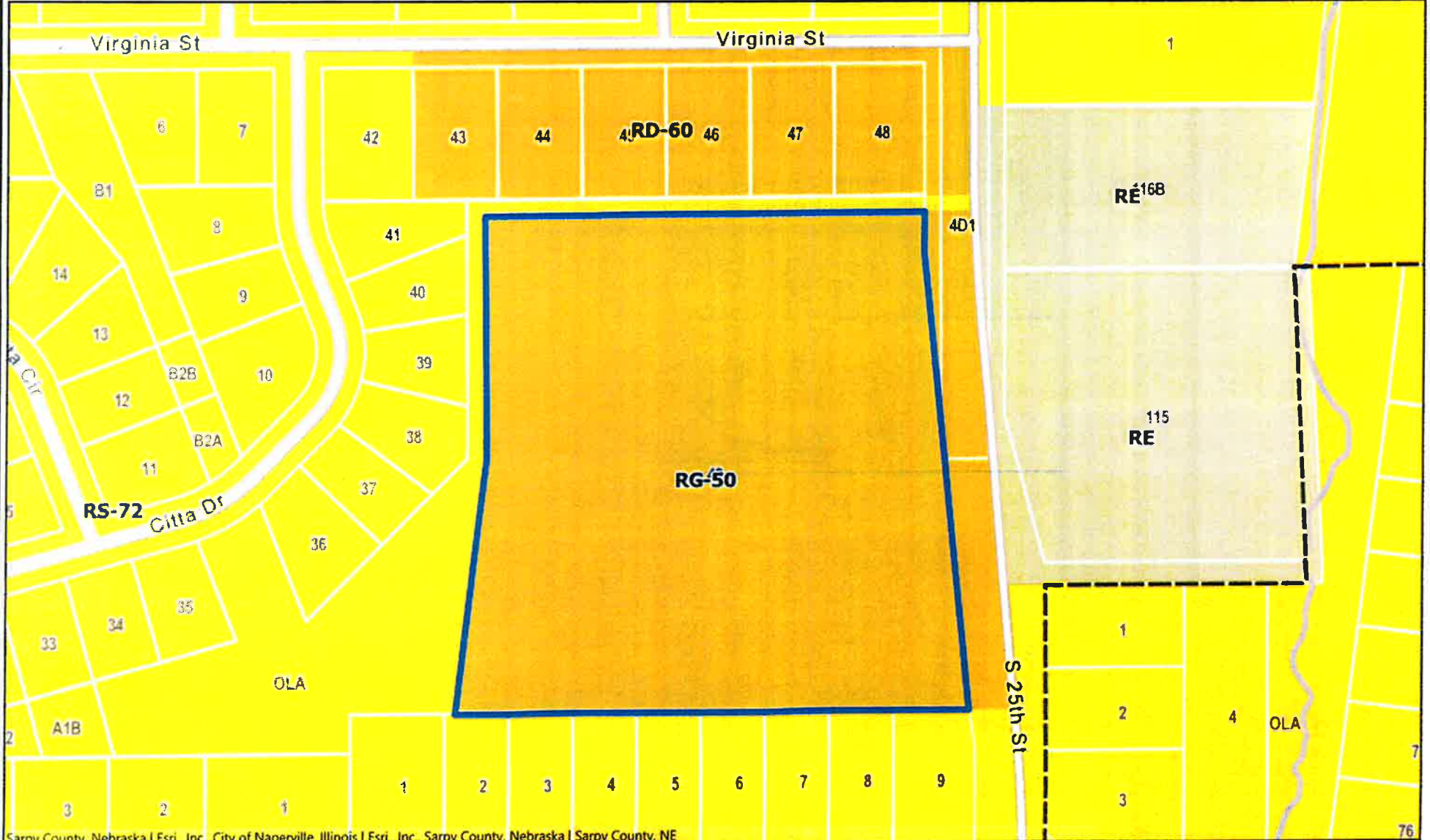
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Small Subdivision plat received July 14, 2021
4. Letter from the applicant received June 17, 2021
5. Conceptual site plan received June 17, 2021
6. Architectural rendering received June 17, 2021
7. Email from Christine Anderson received July 14, 2021

VII. COPIES OF REPORT TO:

1. Sharon Chaudhuri
2. TD2, Chris Dorner
3. Public Upon Request

Prepared by:

Assistant Planning Manager: Date of Report



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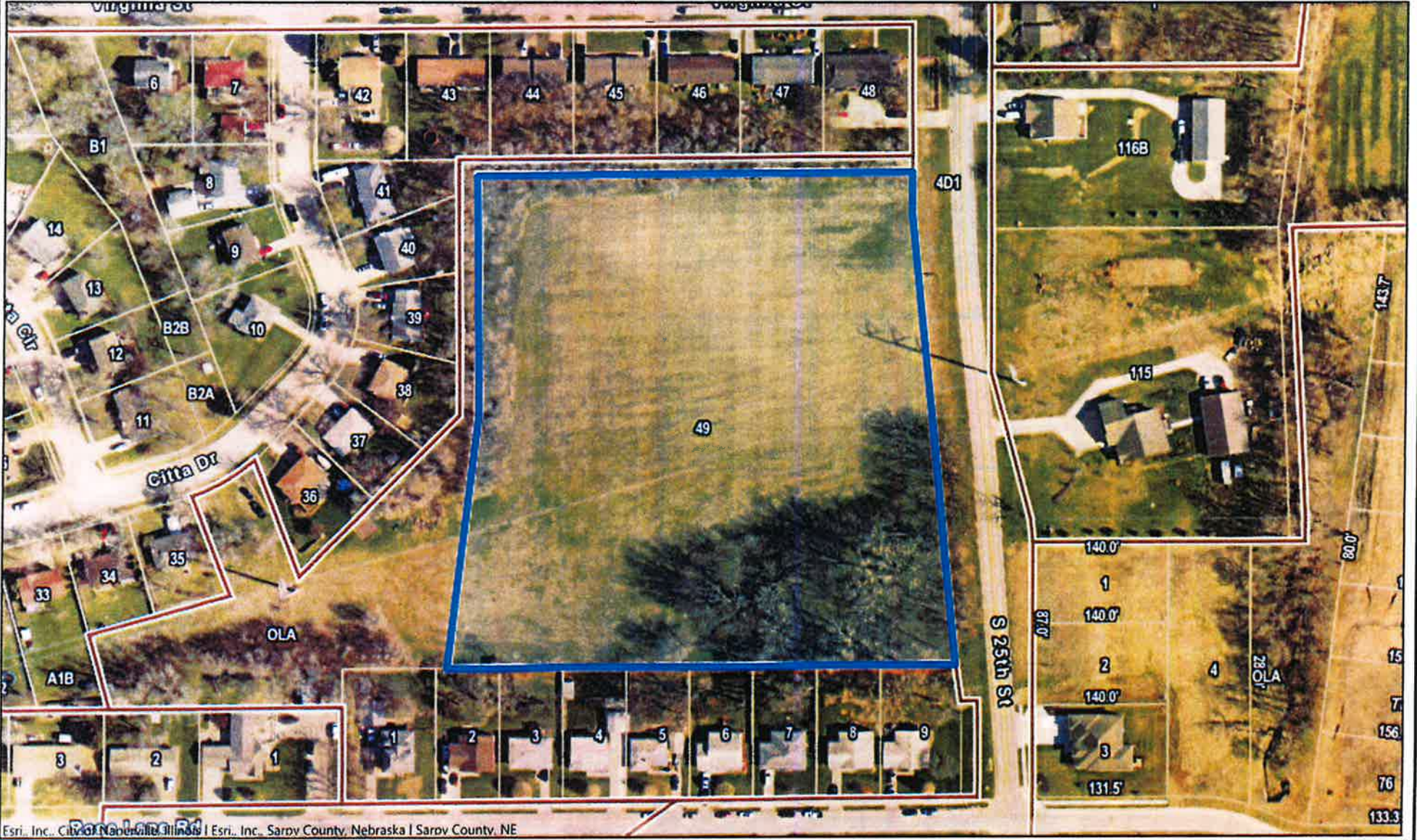
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Map Scale 1: 2257

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Notes



Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE

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ft
Map Scale 1: 2257
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Notes

HAROLD SQUARE REPLAT ONE

LOTS 1 AND 2

BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA,
LOCATED IN THE NE 1/4 OF SECTION 21, T14N, R13E OF THE 6th P.M. SAID SARPY COUNTY.

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PLANNING DEPT.

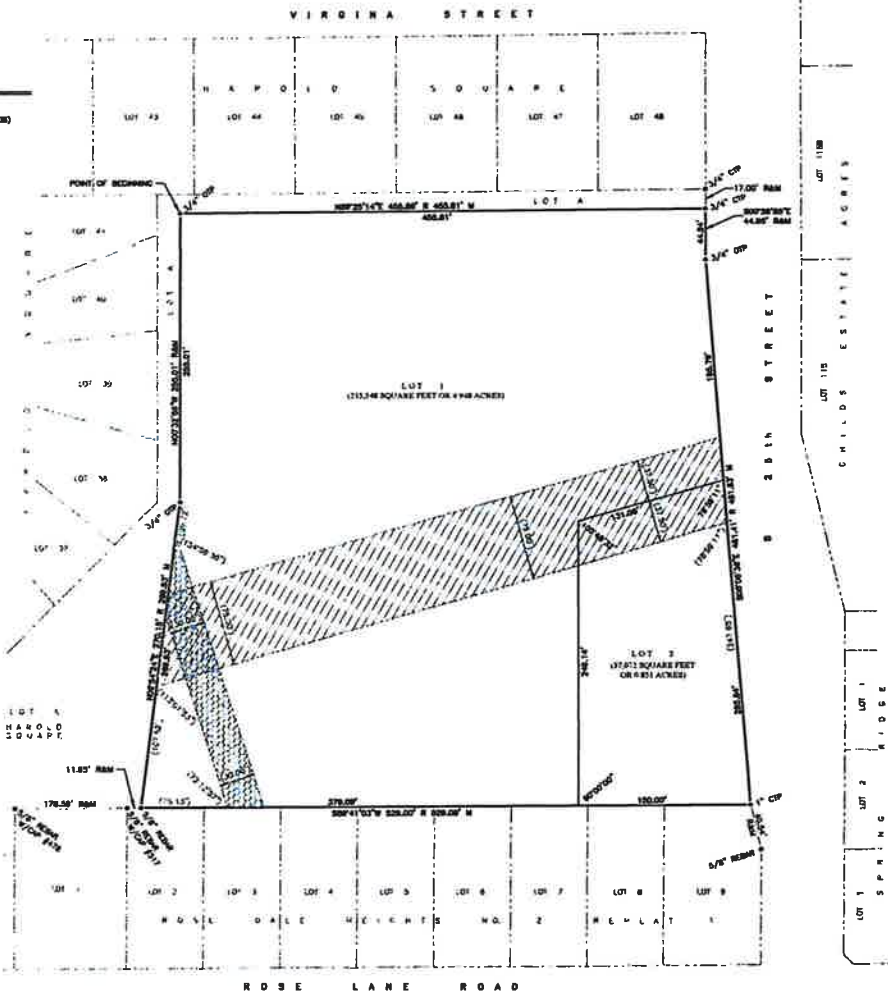


thompson, dressman & dornier, inc.
10836 Old Mill Rd
Omaha, NE 68154
p.402.330.8860 f.402.330.5866
td2co.com

NOTE:
1. DIMENSIONS AND ANGLES IN PARENTHESES
PERTAIN TO EASEMENTS.

30 FOOT WIDE SANITARY AND DRAINAGE EASEMENT
RECORDED AS SHOWN ON THE FINAL PLAT OF HAROLD
SQUARE RECORDED IN BOOK 5 AT PAGE 97 OF THE
SARPY COUNTY RECORDS.
OMAHA PUBLIC POWER DISTRICT EASEMENT RECORDED IN
BOOK 50 AT PAGE 314 AND AS SHOWN ON THE
FINAL PLAT OF HAROLD SQUARE RECORDED IN BOOK 5
AT PAGE 97 BOTH OF THE SARPY COUNTY RECORDS.

- LEGEND**
- CORNERS FOUND
 - CORNERS SET
(3/4" REBAR W/CAP #308)
 - R RECORDED DISTANCE
 - M MEASURED DISTANCE
 - OTF OPEN TOP PIPE
 - CTP CRIMPED TOP PIPE



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE SUBDIVISION DESCRIBED HEREIN WAS MADE UNDER MY DIRECT SUPERVISION AND THAT PERMANENT MARKERS HAVE BEEN FOUND OR SET AT ALL CORNERS OF SAID BOUNDARY AND AT ALL LOT CORNERS WITHIN SAID SUBDIVISION TO BE KNOWN AS HAROLD SQUARE REPLAT ONE, LOTS 1 AND 2, BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, BEGINNING AT THE NW CORNER OF SAID LOT 49:

THENCE N89°25'14"E (ASSUMED BEARING) 455.81 FEET ON THE NORTH LINE OF SAID LOT 49 TO THE NE CORNER THEREOF;
THENCE S00°28'35"E 44.86 FEET ON THE EAST LINE OF SAID LOT 49;
THENCE S05°08'36"E 481.83 FEET ON THE EAST LINE OF SAID LOT 49 TO THE SE CORNER THEREOF;
THENCE S89°41'03"W 528.09 FEET ON THE SOUTH LINE OF SAID LOT 49 TO THE SW CORNER THEREOF;
THENCE N05°54'24"E 269.93 FEET ON THE WEST LINE OF SAID LOT 49;
THENCE N00°32'58"W 250.01 FEET ON THE WEST LINE OF SAID LOT 49 TO THE POINT OF BEGINNING.
CONTAINING 252,820 SQUARE FEET OR 5.799 ACRES

JUNE 8, 2021
DATE



JAMES D. WARNER
NEBRASKA RLS #308

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT I, SHARON CHAUMONR, BEING THE OWNER, OF THE LAND DESCRIBED WITHIN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO LOTS, TO BE NUMBERED AS SHOWN SAID SUBDIVISION TO BE HEREFTER KNOWN AS HAROLD SQUARE REPLAT ONE, AND WE DO HEREBY BARELY AND APPROVE OF THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT AND WE DO HEREBY GRANT PERPETUAL EASEMENTS TO OMAHA PUBLIC POWER DISTRICT (OPPD), CENTURYLINK AND COX COMMUNICATIONS ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE FRONT AND SIDE BOUNDARY LOT LINES AND AN EIGHT (8) FOOT WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES. PERPETUAL EASEMENTS ARE HEREBY GRANTED TO METROPOLITAN UTILITIES DISTRICT AND/OR BLACK HILLS ENERGY, THEIR SUCCESSORS AND ASSIGNS TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND REPAIR PIPELINES, HYDRANTS AND OTHER RELATED FACILITIES AND TO EXTEND THEREIN PIPES FOR THE TRANSMISSION OF GAS AND WATER ON, THROUGH, UNDER AND ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE STREET.

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ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA)
COUNTY OF SARPY)
THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY SHARON CHAUMONR.

SHARON CHAUMONR

NOTARY PUBLIC

SARPY COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT AS SHOWN ON THE RECORDS OF THIS OFFICE THIS _____ DAY OF _____, 2021.

SARPY COUNTY TREASURER



APPROVAL OF BELLEVUE CITY COUNCIL

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE CITY COUNCIL THIS _____ DAY OF _____, 2021.

SUSAN KLUTH, CITY CLERK

RUSTY HIRE, MAYOR

APPROVAL OF BELLEVUE PLANNING COMMISSION

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION THIS _____ DAY OF _____, 2021.

CHAIRMAN

REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYORS OFFICE THIS _____ DAY OF _____, 2021.

SARPY COUNTY SURVEYOR/ENGINEER

HAROLD SQUARE REPLAT ONE
LOTS 1 AND 2

Revision Dates

Rev.	Description	MM-DD-YY
C-1		
C-2		
C-3		

Job No.: B1436-21-5B
Drawn By: RJR
Reviewed By: JDW
Date: JUNE 8, 2021
Book: 21/03
Pages: 31-33

Sheet Title

CITY OF BELLEVUE
FINAL PLAT

Sheet Number

To the Bellevue City Council Members RE:Parcel at 8700 S. 25th Street,

On December 27, 2018, my 25-year-old daughter, Asha, was called home to be with the Lord after she was accidentally trapped in our home elevator. Asha was born with a condition called “cavernous malformation” which are lesions located in her mid-brain. Asha underwent several surgical procedures as well as major brain operations leaving her with vision and hearing impairments. A brain bleed in 2013 rendered her wheelchair bound. Asha suffered a great deal, but never giving up on the ideal of walking again or her love for Christ.

I have a desire to honor her life while meeting a need I discovered while caring for my daughter. The vision for Asha’s house came out of my own frustration. While caring for Asha, I was never successful at finding a place where she could feel like she belonged and enjoy the company of people in similar life situations. I also found it impossible to find a caring, safe environment where I could entrust Asha’s care whenever I needed respite as her caregiver. In Asha’s House, I want to give parents an opportunity to refresh themselves while their loved one enjoys time socializing with others their age.

Our mission is to support parents and caregivers of young disabled adults (18-34) years of age. Asha’s House is a non-profit 501(3C) which is already in place. We have an active board of directors with a heart for the disabled. I’ve been looking for the perfect location for over a year and I feel that the location at 8700 S. 25th Street is it. Our ministry is helping these young disabled adults find “A PLACE TO BELONG”. We want the residents to feel like they are on a retreat with their friends. We have plans in place for a 5200+ FSF single story seven-bedroom home will be set up like any other single-family home. Asha’s House will accommodate up to seven guests on weekends from Friday 3:00 pm to Sunday 3:00 pm. Monday – Friday Asha’s Day Learning Center will accommodate up to eight students from 8 am – 3:30 pm.

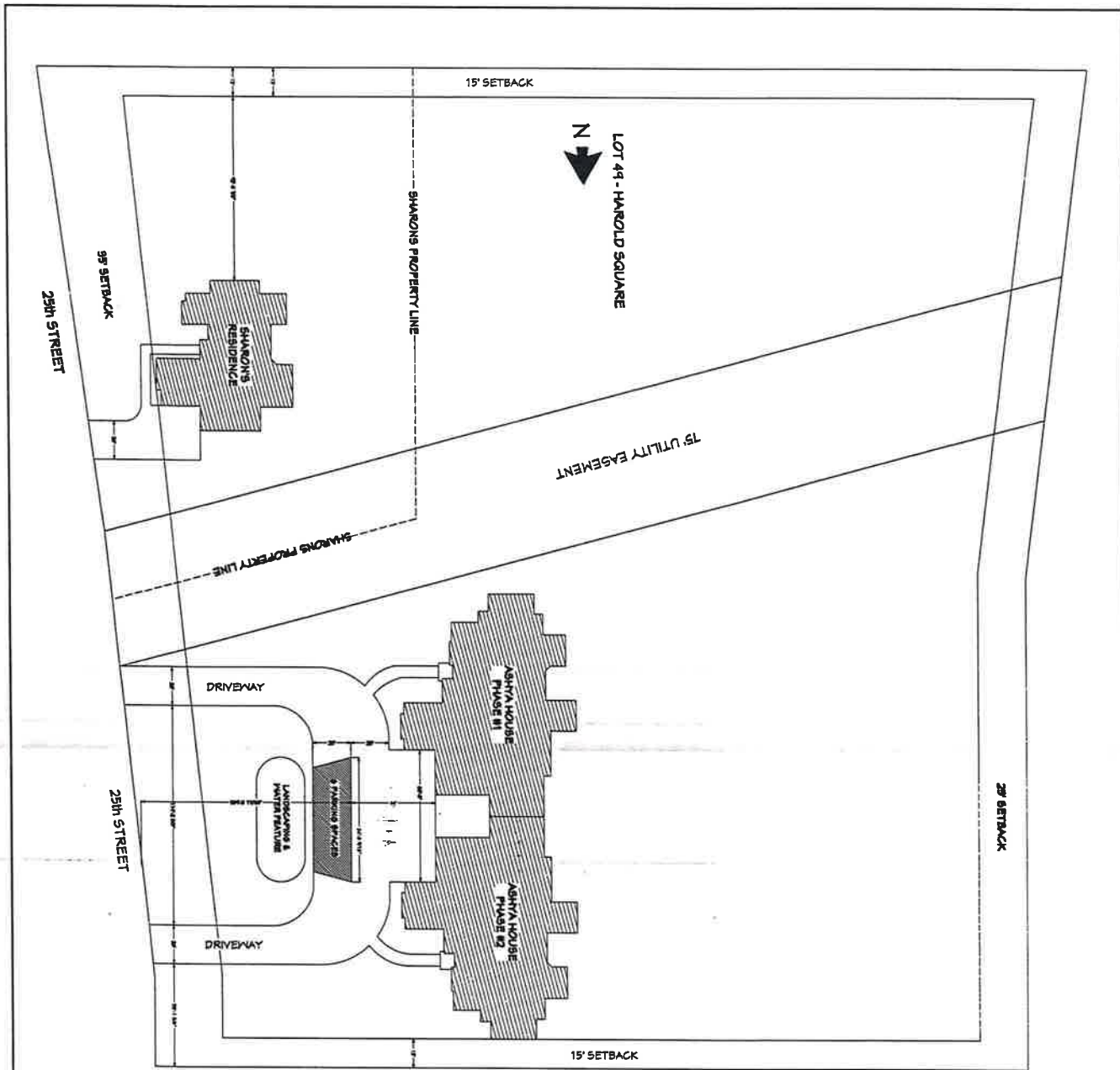
As I understand it, the current zoning of RG-50 does not allow for overnight guests. Therefore, I am asking for a rezoning of the Asha’s House parcel to RG-20 to accommodate my plans for the facility. I will be needing to separate the original 5.82 parcel in order to have two separate legal descriptions as I will be building my personal administrative house on site. This is a requirement of the 501(3C). Please see the Offer to Purchase Offer and the other supporting documents and feel free to contact me with any questions. Thank you, in advance, for your consideration.

Sharon Chaudhuri
President/Founder

Please visit our website for more information, floor plans and artist renderings:

www.ashashouse.org

RECEIVED
JUN 17 2021
PLANNING DEPT.



RECEIVED
 JUN 17 2021
 PLANNING DEPT.

6 of 6 SHEETS	PRELIMINARY	✓/✓
	PRELIMINARY	✓/✓
	FINAL DRAFT	✓/✓
	REVISED	✓/✓
	REVISED	✓/✓

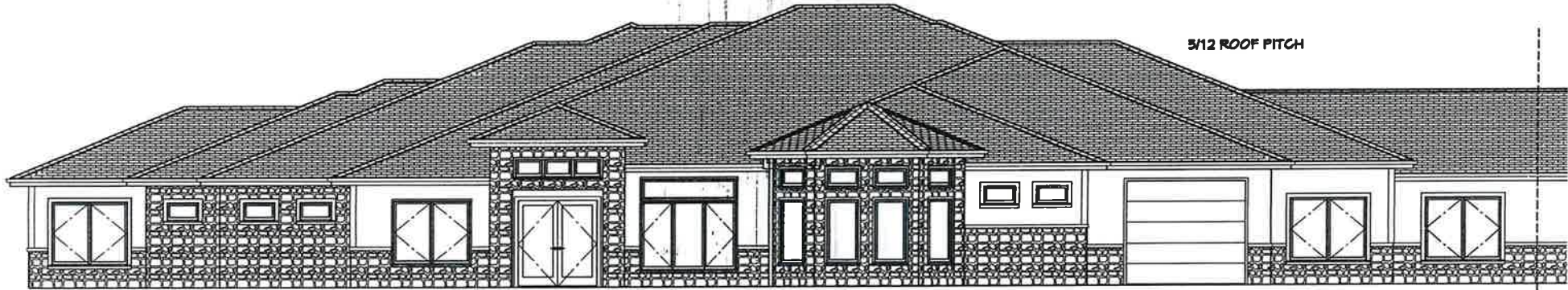
INITIALS:

THE "AYSHA" HOUSE
 LOT TBD

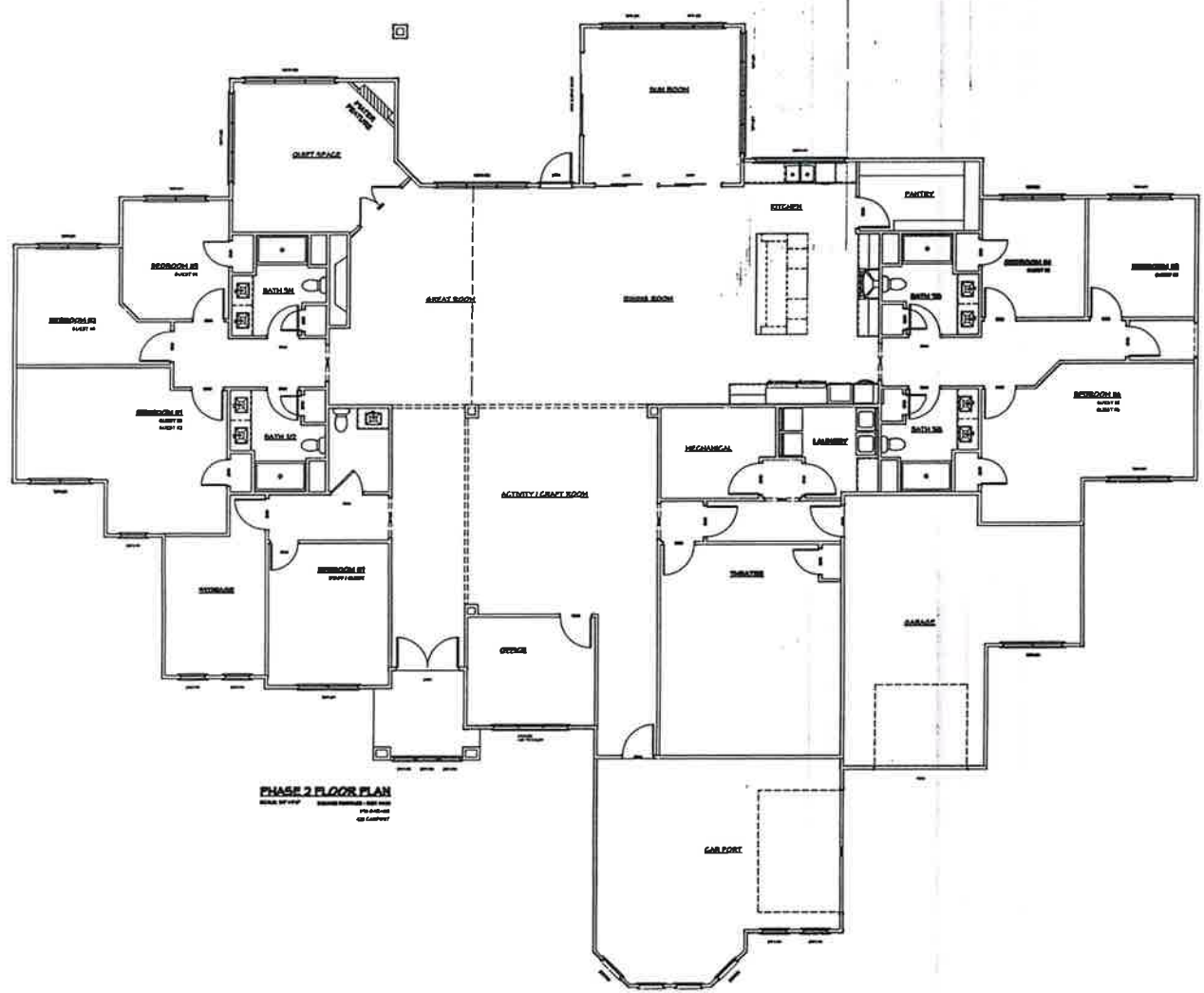
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5/12 ROOF PITCH



FRONT ELEVATION PHASE 1
SCALE 3/8" = 1'-0"



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JUN 17 2021
PLANNING DEPT.

Tammi Palm

From: Christine Anderson <cranderson63@yahoo.com>
Sent: Wednesday, July 14, 2021 7:41 PM
To: Tammi Palm
Subject: Proposed Care Facility

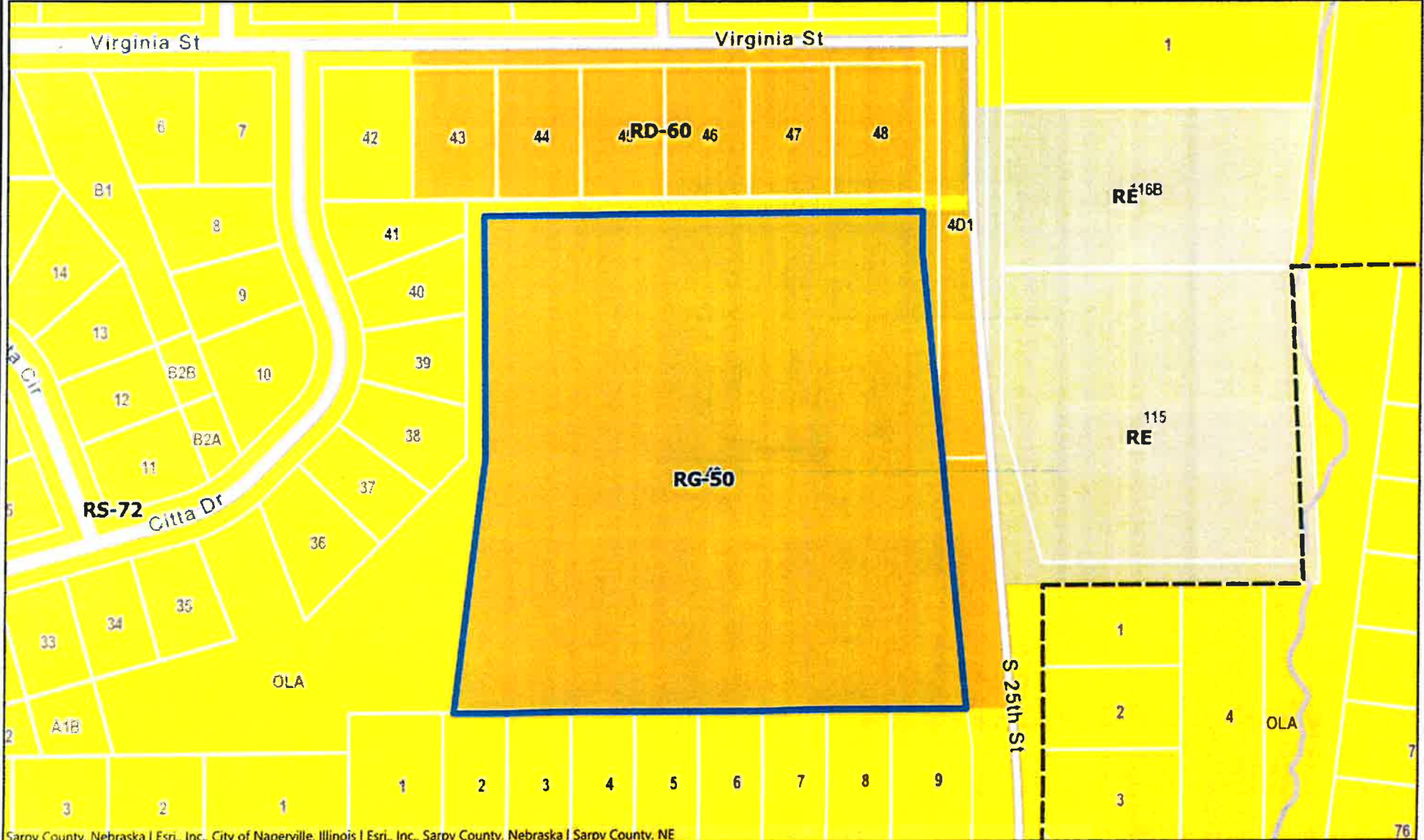
Ms. Palm,

I am writing about the rezoning of lots at 8700 South 25th street. I have researched the project on applicant Sharon Chaudhuri's website, Asha's House, and understand how important this project is to her and the people she wishes to help. However, the area off of 25th street doesn't seem to be the most appropriate location for this facility. This is mostly a residential area. I would assume there would be a more commercial area for it to be located. Having grown up in the area, I always thought nothing could be built under the power lines. There are numerous empty buildings and lots throughout both Sarpy and Douglas counties that may be a better fit. Traffic on 25th street has already doubled even tripled in the last 10 years with the Habitat for Humanity houses along Rose Lane and the new subdivisions east of 25th to Cornhusker Road. Please consider another area for this facility. Thank you.

Very Respectfully,

Christine Anderson

RECEIVED
JUL 14 2021
PLANNING DEPT.



Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska | Sarpy County, NE

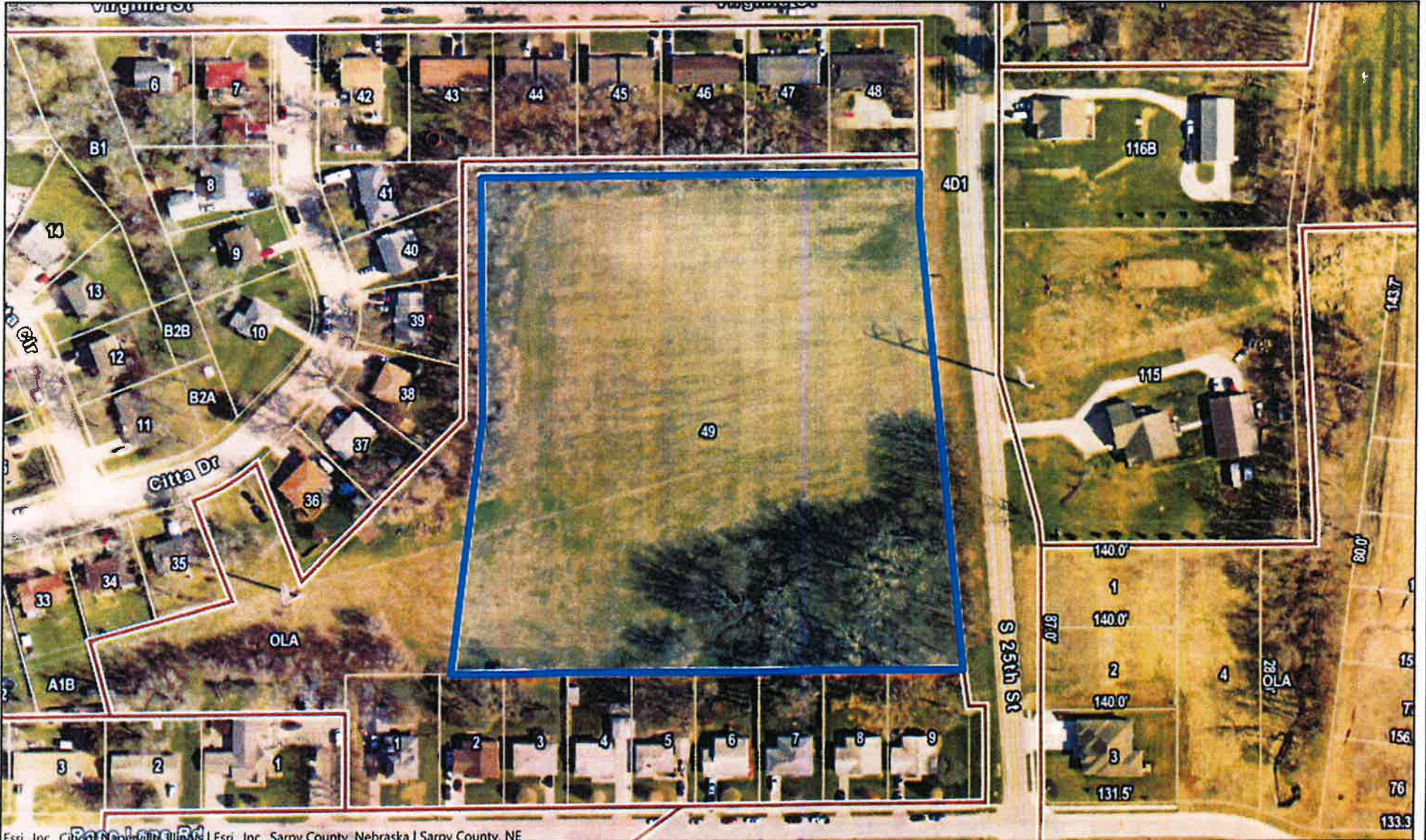
0 200 400 ft

Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes

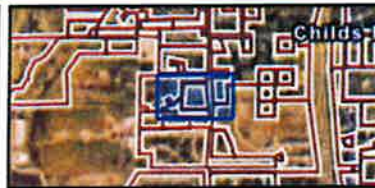


Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



HAROLD SQUARE REPLAT ONE

LOTS 1 AND 2

BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA, LOCATED IN THE NE 1/4 OF SECTION 21, T14N, R13E OF THE 6th P.M. SAID SARPY COUNTY.

RECEIVED

JUL 14 2021

PLANNING DEPT.

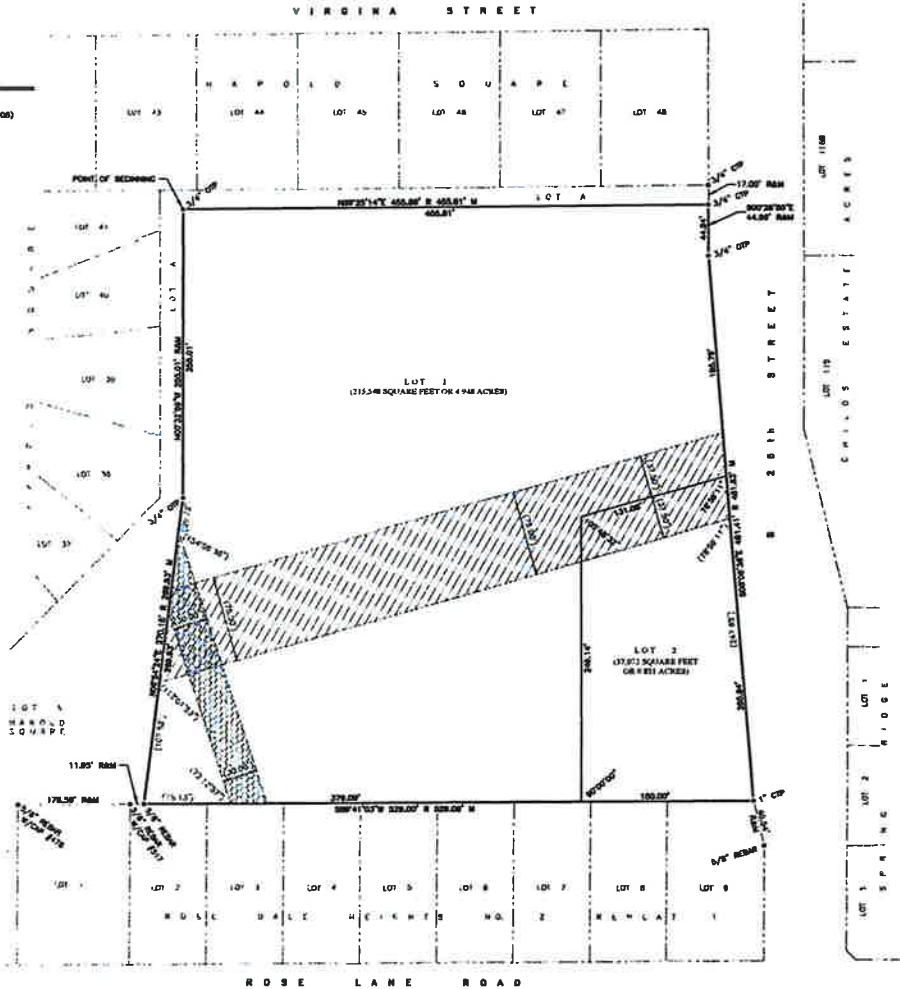


Strompen, Dressen & Dorner, Inc.
10836 Old Mill Rd
Omaha, NE 68154
p. 402.330.8860 f. 402.330.5886
td2co.com

NOTE:
1. DIMENSIONS AND ANGLES IN PARENTHESES PERTAIN TO EASEMENTS.

30 FOOT WIDE SANITARY AND DRAINAGE EASEMENT RECORDED AS SHOWN ON THE FINAL PLAT OF HAROLD SQUARE RECORDED IN BOOK 5 AT PAGE 97 OF THE SARPY COUNTY RECORDS.
OMAHA PUBLIC POWER DISTRICT EASEMENT RECORDED IN MISC. BOOK 50 AT PAGE 314 AND AS SHOWN ON THE FINAL PLAT OF HAROLD SQUARE RECORDED IN BOOK 5 AT PAGE 97 BOTH OF THE SARPY COUNTY RECORDS.

- LEGEND**
- CORNERS FOUND
 - CORNERS SET (3/8" REBAR W/ CAP #308)
 - R RECORDED DISTANCE
 - M MEASURED DISTANCE
 - OTF OPEN TOP PIPE
 - CTP CHIMNEY TOP PIPE



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE SUBDIVISION DESCRIBED HEREIN WAS MADE UNDER MY DIRECT SUPERVISION AND THAT PERMANENT MARKERS HAVE BEEN FOUND OR SET AT ALL CORNERS OF SAID BOUNDARY AND AT ALL LOT CORNERS WITHIN SAID SUBDIVISION TO BE KNOWN AS HAROLD SQUARE REPLAT ONE, LOTS 1 AND 2, BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, BEGINNING AT THE NW CORNER OF SAID LOT 49:

- THENCE N65°25'14"E (ASSUMED BEARING) 433.81 FEET ON THE NORTH LINE OF SAID LOT 49 TO THE NE CORNER THEREOF;
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 - THENCE S05°08'38"E 481.63 FEET ON THE EAST LINE OF SAID LOT 49 TO THE SE CORNER THEREOF;
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 - THENCE N05°34'24"E 268.93 FEET ON THE WEST LINE OF SAID LOT 49;
 - THENCE N07°32'58"W 255.01 FEET ON THE WEST LINE OF SAID LOT 49 TO THE POINT OF BEGINNING.
- CONTAINING 232,820 SQUARE FEET OR 5.799 ACRES



JUNE 8, 2021
DATE:

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT I, SHARON CHAUDHURI, BEING THE OWNER, OF THE LAND DESCRIBED WITHIN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO LOTS, TO BE NUMBERED AS SHOWN SAID SUBDIVISION TO BE HEREINAFTER KNOWN AS HAROLD SQUARE REPLAT ONE, AND WE DO HEREBY RATEY AND APPROVE OF THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT AND WE DO HEREBY GRANT PERPETUAL EASEMENTS TO OMAHA PUBLIC POWER DISTRICT (OPPD), CENTURYLINK AND COX COMMUNICATIONS ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE FRONT AND SIDE BOUNDARY LOT LINES; AND AN (8) FOOT WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES.

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SHARON CHAUDHURI

ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA
COUNTY OF SARPY
THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY SHARON CHAUDHURI.

NOTARY PUBLIC

SARPY COUNTY TREASURER'S CERTIFICATE

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SARPY COUNTY TREASURER



APPROVAL OF BELLEVUE CITY COUNCIL

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE CITY COUNCIL THIS _____ DAY OF _____, 2021.

SUSAN KLUTHE, CITY CLERK

RUSTY HIKEL, MAYOR

APPROVAL OF BELLEVUE PLANNING COMMISSION

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION THIS _____ DAY OF _____, 2021.

CHAIRMAN

REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYORS OFFICE THIS _____ DAY OF _____, 2021.

SARPY COUNTY SURVEYOR/ENGINEER

HAROLD SQUARE REPLAT ONE
LOTS 1 AND 2



Revision Dates

File	Description	MM-DD-YY

Job No.: B1436-21-5B
Drawn By: RJR
Reviewed By: JDW
Date: JUNE 8, 2021
Book: 21/03
Pages: 31-33

Sheet Title

CITY OF BELLEVUE
FINAL PLAT

Sheet Number

SHEET 1 OF 1

ORDINANCE NO. 4047

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF BELLEVUE, NEBRASKA, AS PROVIDED FOR BY ARTICLE 3 OF ORDINANCE NO. 3619 BY CHANGING THE ZONE CLASSIFICATION OF LAND LOCATED AT OR ABOUT 8700 SOUTH 25TH STREET, MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THE ORDINANCE AND TO PROVIDE AN EFFECTIVE DATE.

WHEREAS, having received a recommendation from the city of Bellevue Planning Commission and proper notice having been given and public hearing held as provided by law:

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That part of the official zoning map of the City of Bellevue, Nebraska, as provided in Article 3, of Ordinance No. 3619 is hereby amended to change the zone classification of the following described parcel of land:

Lot 1, Harold Square Replat One, located in the Northeast $\frac{1}{4}$ of Section 21, T14N, R13E of the 6th P.M., Sarpy County, Nebraska.

From RG-50 (General Residential - 5,000 Square Foot Zone) to RG-20 (General Residential - 2,000 Square Foot Zone); AND

Lot 2, Harold Square Replat One, located in the Northeast $\frac{1}{4}$ of Section 21, T14N, R13E of the 6th P.M., Sarpy County, Nebraska.

From RG-50 (General Residential - 5,000 Square Foot Zone) to RG-50 (General Residential - 5,000 Square Foot Zone).

(Sharon Chaudhuri)

Section 2. This ordinance shall not take effect until such time as the final plat of Harold Square Replat One is filed with the Sarpy County Register of Deeds in accordance with Section 5-10 of the City of Bellevue Subdivision Regulations.

Section 3. Except as amended herein, the official zoning map and the classification shown therein shall remain as heretofore existing.

Section 4. This ordinance shall take affect and be in force from and after its adoption and publication according to law.

ADOPTED by the Mayor and City Council this _____ day of _____, 2021.

APPROVED AS TO FORM:

City Attorney

ATTEST

City Clerk

Mayor

First Reading: 08/03/2021

Second Reading: 08/17/2021

Third Reading: _____

HAROLD SQUARE REPLAT ONE

LOTS 1 AND 2

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RECEIVED

JUL 14 2021

PLANNING DEPT.

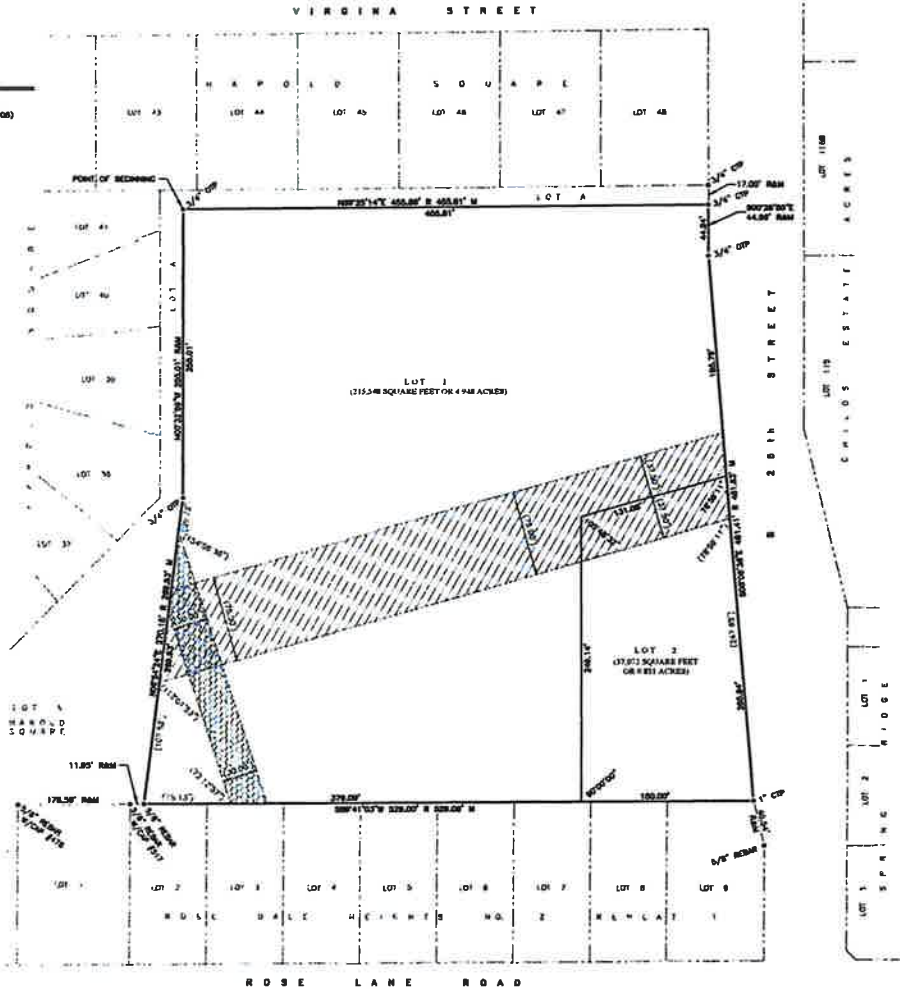


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p. 402.330.8860 f. 402.330.5886
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NOTE:
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JUNE 8, 2021
DATE:

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SHARON CHAUDHURI

ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA
COUNTY OF SARPY
THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY SHARON CHAUDHURI.

NOTARY PUBLIC

SARPY COUNTY TREASURER'S CERTIFICATE

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SARPY COUNTY TREASURER



APPROVAL OF BELLEVUE CITY COUNCIL

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE CITY COUNCIL THIS _____ DAY OF _____, 2021.

SUSAN KLUTHE, CITY CLERK

RUSTY HIKEL, MAYOR

APPROVAL OF BELLEVUE PLANNING COMMISSION

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION THIS _____ DAY OF _____, 2021.

CHAIRMAN

REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYORS OFFICE THIS _____ DAY OF _____, 2021.

SARPY COUNTY SURVEYOR/ENGINEER

HAROLD SQUARE REPLAT ONE
LOTS 1 AND 2



Revision Dates

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Sheet Title

CITY OF BELLEVUE
FINAL PLAT

Sheet Number

SHEET 1 OF 1

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

12c.
08/17/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>		ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>		CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Storage of Building Materials on Streets and Sidewalks - Declaration of Nuisance Ordinance

SYNOPSIS/BACKGROUND:

Ordinance No. 4048 will amend Article I, Chapter 28, of the Bellevue Municipal Code by amending section 28-7 and adding a new section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks and provide an effective date.

FISCAL IMPACT: 0.00 BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Approve Ordinance No. 4048 to amend Article I, Chapter 28, of the Bellevue Municipal Code by amending section 28-7 and adding a new section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks and provide an effective date.

ATTACHMENTS:

- Ordinance No. 4048 (Clean)
- Ordinance (red-lined)
-
-
-
-

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

[Handwritten signatures]

ORDINANCE NO. 4048

AN ORDINANCE TO AMEND ARTICLE I, CHAPTER 28, OF THE BELLEVUE MUNICIPAL CODE BY AMENDING SECTION 28-7 AND ADDING A NEW SECTION 28-15 REGARDING THE DECLARATION OF NUISANCE AND ABATEMENT PROCEDURE FOR UNLAWFUL STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS AND TO PROVIDE AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA.

Section 1. That Section 28-7 of Chapter 28, Article I of the Bellevue Municipal Code is hereby amended to read as follows:

Section §28-7 STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS

Persons engaged in the erection, construction, reconstruction, wrecking or repairing of any building or the construction or repair of any sidewalk along any street may occupy the public space with building materials and equipment if such person shall make written application to and receive a permit in writing from the public works director to do so. No permit for the occupancy of the sidewalk space and more than one-third of the roadway of the public space adjacent to the real estate on which such building is to be constructed, erected, reconstructed, wrecked or repaired shall be granted. A suitable passageway for pedestrians shall be maintained within the public space included in the permit, which passageway shall be protected and lighted in the manner required by the public works director. The public works director and/or his or her designee shall enforce the provisions of this section.

Section 2. That Section 28-15 of Chapter 28, Article I of the Bellevue Municipal Code is hereby added to read as follows:

Section §28-15 DECLARATION OF NUISANCE; ABATEMENT

The occupation of the public space with building materials and equipment for the erection, construction, reconstruction, wrecking, or repairing of any building or the construction or repair of any sidewalk along any street without a permit in writing from the public works director pursuant to Section 28-7, or such occupation for which a permit has been issued but subsequently does not comply with the permitting requirements, is hereby declared to be a public nuisance and is subject to abatement and/or removal of such nuisance pursuant to the sections of Chapter 19, Article I of this Code.

Section 3. This Ordinance shall take effect and be in full force after passage of the same.

ADOPTED by the Mayor and City Council this ____ day of _____ 2021.

ATTEST:

Mayor, Rusty Hike

City Clerk

APPROVED AS TO FORM:

First Reading: 08/03/2021

Second Reading: 08/17/2021

Third Reading: _____

City Attorney

ORDINANCE NO. _____

AN ORDINANCE TO AMEND ARTICLE I, CHAPTER 28, OF THE BELLEVUE MUNICIPAL CODE BY AMENDING SECTION 28-7 AND ADDING A NEW SECTION 28-15 REGARDING THE DECLARATION OF NUISANCE AND ABATEMENT PROCEDURE FOR UNLAWFUL STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS AND TO PROVIDE AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA.

Section 1. That Section 28-7 of Chapter 28, Article I of the Bellevue Municipal Code is hereby amended to read as follows:

Section §28-7 STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS

Persons engaged in the erection, construction, reconstruction, wrecking or repairing of any building or the construction or repair of any sidewalk along any street may occupy the public space with building materials and equipment if such person shall make written application to and receive a permit in writing from the public works director to do so. No permit for the occupancy of the sidewalk space and more than one-third of the roadway of the public space adjacent to the real estate on which such building is to be constructed, erected, reconstructed, wrecked or repaired shall be granted. A suitable passageway for pedestrians shall be maintained within the public space included in the permit, which passageway shall be protected and lighted in the manner required by the public works director. The public works director and/or his or her designee shall enforce the provisions of this section.

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Section 3. This Ordinance shall take effect and be in full force after passage of the same.

ADOPTED by the Mayor and City Council this ____ day of _____ 2021.

ATTEST:

Mayor, Rusty Hike

City Clerk

APPROVED AS TO FORM:

First Reading: _____
Second Reading: _____
Third Reading: _____

City Attorney

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

12d. and 12d1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Budget Task Force	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Administration's Proposed 2021-2022 Budget (Fiscal Year Ending September 30, 2022).

SYNOPSIS/BACKGROUND:

This budget proposes appropriating expenditures of \$107.4 million in fiscal year 2021-22. This is an increase of \$10.1 million from the 2020-21 budgeted expenditures (due primarily to the increased cost of city services).

This budget provides funding for the City's operations and capital improvements. The General Fund, Community Betterment Fund and Debt Service Fund are budgeted using existing cash reserves and new revenues.

2021-2022 Budgeted Revenues of \$103,688,527.24 and Expenditures of \$107,438,527.24. Cash reserves decrease by \$3,750,000.00.

FISCAL IMPACT: BUDGETED FUNDS?: GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: COUNTER-PARTY: INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED:

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Open the public hearing during this 2nd reading on August 17, 2021.
A special public hearing will be held August 31, 2021.
Vote on budget and additional 1% restricted funds at the September 7, 2021 meeting along with the tax request resolution

ATTACHMENTS:

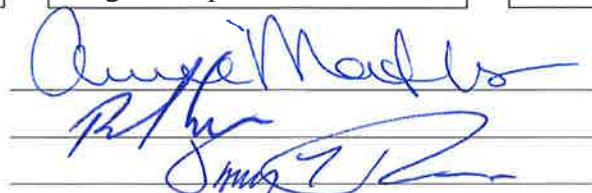
- | | | |
|--|--|--|
| 1. <input type="text" value="Draft Budget Ordinance"/> | 2. <input type="text" value="Draft Resolution - Setting Tax Request"/> | 3. <input type="text" value="State Budget Forms"/> |
| 4. <input type="text" value="Summary Budget Data"/> | 5. <input type="text" value="Budget Comparison"/> | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



**2021-2022
STATE OF NEBRASKA
CITY/VILLAGE BUDGET FORM**

**City of Bellevue
TO THE COUNTY BOARD AND COUNTY CLERK OF
Sarpy County**

This budget is for the Period October 1, 2021 through September 30, 2022

Upon Filing, The Entity Certifies the Information Submitted on this Form to be Correct:

The following **PERSONAL AND REAL PROPERTY TAX** is requested for the ensuing year:

\$ 20,338,612.00	Property Taxes for Non-Bond Purposes
\$ 7,594,150.00	Principal and Interest on Bonds
\$ 27,932,762.00	Total Personal and Real Property Tax Requested

Projected Outstanding Bonded Indebtedness as of October 1, 2021
(As of the Beginning of the Budget Year)

Principal	\$ 78,645,000.00
Interest	\$ 14,183,714.00
Total Bonded Indebtedness	\$ 92,828,714.00

\$ 4,579,120,323 **Total Certified Valuation (All Counties)**
(Certification of Valuation(s) from County Assessor **MUST** be attached)

Report of Joint Public Agency & Interlocal Agreements

Was this Subdivision involved in any Interlocal Agreements or Joint Public Agencies for the reporting period of July 1, 2020 through June 30, 2021?
 YES NO
 If YES, Please submit Interlocal Agreement Report by September 20th.

Report of Trade Names, Corporate Names & Business Names

Did the Subdivision operate under a separate Trade Name, Corporate Name, or other Business Name during the period of July 1, 2020 through June 30, 2021?
 YES NO
 If YES, Please submit Trade Name Report by September 20th.

County Clerk's Use ONLY

APA Contact Information

Auditor of Public Accounts
State Capitol, Suite 2303
Lincoln, NE 68509

Telephone: (402) 471-2111 **FAX:** (402) 471-3301

Website: www.auditors.nebraska.gov

Questions - E-Mail: Jeff.Schreier@nebraska.gov

Submission Information

Budget Due by 9-20-2021

Submit budget to:

1. Auditor of Public Accounts -Electronically on Website or Mail
2. County Board (SEC. 13-508), C/O County Clerk

Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021

City of Bellevue in Sarpy County

Line No.	Beginning Balances, Receipts, & Transfers	Actual 2019 - 2020 (Column 1)	Actual/Estimated 2020 - 2021 (Column 2)	Adopted Budget 2021 - 2022 (Column 3)
1	Net Cash Balance	\$ 20,995,949.87	\$ 21,516,313.75	\$ 35,288,777.54
2	Investments			
3	County Treasurer's Balance	\$ 234,711.76	\$ 261,479.08	\$ 250,000.00
4	Beginning Balance Proprietary Function Funds (Only If Page 6 is Used)			\$ -
5	Subtotal of Beginning Balances (Lines 1 thru 4)	\$ 21,230,661.63	\$ 21,777,792.83	\$ 35,538,777.54
6	Personal and Real Property Taxes (Columns 1 and 2 - See Preparation Guidelines)	\$ 26,029,651.70	\$ 26,947,608.77	\$ 27,656,200.00
7	Federal Receipts	\$ 43,113.41	\$ 139,319.19	\$ 50,000.00
8	State Receipts: Motor Vehicle Pro-Rate	\$ 39,962.73	\$ 61,526.85	\$ 77,200.00
9		\$ -	\$ -	\$ -
10	State Receipts: Highway Allocation and Incentives	\$ 5,551,894.68	\$ 6,422,859.48	\$ 5,871,407.00
11	State Receipts: Motor Vehicle Fee	\$ 420,789.22	\$ 482,149.55	\$ 491,600.00
12	State Receipts: State Aid	\$ -	\$ -	
13	State Receipts: Municipal Equalization Aid	\$ 1,640,951.54	\$ 3,943,155.38	\$ 1,412,440.62
14	State Receipts: Other	\$ 531,294.93	\$ 1,125,239.57	\$ 13,352.00
15	State Receipts: Property Tax Credit	\$ -	\$ -	
16	Local Receipts: Nameplate Capacity Tax	\$ -	\$ -	\$ -
17	Local Receipts: Motor Vehicle Tax	\$ 1,222,904.02	\$ 1,334,443.39	\$ 2,146,600.00
18	Local Receipts: Local Option Sales Tax	\$ 12,544,526.88	\$ 14,759,353.02	\$ 15,497,100.00
19	Local Receipts: In Lieu of Tax	\$ 1,114,044.66	\$ 349,378.59	\$ 65,000.00
20	Local Receipts: Other	\$ 66,844,325.87	\$ 43,730,943.28	\$ 49,110,627.62
21	Transfers In of Surplus Fees	\$ -	\$ -	\$ -
22	Transfers In Other Than Surplus Fees	\$ 1,093,000.00	\$ 1,168,000.00	\$ 1,297,000.00
23	Proprietary Function Funds (Only if Page 6 is Used)			\$ -
24	Total Resources Available (Lines 5 thru 23)	\$ 138,307,212.27	\$ 122,241,769.90	\$ 139,227,304.78
25	Total Disbursements & Transfers (Line 22, Pg 3, 4 & 5)	\$ 116,529,328.44	\$ 86,702,992.36	\$ 107,438,527.24
26	Balance Forward/Cash Reserve (Line 24 MINUS Line 25)	\$ 21,777,792.83	\$ 35,538,777.54	\$ 31,788,777.54
27	Cash Reserve Percentage			43%
PROPERTY TAX RECAP		Tax from Line 6		\$ 27,656,200.00
		County Treasurer Commission at 1%		\$ 276,562.00
		Total Property Tax Requirement		\$ 27,932,762.00

Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021

City of Bellevue in Sarpy County

To Assist the County For Levy Setting Purposes

The Cover Page identifies the Property Tax Request between Principal & Interest on Bonds and All Other Purposes. If your municipality needs more of a breakdown for levy setting purposes, complete the section below.

Property Tax Request by Fund:

	Property Tax Request
General Fund	20,338,612.00
Bond Fund	594,150.00
_____ Fund	_____
_____ Fund	_____
Total Tax Request	** \$ 20,932,762.00

** This Amount should agree to the Total Personal and Real Property Tax Required on the Cover Page 1.

Cash Reserve Funds

Statute 13-503 says cash reserve means funds required for the period before revenue would become available for expenditure but shall not include funds held in any special reserve fund. If the cash reserve on Page 2 exceeds 50%, you can list below funds being held in a special reserve fund.

Special Reserve Fund Name	Amount
American Rescue Plan Act (ARPA)	\$ 4,197,818.50
_____	_____
_____	_____
_____	_____
Total Special Reserve Funds	\$ 4,197,818.50
Total Cash Reserve	\$ 31,788,777.54
Remaining Cash Reserve	\$ 27,590,959.04
Remaining Cash Reserve %	37%

Documentation of Transfers of Surplus Fees:

(Only complete if Transfers of Surplus Fees Were Budgeted)

Please explain where the monies will be transferred from, where the monies will be transferred to, and the reason for the transfer.

Transfer From: _____ Transfer To: _____

Amount: _____

Reason:

Transfer From: _____ Transfer To: _____

Amount: _____

Reason:

Transfer From: _____ Transfer To: _____

Amount: _____

Reason:

Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021

City of Bellevue in Sarpy County

Line No.	2021-2022 ADOPTED BUDGET Disbursements & Transfers	Operating Expenses (A)	Capital Improvements (B)	Other Capital Outlay (C)	Debt Service (D)	Other (E)	Transfers Out (F)	TOTAL
1	Governmental:							
2	General Government	\$ 7,061,955.46	\$ 575,000.00	\$ 142,431.00	\$ 12,107,867.12	\$ 1,015,000.00	\$ -	\$ 20,902,253.58
3	Public Safety - Police and Fire	\$ 25,143,657.42	\$ -	\$ 1,940,000.00	\$ -	\$ -	\$ -	\$ 27,083,657.42
4	Public Safety - Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
5	Public Works - Streets	\$ 5,409,042.87	\$ 18,385,000.00	\$ 75,000.00	\$ 1,029,881.32	\$ -	\$ -	\$ 24,898,924.19
6	Public Works - Other	\$ 4,190,197.23	\$ 350,000.00	\$ -	\$ -	\$ -	\$ -	\$ 4,540,197.23
7	Public Health and Social Services	\$ 1,140,326.16	\$ -	\$ 70,000.00	\$ -	\$ -	\$ -	\$ 1,210,226.16
8	Culture and Recreation	\$ 5,097,134.32	\$ 5,650,000.00	\$ -	\$ -	\$ -	\$ -	\$ 10,747,134.32
9	Community Development	\$ 435,913.04	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 435,913.04
10	Miscellaneous	\$ 53,120.00	\$ 750,000.00	\$ -	\$ -	\$ -	\$ -	\$ 803,120.00
11	Business-Type Activities:							
12	Airport	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Nursing Home	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
14	Hospital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
15	Electric Utility	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
16	Solid Waste	\$ 4,086,730.50	\$ -	\$ -	\$ -	\$ 2,000.00	\$ -	\$ 4,088,730.50
17	Transportation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
18	Wastewater	\$ 8,475,654.57	\$ 3,500,000.00	\$ 75,000.00	\$ 397,718.73	\$ 280,000.00	\$ -	\$ 12,728,373.30
19	Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
20	Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Proprietary Function Funds (Page 6)					\$ -		\$ -
22	Total Disbursements & Transfers (Lns 2 thru 21)	\$ 61,093,629.07	\$ 29,210,000.00	\$ 2,302,431.00	\$ 13,535,467.17	\$ 1,297,000.00	\$ -	\$ 107,438,527.24

- (A) **Operating Expenses** should include Personal Services, Operating Expenses, Supplies and Materials, and Equipment Rental.
- (B) **Capital Improvements** should include acquisition of real property or acquisition, construction, or extension of any improvements on real property.
- (C) **Other Capital Outlay** should include other items to be inventoried (i.e. equipment, vehicles, etc.).
- (D) **Debt Service** should include Bond Principal and Interest Payments, Payments to Retirement Interest-Free Loans from NDA (Airports) and other debt payments.
- (E) **Other** should include Judgments, and Proprietary Function Funds if a separate budget is filed.

City of Bellevue in Sarpy County

Line No.	2020-2021 ACTUAL/ESTIMATED Disbursements & Transfers	Operating Expenses (A)	Capital Improvements (B)	Other Capital Outlay (C)	Debt Service (D)	Other (E)	Transfers Out (F)	TOTAL
1	Governmental:							
2	General Government	\$ 3,032,921.54	\$ -	\$ 253,421.70	\$ 13,868,775.43	\$ 900,000.00	\$ -	\$ 18,055,118.67
3	Public Safety - Police and Fire	\$ 23,883,226.02	\$ 83,229.60	\$ 1,559,096.86	\$ 66,137.80	\$ -	\$ -	\$ 25,591,690.28
4	Public Safety - Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
5	Public Works - Streets	\$ 5,096,189.90	\$ 7,945,260.15	\$ 665,000.00	\$ 892,036.56	\$ -	\$ -	\$ 14,598,486.61
6	Public Works - Other	\$ 3,633,664.00	\$ 98,647.49	\$ 109,477.76	\$ -	\$ -	\$ -	\$ 3,841,790.02
7	Public Health and Social Services	\$ 1,078,018.80	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,078,018.80
8	Culture and Recreation	\$ 4,357,100.02	\$ 5,197,117.00	\$ 64,754.00	\$ -	\$ 3,000.00	\$ -	\$ 9,621,978.02
9	Community Development	\$ 688,732.98	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 688,732.98
10	Miscellaneous	\$ 167,990.87	\$ 1,060.22	\$ -	\$ -	\$ -	\$ -	\$ 892,451.09
11	Business-Type Activities:							
12	Airport	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Nursing Home	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
14	Hospital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
15	Electric Utility	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
16	Solid Waste	\$ 3,949,526.79	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ 3,950,526.79
17	Transportation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
18	Wastewater	\$ 7,070,659.11	\$ 651,352.51	\$ -	\$ 398,187.48	\$ 264,000.00	\$ -	\$ 8,384,199.10
19	Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
20	Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Proprietary Function Funds					\$ -		\$ -
22	Total Disbursements & Transfers (Ln 2 thru 21)	\$ 52,957,437.80	\$ 14,700,666.97	\$ 2,651,740.82	\$ 15,225,137.27	\$ 1,168,000.00	\$ -	\$ 86,702,992.36

- (A) **Operating Expenses** should include Personal Services, Operating Expenses, Supplies and Materials, and Equipment Rental.
- (B) **Capital Improvements** should include acquisition of real property or acquisition, construction, or extension of any improvements on real property.
- (C) **Other Capital Outlay** should include other items to be inventoried (i.e. equipment, vehicles, etc.).
- (D) **Debt Service** should include Bond Principal and Interest Payments, Payments to Retirement Interest-Free Loans from NDA (Airports) and other debt payments.
- (E) **Other** should include Judgments, and Proprietary Function Funds if a separate budget is filed.

City of Bellevue in Sarpy County

Line No.	2019-2020 ACTUAL Disbursements & Transfers	Operating Expenses (A)	Capital Improvements (B)	Other Capital Outlay (C)	Debt Service (D)	Other (E)	Transfers Out (F)	TOTAL
1	Governmental:							
2	General Government	\$ 26,464,267.71	\$ 129,192.71	\$ 56,719.00	\$ 30,208,136.23	\$ 78,000.00	\$ -	\$ 56,936,315.65
3	Public Safety - Police and Fire	\$ 21,848,923.38	\$ 358,189.20	\$ 735,123.99	\$ 88,182.40	\$ -	\$ -	\$ 23,030,418.97
4	Public Safety - Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
5	Public Works - Streets	\$ 5,081,530.74	\$ 5,842,016.54	\$ 1,948,842.00	\$ 931,604.10	\$ -	\$ -	\$ 13,803,993.38
6	Public Works - Other	\$ 3,604,855.50	\$ 11,101.04	\$ 34,733.68	\$ -	\$ -	\$ -	\$ 3,650,690.23
7	Public Health and Social Services	\$ 951,768.28	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 951,768.28
8	Culture and Recreation	\$ 3,736,061.16	\$ 511,636.10	\$ 63,107.00	\$ -	\$ 750,000.00	\$ -	\$ 4,560,795.26
9	Community Development	\$ 527,779.25	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 527,779.25
10	Miscellaneous	\$ 31,998.90	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 31,998.90
11	Business-Type Activities:							
12	Airport	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Nursing Home	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
14	Hospital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
15	Electric Utility	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
16	Solid Waste	\$ 3,648,592.18	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ 3,649,592.18
17	Transportation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
18	Wastewater	\$ 7,986,890.18	\$ 457,856.98	\$ 284,069.20	\$ 393,159.98	\$ 264,000.00	\$ -	\$ 9,385,976.34
19	Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
20	Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Proprietary Function Funds					\$ -		\$ -
22	Total Disbursements & Transfers (Ln 2 thru 21)	\$ 73,382,658.29	\$ 7,309,992.57	\$ 3,122,544.87	\$ 31,621,082.71	\$ 1,093,000.00	\$ -	\$ 116,529,328.44

- (A) **Operating Expenses** should include Personal Services, Operating Expenses, Supplies and Materials, and Equipment Rental.
- (B) **Capital Improvements** should include acquisition of real property or acquisition, construction, or extension of any improvements on real property.
- (C) **Other Capital Outlay** should include other items to be inventoried (i.e. equipment, vehicles, etc.).
- (D) **Debt Service** should include Bond Principal and Interest Payments, Payments to Retirement Interest-Free Loans from NDA (Airports) and other debt payments.
- (E) **Other** should include Judgments, and Proprietary Function Funds if a separate budget is filed.

City of Bellevue in Sarpy County

2021-2022 SUMMARY OF PROPRIETARY FUNCTION FUNDS

NOTE: COMPLETE THIS PAGE ONLY IF A SEPARATE PROPRIETARY FUNCTION FUND BUDGET IS FILED WITH THE CLERK OF THE MUNICIPALITY.

THIS SPACE FOR USE OF PROPRIETARY FUNCTION FUNDS ONLY

Funds (List)	Beginning Balance	Total Budget of Receipts	Total Budget of Disbursements	Cash Reserve
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
TOTAL	\$ -	\$ -	\$ -	\$ -
	(Forward to Page 2, Line 4)	(Forward to Page 2, Line 23)	(Forward to Page 3, Line 21)	

Preliminary Draft
 Subject to Change
 Valuation to be Certified by August 20, 2021

NOTE: State Statute Section 13-504 requires a uniform summary of the proposed budget statement including each proprietary function fund included in a separate proprietary budget statement prepared pursuant to the Municipal Proprietary Function Act. Proprietary function shall mean a water supply or distribution utility, a waste-water collection or treatment utility, an electric generation, transmission, or distribution utility, a gas supply, transmission, or distribution utility, an integrated solid waste management collection, disposal, or handling utility, or a hospital or a nursing home owned by a municipality.

CORRESPONDENCE INFORMATION

ENTITY OFFICIAL ADDRESS

If no official address, please provide address where correspondence should be sent

NAME Mayor Rusty Hike
 ADDRESS 1500 Wall Street
 CITY & ZIP CODE Bellevue, NE 68005
 TELEPHONE (402) 293-3000
 WEBSITE bellevue.net

Preliminary Draft
 Subject to Change
 Valuation to be Certified by August 20, 2021

	BOARD CHAIRPERSON	CLERK/TREASURER/SUPERINTENDENT/OTHER	PREPARER
NAME	<u>Rusty Hike</u>	<u>Rich Severson</u>	<u>Rich Severson</u>
TITLE /FIRM NAME	<u>Mayor</u>	<u>Treasurer</u>	<u>Treasurer</u>
TELEPHONE	<u>(402) 293-3000</u>	<u>(402) 293-3088</u>	<u>(402) 293-3088</u>
EMAIL ADDRESS	<u>rusty.hike@bellevue.net</u>	<u>rich.severson@bellevue.net</u>	<u>rich.severson@bellevue.net</u>

For Questions on this form, who should we contact (please check one): Contact will be via email if supplied.

- Board Chairperson
- Clerk / Treasurer / Superintendent / Other
- Preparer

City of Bellevue in Sarpy County

2021-2022 LID SUPPORTING SCHEDULE

Calculation of Restricted Funds

Total Personal and Real Property Tax Requirements	(1)	\$	27,932,762.00
Motor Vehicle Pro-Rate	(2)	\$	77,200.00
In-Lieu of Tax Payments	(3)	\$	65,000.00
Prior Year Budgeted Capital Improvements that were excluded from Restricted Funds.			
Prior Year Capital Improvements Excluded from Restricted Funds (From Prior Year Lid Support, Line (17))	(4)	\$	20,610,000.00
LESS: Amount Spent During 2020-2021	(5)	\$	6,995,466.50
LESS: Amount Expected to be Spent in Future Budget Years	(6)	\$	1,200,000.00
Amount to be included as Restricted Funds (<u>Cannot Be A Negative Number</u>)	(7)	\$	12,414,533.50
Motor Vehicle Tax	(8)	\$	2,146,600.00
Local Option Sales Tax	(9)	\$	15,497,100.00
Transfers of Surplus Fees	(10)	\$	-
Highway Allocation and Incentives	(11)	\$	5,871,407.00
	(12)		
Motor Vehicle Fee	(13)	\$	491,600.00
Municipal Equalization Fund	(14)	\$	1,412,440.62
Insurance Premium Tax	(15)	\$	-
Nameplate Capacity Tax	(15a)	\$	-
TOTAL RESTRICTED FUNDS (A)	(16)	\$	65,908,643.12

Lid Exceptions

Capital Improvements (Real Property and Improvements on Real Property)	(17)	\$	14,660,000.00
LESS: Amount of prior year capital improvements that were excluded from previous lid calculations but were not spent and now budgeted this fiscal year (<i>cannot exclude same capital improvements from more than one lid calculation.</i>)	(18)	\$	1,200,000.00
Agrees to Line (6).	(19)	\$	13,460,000.00
Allowable Capital Improvements	(20)		
Bonded Indebtedness	(21)		
Public Facilities Construction Projects (Statutes 72-2301 to 72-2308)	(22)	\$	-
Interlocal Agreements/Joint Public Agency Agreements	(23)		
Public Safety Communication Project (Statute 86-416)	(23a)		
Benefits Paid Under the Firefighter Cancer Benefits Act	(24)		
Payments to Retire Interest-Free Loans from the Department of Aeronautics (Public Airports Only)	(25)		
Judgments	(26)		
Refund of Property Taxes to Taxpayers	(27)		
Repairs to Infrastructure Damaged by a Natural Disaster	(28)		
TOTAL LID EXCEPTIONS (B)	(28)	\$	13,460,000.00

TOTAL RESTRICTED FUNDS For Lid Computation (To Line 9 of the Lid Computation Form)	\$	52,448,643.12
<i>To Calculate: Total Restricted Funds (A)-Line 16 MINUS Total Lid Exceptions (B)-Line 28</i>		

Total Restricted Funds for Lid Computation **cannot** be less than zero. See Instruction Manual on completing the Lid Supporting Schedule.

City of Bellevue
IN
Sarpy County

LID COMPUTATION FORM FOR FISCAL YEAR 2021-2022

PRIOR YEAR RESTRICTED FUNDS AUTHORITY OPTION 1 OR OPTION 2

OPTION 1	
2020-2021 Restricted Funds Authority (Base Amount) = Line (8) from last year's Lid Form	52,793,143.82
	Option 1 - (Line 1)
OPTION 2	
<i>Only use if a vote was taken at a townhall meeting to exceed Lid for one year</i>	
Line (1) of Prior Year Lid Computation Form	Option 2 - (A)
Allowable Percent Increase Less Vote Taken (Prior Year Lid Computation Form Line (6) - Line (5))	%
Dollar Amount of Allowable Increase Excluding the vote taken Line (A) times Line (B)	-
	Option 2 - (C)
Calculated 2020-2021 Restricted Funds Authority (Base Amount) Line (A) Plus Line (C)	-
	Option 2 - (Line 1)

CURRENT YEAR ALLOWABLE INCREASES

1	BASE LIMITATION PERCENT INCREASE (2.5%)		2.50 %
		(2)	
2	ALLOWABLE GROWTH PER THE ASSESSOR MINUS 2.5%		- %
	$\frac{\text{2021 Growth per Assessor}}{\text{2020 Valuation}} = \frac{0.00}{4,375,426,659.00} = 0.00 \%$	(3)	
	Multiply times 100 To get %		
3	ADDITIONAL ONE PERCENT COUNCIL/BOARD APPROVED INCREASE		1.00 %
	$\frac{6}{6} = 100.00 \%$	(4)	
	# of Board Members voting "Yes" for Increase / Total # of Members in Governing Body at Meeting / Must be at least 75% (75) of the Governing Body		
	ATTACH A COPY OF THE BOARD MINUTES APPROVING THE INCREASE.		
4	SPECIAL ELECTION/TOWNHALL MEETING - VOTER APPROVED INCREASE		%
		(5)	
	Please Attach Ballot Sample and Election Results OR Record of Action From Townhall Meeting		
	TOTAL ALLOWABLE PERCENT INCREASE = Line (2) + Line (3) + Line (4) + Line (5)		3.50 %
		(6)	
	Allowable Dollar Amount of Increase to Restricted Funds = Line (1) x Line (6)		1,847,760.03
		(7)	
	Total Restricted Funds Authority = Line (1) + Line (7)		54,640,903.85
		(8)	
	Less: Restricted Funds from Lid Supporting Schedule		52,448,643.12
		(9)	
	Total Unused Restricted Funds Authority = Line (8) - Line (9)		2,192,260.73
		(10)	

LINE (10) MUST BE GREATER THAN OR EQUAL TO ZERO OR YOU ARE IN VIOLATION OF THE LID LAW.

Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021

City of Bellevue in Sarpy County

2021-2022 CAPITAL IMPROVEMENT LID EXEMPTIONS

Description of Capital Improvement	Amount Budgeted
Library Improvement (Building)	\$ 4,000,000.00
Stonecroft Park Parking Lot	\$ 220,000.00
Street Improvements	\$ 10,440,000.00

*Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021*

Total - Must agree to Line 17 on Lid Support Page 8

\$ 14,660,000.00

Municipality Levy Limit Form

City of Bellevue in Sarpy County

Municipality Levy

Personal and Real Property Tax Request	(1)		27,932,762.00
Judgments (Not Paid by Liability Insurance)	(2)	0.00	
Pre-Existing Lease - Purchase Contracts-7/98	(3)	0.00	
Bonded Indebtedness	(4)	7,594,150.00	
Interest Free Financing (Public Airports)	(5)	0.00	
Benefits Paid Under Firefighter Cancer Benefits Act	(6)	0.00	
Total Levy Exemptions	(7)		7,594,150.00
Tax Request Subject to Levy Limit	(8)		20,338,612.00
Valuation	(9)		4,579,120,323
Municipality Levy Subject to Levy Authority	(10)		0.444160
Levy Authority Allocated to Others-			
Airport Authority	(11)		0.000000
Community Redevelopment Authority	(12)		0.000000
Transit Authority	(13)		0.000000
Off Street Parking District Valuation	(14)		
Off Street Parking District Levy (Statute 77-233(2))	(15)	0.000000	0.000000
Other	(16)		0.000000
Total Levy for Compliance Purposes	(17)		0.444160 (A)
 Levy Authority			
Municipality Levy Limit	(18)		0.450000
Municipality property taxes designated for interlocal agreements	(19)		0.000000
Total Municipality Levy Authority	(20)		0.450000 (B)
Voter Approved Levy Override	(21)		0.000000 (C)

Note: (A) must be less than the greater of (B) or (C) to be in compliance with the Statutes

This Form is to be completed to ensure compliance with the levy limits established in State Statute Section 77-3442. The levy limit applicable to municipalities is 45 cents plus 5 cents for interlocal agreements.

State Statute Section 86-416 allows for a special tax to fund Public Safety Communication projects, the tax has the same status as bonded indebtedness. State Statute 72-2301 through 72-2308 allows bonds to be issued for Public Facilities Construction Projects. Amounts should be included as Bonded Indebtedness on Line 7 above.

A municipality may exceed the limits in State Statute Section 77-3442 by completing the requirements of State Statute Section 77-3444 (Election or Townhall Meeting). **If an amount is entered on Line 21, a sample ballot and election results MUST be submitted with budget. If voter approved override was completed at a Townhall Meeting, minutes of that meeting, and a list of registered voters in the municipality must be submitted.** Please refer to the statutes to ensure all requirements are met.

City of Bellevue
IN
Sarpy County, Nebraska

NOTICE OF BUDGET HEARING AND BUDGET SUMMARY

PUBLIC NOTICE is hereby given, in compliance with the provisions of State Statute Sections 13-501 to 13-513, that the governing body will meet on the 17th day of August 2021, at 6:00 o'clock P.M., at 1500 Wall Street, Bellevue, NE for the purpose of hearing support, opposition, criticism, suggestions or observations of taxpayers relating to the following proposed budget. The budget detail is available at the office of the Clerk during regular business hours.

2019-2020 Actual Disbursements & Transfers	\$ 116,529,328.44
2020-2021 Actual/Estimated Disbursements & Transfers	\$ 86,702,992.36
2021-2022 Proposed Budget of Disbursements & Transfers	\$ 107,438,527.24
2021-2022 Necessary Cash Reserve	\$ 31,788,777.54
2021-2022 Total Resources Available	\$ 139,227,304.78
Total 2021-2022 Personal & Real Property Tax Requirement	\$ 27,932,762.00
Unused Budget Authority Created For Next Year	\$ 2,192,260.73

Breakdown of Property Tax:

Personal and Real Property Tax Required for Non-Bond Purposes	\$ 20,338,612.00
Personal and Real Property Tax Required for Bonds	\$ 7,594,150.00

NOTICE OF SPECIAL HEARING TO SET FINAL TAX REQUEST

PUBLIC NOTICE is hereby given, in compliance with the provisions of State Statute Section 77-1601.02, that the governing body will meet on the 7th day of September 2021, at 6:00 o'clock P.M., at 1500 Wall Street, Bellevue, NE for the purpose of hearing support, opposition, criticism, suggestions or observations of taxpayers relating to setting the final tax request.

	2020	2021	Change
Operating Budget	97,312,417.54	107,438,527.24	10%
Property Tax Request	\$ 26,716,787.42	\$ 27,932,762.00	5%
Valuation	4,375,426,659	4,579,120,323	5%
Tax Rate	0.610610	0.610003	0%
Tax Rate if Prior Tax Request was at Current Valuation	0.583448		

Preliminary Draft
Subject to Change
Valuation to be Certified by August 30, 2021

RESOLUTION SETTING THE PROPERTY TAX REQUEST

RESOLUTION NO. _____

WHEREAS, Nebraska Revised Statute 77-1601.02 provides that the Governing Body of the City of Bellevue passes by a majority vote a resolution or ordinance setting the tax request; and

WHEREAS, a special public hearing was held as required by law to hear and consider comments concerning the property tax request;

NOW, THEREFORE, the Governing Body of the City of Bellevue resolves that:

1. The 2021-2022 property tax request be set at:

General Fund: \$ 20,338,612.00

Bond Fund: \$ 7,594,150.00

2. The total assessed value of property differs from last year's total assessed value by 4.66 percent.

3. The tax rate which would levy the same amount of property taxes as last year, when multiplied by the new total assessed value of property would be 0.83349 per \$100 of assessed value.

4. The City of Bellevue proposes to adopt a property tax request that will cause its tax rate to be 0.610003 per \$100 of assessed value.

5. Based on the proposed property tax request and changes in other revenue, the total operating budget of the City of Bellevue will increase or decrease last year's budget by 10.41 percent.

6. A copy of this resolution be certified and forwarded to the County Clerk on or before October 13, 2021.

Motion by _____, seconded by _____ to adopt Resolution # _____.

Voting yes were:

Voting no were:

Dated this _____ day of _____, 2021

Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021

REPORT OF TRADE NAMES, CORPORATE NAMES, BUSINESS NAMES

REPORTING PERIOD JULY 1, 2020 THROUGH JUNE 30, 2021

City of Bellevue

Sarpy County

SUBDIVISION NAME

COUNTY

List all Trade Names, Corporate Names and Business Names under which the political subdivision conducted business.

*Preliminary Draft
Subject to Change
Valuation to be Certified by August 20, 2021*



City of Bellevue

Finance Department

1500 Wall Street. ▪ Bellevue, Nebraska 68005 ▪ (402) 293-3000

The City of Bellevue's Administration

Presents

The Fiscal Year 2021-2022 Annual Budget

BUILDING A BETTER BELLEVUE

City of Bellevue

Annual Budget

For The Fiscal Year

October 1, 2021

Through

September 30, 2022

City of Bellevue Mayor and City Council

Mayor

Rusty Hike

City Council

Thomas Burns

Ward 1

Bob Stinson

Ward 2

Paul Cook

Ward 3

Council President

Kathy Welch

Ward 4

Don Preister

Ward 5

Jerry McCaw

At Large

City of Bellevue Management Team

City Administrator's Office

Jim Ristow, City Administrator Since 2018

Appointees

Susan Kluthe, City Clerk Since 2019

Bree Robbins, City Attorney Since 2019

Rich Severson, Treasurer Since 2013

Directors

Doug Clark, Public Works Director Since 2020

Julie Dinville, Library Director Since 2015

Ken Clary, Police Chief Since 2021

Perry Guido, Fire Chief Since 2009

Ashley Decker, Human Resources Director Since 2020

Mark Elbert, Community Development Director Since 2019

Rich Severson, Finance Director Since 2010

City of Bellevue

Budget Proposal's Key Points

- **No Increase In Property Tax Rate (Mil Levy)**
 - No change from 61¢ since 2014
- **Budgeted Expenditures Rise \$10 Million to \$107 Million, up 10%**
 - Catch Up Spending from the COVID Years (Exiting FYE2021 \$14 Million Favorable to Budget)
- **Budgeted Resources Available Rise \$17 Million to \$139.3 Million, up 13%**
- **Increases the Budget for Public Safety**
 - Increases Sworn Police Officers by 5 to 105 and the associated operational budget by 9%
 - Increases Fire Protection Services' operational budget by 8%
- **Increases the Budget for Other City Services**
 - Increases Public Works' operational budget by 10%

City of Bellevue

Budget Proposal's Key Points-continued

- City Maintaining a AA+ Bond Rating from S&P
- Provides Continued Infrastructure Improvements
 - Library Renovation/Improvements
 - Street Improvements, Including 36th Street
- Anticipates Economic Development Activities
 - Funding LB840 - \$750,000
 - Catalyst for new business and continued enhancement of Olde Towne

History of Bellevue's Valuations and Tax Levies

Tax Year	Valuation in billions of dollars	Tax Levy expressed as cents per hundred dollars of assessed value
2021	\$4.58	0.610000
2020	\$4.38	0.610000
2019	\$3.39	0.610000
2018	\$3.10	0.610000
2017	\$2.99	0.610000
2016	\$2.76	0.610000
2015	\$2.72	0.610000
2014	\$2.70	0.610000
2013	\$2.76	0.600000
2012	\$2.70	0.554876
2011	\$2.70	0.554876
2010	\$2.68	0.554876
2009	\$2.69	0.554876
2008	\$2.36	0.524880

Preliminary Draft
Subject to Change

City of Bellevue
Fund Balance Cash Roll-Forward
2021-22 Annual Budget

Beginning Cash at 09-30-21 (Forecasted)	\$	35,538,923
Revenues		103,688,527
Resources Available		139,227,450
Expenditures		(107,438,527)
Ending Cash at 09-30-22	\$	31,788,923

**City of Bellevue
Fund Balance Cash Roll-Forward
2021-22 Annual Budget**

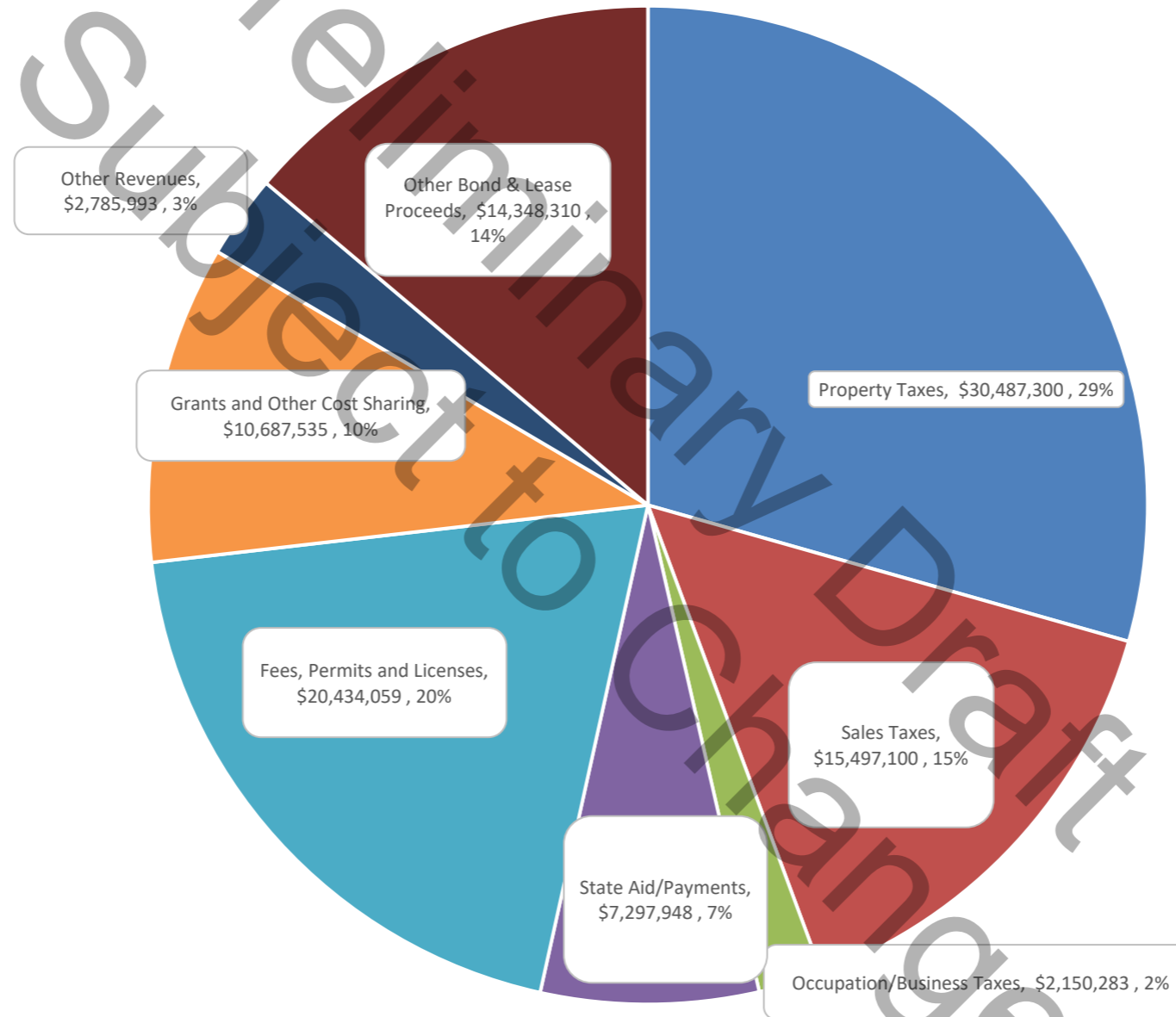
	Fund							
	Total	F10 General	F20 Wastewater	F50 Community Betterment	F55 Economic Development	F60 Community Development	F80 & F81 Police Funds	F95 Debt Service
Fund Balance (Cash) at 09-30-20	\$ 21,777,792.83	\$ 6,113,468.94	\$ 2,513,899.91	\$ 3,476,566.89	\$ 2,316,935.24	\$ 180,254.47	\$ 131,245.42	\$ 7,045,421.96
Forecast Revenues	\$ 100,463,977.07	\$ 71,854,136.07	\$ 10,960,399.44	\$ 1,055,462.70	\$ 750,130.22	\$ 687,618.16	\$ 154,043.20	\$ 15,002,187.28
Forecast Expenditures	\$ 86,702,846.65	\$ 62,216,328.65	\$ 8,384,199.10	\$ 305,462.70	\$ 750,130.22	\$ 688,732.98	\$ 154,042.81	\$ 14,203,950.19
Forecast Net increase / (decrease)	\$ 13,761,130.42	\$ 9,637,807.42	\$ 2,576,200.34	\$ 750,000.00	-	\$ (1,114.82)	\$ 0.39	\$ 798,237.09
<i>Rounding</i>								
Forecasted Fund Balance (Cash) at 09-30-21	\$ 35,538,923.25	\$ 15,751,276.36	\$ 5,090,100.25	\$ 4,226,566.89	\$ 2,316,935.24	\$ 179,139.65	\$ 131,245.81	\$ 7,843,659.05
Budgeted Revenues	\$ 103,688,527.24	\$ 72,228,980.90	\$ 13,478,373.30	\$ 1,056,890.00	\$ 750,120.00	\$ 435,913.04	\$ 53,000.00	\$ 15,685,250.00
Budgeted Expenditures	\$ 107,438,527.24	\$ 75,228,980.90	\$ 12,728,373.30	\$ 1,806,890.00	\$ 750,120.00	\$ 435,913.04	\$ 53,000.00	\$ 16,435,250.00
Budgeted Net increase / (decrease)	\$ (3,750,000.00)	\$ (3,000,000.00)	\$ 750,000.00	\$ (750,000.00)	-	-	-	\$ (750,000.00)
<i>Rounding</i>								
Budgeted Fund Balance (Cash) at 09-30-22	\$ 31,788,923.25	\$ 12,751,276.36	\$ 5,840,100.25	\$ 3,476,566.89	\$ 2,316,935.24	\$ 179,139.65	\$ 131,245.81	\$ 7,093,659.05
% increase / decrease in cash								
9/30/22 vs 9/30/20	46.0%	108.6%	132.3%	-	-	(0.6%)	0.0%	0.7%
9/30/22 vs 9/30/21	(10.6%)	(19.0%)	14.7%	(17.7%)	-	-	-	(9.6%)

City of Bellevue
2021-22 Annual Budget
Bonded Indebtedness

	<u>Total Debt</u>	<u>Total Debt to Valuation</u>	<u>Highway Allocation Bonds</u>	<u>Wastewater Bonds</u>	<u>Net GO Debt</u>	<u>G.O. Debt to Valuation</u>
Beginning Bonded Indebtedness at 10-01-20	\$ 78,905,000	1.80%	\$ 7,095,000	\$ 2,175,000	\$ 69,635,000	1.59%
Principal Payments During Year	(12,630,000)		\$ (435,000)	\$ (250,000)	\$ (11,945,000)	
New Debt Issued	12,370,000		\$ 5,850,000	\$ -	\$ 6,520,000	
Ending Bonded Indebtedness at 09-30-21	78,645,000	1.72%	\$ 12,510,000	\$ 1,925,000	\$ 64,210,000	1.40%
Principal Payments During Year	(6,880,000)		\$ (435,000)	\$ (255,000)	\$ (6,190,000)	
New Debt To Be Issued	10,260,000		\$ 6,260,000	\$ -	\$ 4,000,000	
Ending Bonded Indebtedness at 09-30-22	\$ 82,025,000	1.79%	\$ 18,335,000	\$ 1,670,000	\$ 62,020,000	1.35%
Valuation: \$4,579,120,000						
Budgeted Cash Balances (unrestricted) at 09-30-22	25,685,036		\$ 12,751,276	\$ 5,840,100	\$ 7,093,659	
Cash / Debt Principal at 09-30-22			70%	350%	11%	
Cash Balances / FYE2022 Debt Service			18.4	20.1	2.0	
Debt Service Coverage Ratio				1.8		

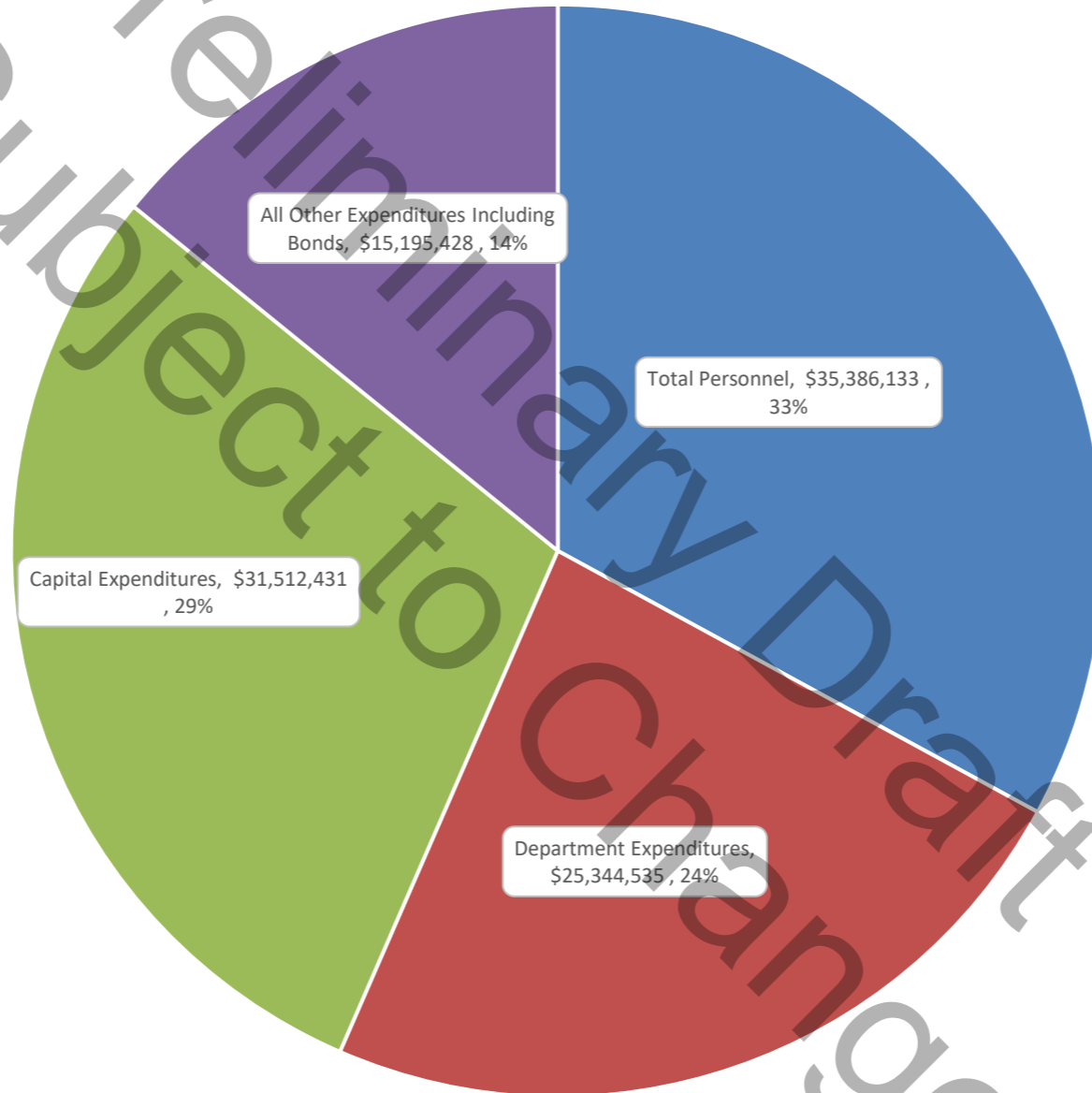
City of Bellevue

FYE2022 Budgeted Revenues - City-Wide



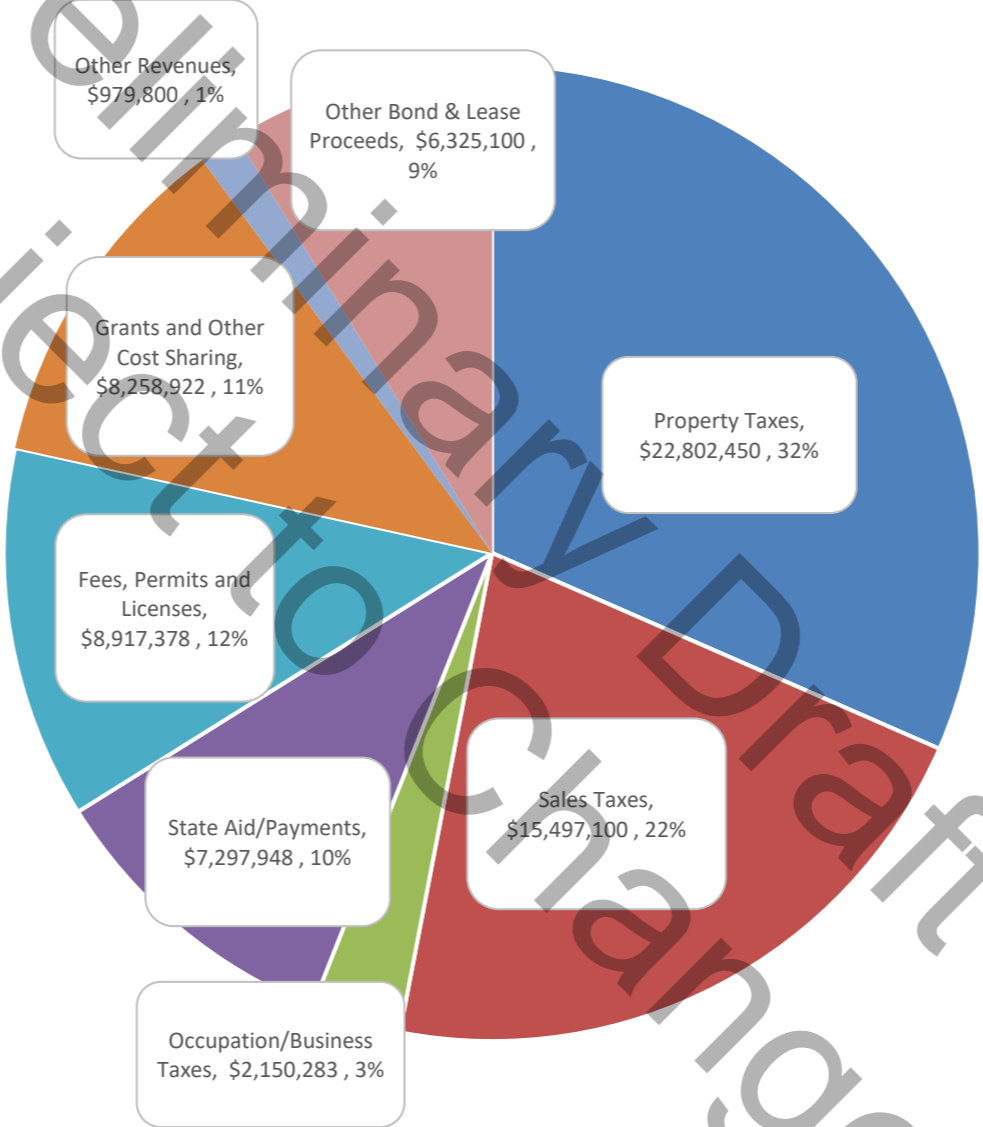
City of Bellevue

FYE2022 Budgeted Expenditures - City-Wide



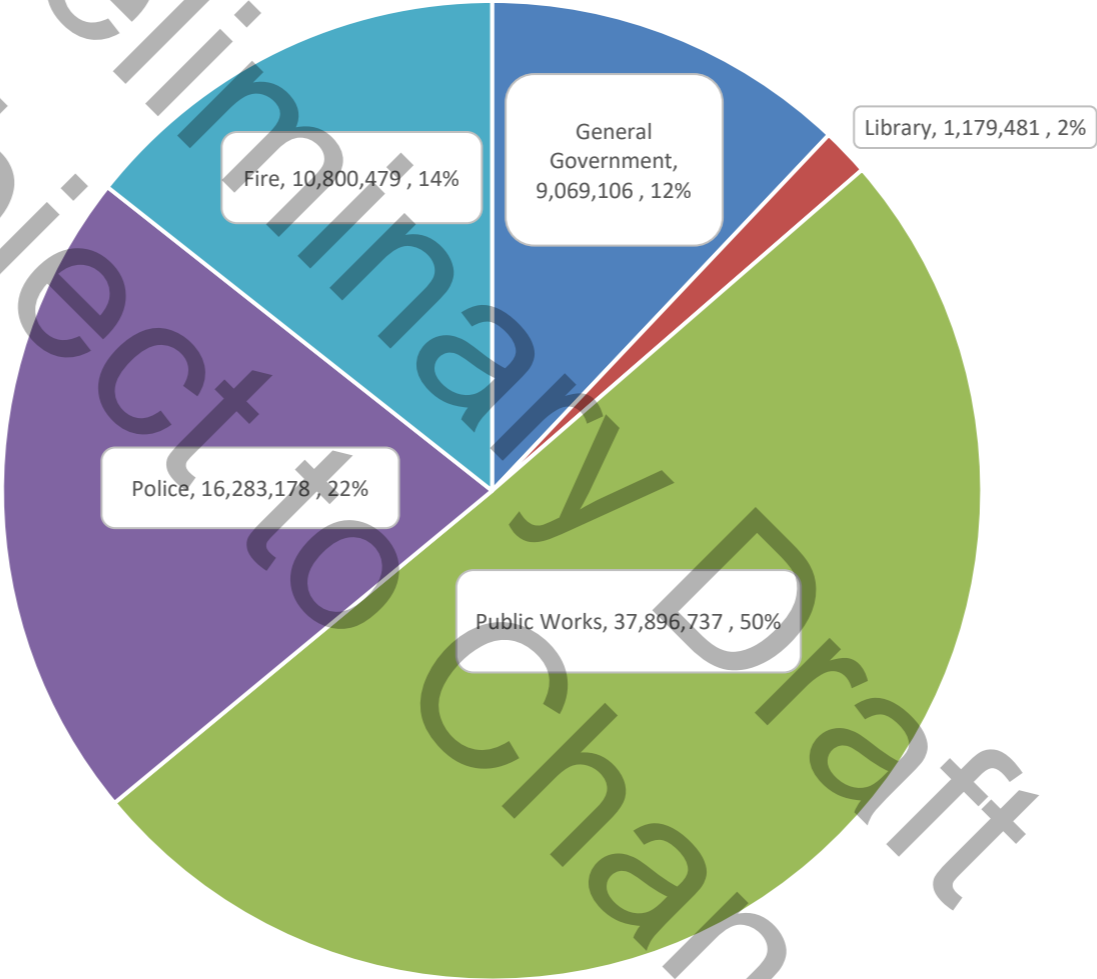
City of Bellevue

Sources of General Fund Revenue



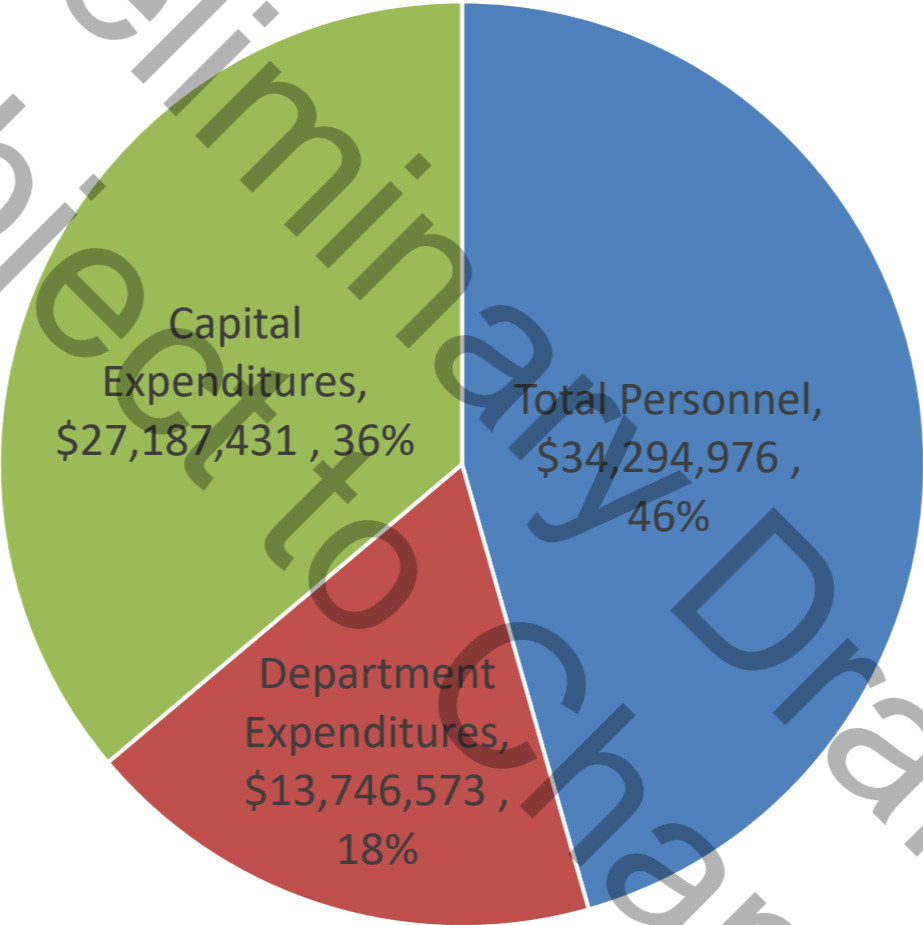
City of Bellevue

How the General Fund Money is Allocated in this Budget



City of Bellevue

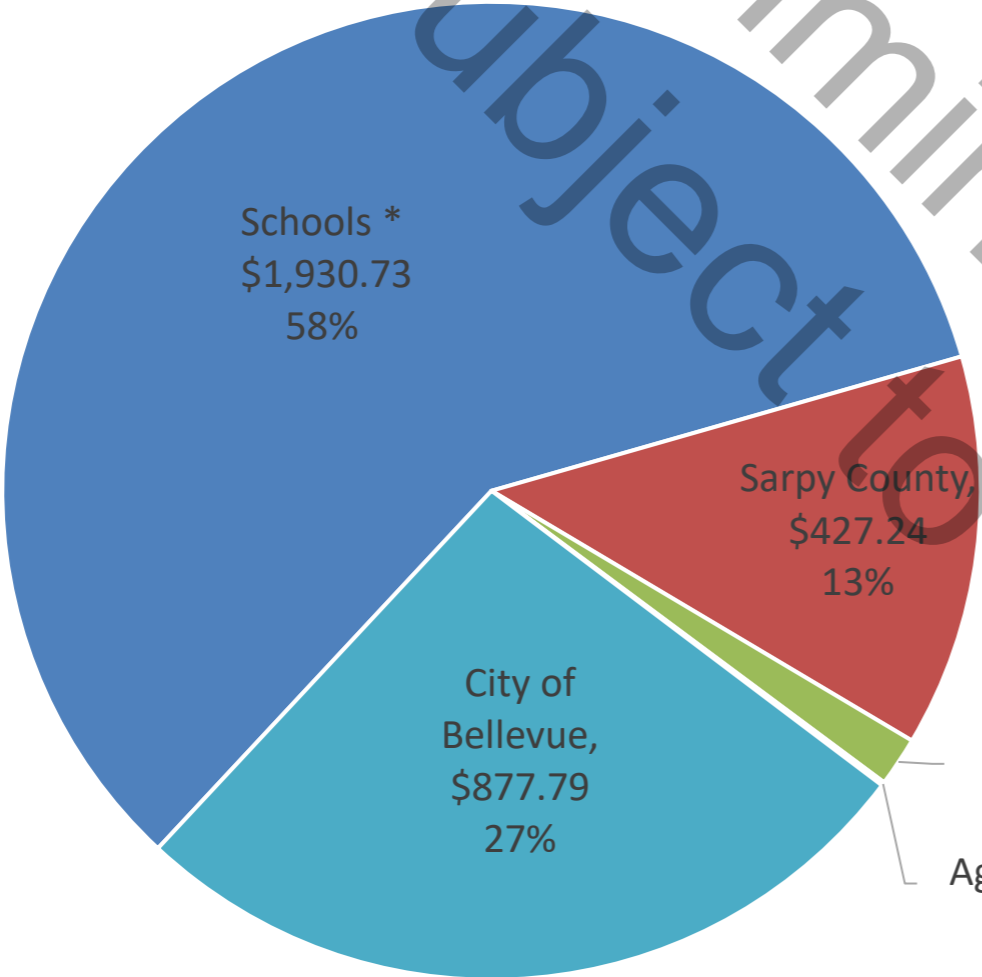
Major Categories of General Fund Spending



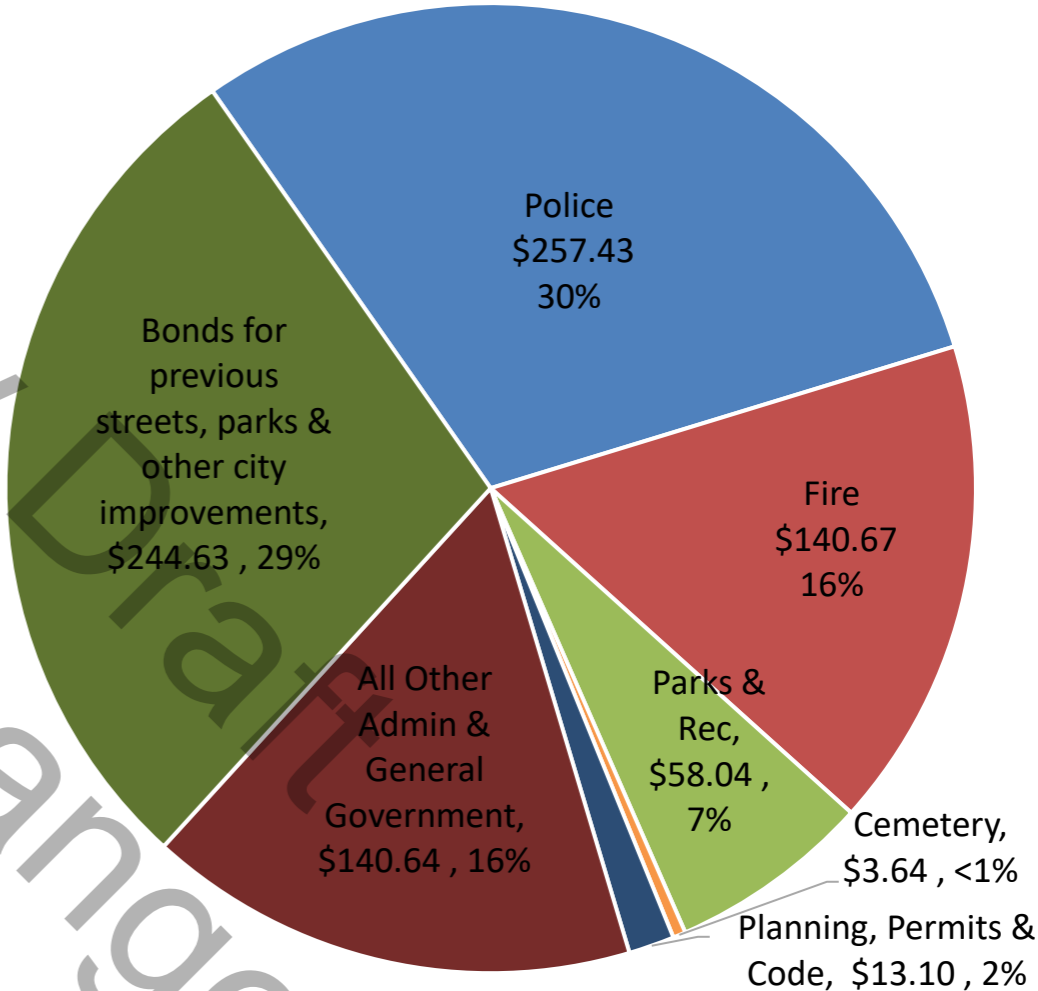
■ Total Personnel ■ Department Expenditures ■ Capital Expenditures

City of Bellevue (Last Year's Example)

WHERE YOUR TAXES GO
A \$3,293.53 property tax bill for a \$143,900 home
(median price in Bellevue)



WHERE YOUR CITY TAXES GO
Of the \$877.79, or 27% of your total property tax bill, this is what it pays for:



City of Bellevue
Statement of Revenues and Expenditures All Funds
2021-22 Annual Budget
All Funds

	F10 & F99	F60	F50	F95	F55	F80 & F81	F20
Total Budget All Funds	General Fund	Community Development (CDBG)	Community Betterment (Keno)	Debt Service	Economic Development	Police Funds	Wastewater
Revenues							
Property Taxes	30,487,300.00	22,802,450.00	-	7,684,850.00	-	-	-
Sales Taxes	15,497,100.00	15,497,100.00	-	-	-	-	-
Occupation/Business Taxes	2,150,283.07	2,150,283.07	-	-	-	-	-
State Aid/Payments	7,297,947.62	7,297,947.62	-	-	-	-	-
Fees, Permits and Licenses	20,434,058.89	8,917,378.21	-	-	-	53,000.00	11,463,680.68
Other Revenues	27,821,837.66	15,563,822.00	435,913.04	8,000,400.00	750,120.00	-	2,014,692.62
Total Operating Revenue	103,688,527.24	72,228,980.90	435,913.04	15,685,250.00	750,120.00	53,000.00	13,478,373.30
Expenditures							
Total Personnel	35,386,132.92	34,294,976.45	-	-	-	-	1,091,156.47
Department Expenditures	25,631,554.65	16,713,953.06	435,913.04	92,180.45	120.00	53,000.00	7,384,498.10
Capital Leases	318,293.80	226,946.32	-	-	-	-	91,347.48
Total Operational Expenditures	61,335,981.37	51,235,875.83	435,913.04	92,180.45	120.00	53,000.00	8,567,002.05
Total Capital Expenditures	31,512,431.00	27,187,431.00	-	-	750,000.00	-	3,575,000.00
Other	14,590,114.87	(3,194,325.93)	-	16,343,069.55	-	-	586,371.25
Total Expenditures	107,438,527.24	75,228,980.90	435,913.04	16,435,250.00	750,120.00	53,000.00	12,728,373.30
Net Revenues / (Expenditures)	(3,750,000.00)	(3,000,000.00)	-	(750,000.00)	(750,000.00)	-	750,000.00

Proposed Budget Approval Timeline

- 1st Reading – August 3
- 2nd Reading (Public Hearing) – August 17
- Special Public Hearing (LB148) – August 31
- 3rd Reading (Adoption) – September 7
- Submission – September 20
- **Tax Levy Effective 12/31/2021**

City of Bellevue

Summary Budget Schedules By Fund

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget
Fund: 10 General

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	\$ 20,866,485	\$ 20,647,478	\$ 22,802,450	\$ 1,935,965	9.3%	\$ 2,154,972	10.4%
Sales Taxes	14,759,353	12,751,300	\$ 15,497,100	737,747	5.0%	2,745,800	21.5%
Occupation/Business Taxes	1,406,316	2,221,283	\$ 2,150,283	743,967	52.9%	(71,000)	(3.2%)
State Aid/Payments	10,358,256	8,223,496	\$ 7,297,948	(3,060,308)	(29.5%)	(925,549)	(11.3%)
Fees, Permits and Licenses	8,358,279	8,157,114	\$ 8,917,378	559,099	6.7%	760,265	9.3%
Grants and Other Cost Sharing	9,202,375	7,032,922	\$ 8,258,922	(943,453)	(10.3%)	1,226,000	17.4%
Other Revenues	491,949	532,600	\$ 434,800	(57,149)	(11.6%)	(97,800)	(18.4%)
Other Bond & Lease Proceeds	5,994,123	11,960,900	\$ 6,325,100	330,977	5.5%	(5,635,800)	(47.1%)
Transfers (Revenue)	417,000	417,000	\$ 545,000	128,000	30.7%	128,000	30.7%
Total Revenue	71,854,136	71,944,093	\$ 72,228,981	374,845	0.5%	284,888	0.4%
Expenditures							
Salaries & Wages							
Base Pay	20,763,568	21,155,902	\$ 22,857,963	(2,094,395)	(10.1%)	(1,702,061)	(8.0%)
Overtime	531,210	281,644	\$ 346,716	184,494	34.7%	(65,072)	(23.1%)
Added Pay	2,186,781	1,449,308	\$ 1,476,368	710,413	32.5%	(27,060)	(1.9%)
Non Recurring Pay	485,850	305,754	\$ 347,674	138,177	28.4%	(41,919)	(13.7%)
Reimbursements	(3,977,287)	(395,000)	\$ (395,000)	(3,582,287)	90.1%	-	-
Total Salaries & Wages	19,990,122	22,797,608	\$ 24,633,720	(4,643,598)	(23.2%)	(1,836,112)	(8.1%)
Fringe Benefits							
Employer Payroll Taxes	1,750,046	1,733,867	\$ 1,870,974	(120,928)	(6.9%)	(137,107)	(7.9%)
Pension and Retirement	2,327,561	2,294,760	\$ 2,709,053	(381,492)	(16.4%)	(414,293)	(18.1%)
Health and Benefit Insurance	4,384,625	5,035,456	\$ 5,081,229	(696,603)	(15.9%)	(45,773)	(0.9%)
Total Fringe Benefits	8,462,232	9,064,083	\$ 9,661,256	(1,199,024)	(14.2%)	(597,173)	(6.6%)
Total Personnel	28,452,354	31,861,691	\$ 34,294,976	(5,842,622)	(20.5%)	(2,433,285)	(7.6%)
Department Expenditures							
Total Operational	44,282,932	47,107,758	\$ 50,721,910	(6,438,978)	(14.5%)	(3,614,152)	(7.7%)
Capital Expenditures	15,976,005	22,770,833	\$ 27,187,431	(11,211,426)	(70.2%)	(4,416,598)	(19.4%)
Other Expenditures							
Capital Leases	335,942	415,942	\$ 226,946	108,996	32.4%	188,996	45.4%
All Other	870,450	898,561	\$ 1,090,694	(220,244)	(25.3%)	(192,133)	(21.4%)
Total Other Expenditures	1,206,392	1,314,502	\$ 1,317,640	(111,248)	(9.2%)	(3,137)	(0.2%)
Transfers (Expenditures)	751,000	751,000	\$ (3,998,000)	4,749,000	632.4%	4,749,000	632.4%
Total Expenditures	62,216,329	71,944,093	\$ 75,228,981	(13,012,652)	(20.9%)	(3,284,888)	(4.6%)
Net Revenues / (Expenditures)	\$ 9,637,807	-	\$ (3,000,000)	\$ (12,637,807)		\$ (3,000,000)	

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget
Fund: 20 Wastewater

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	10,879,694	10,101,070	11,463,681	583,987	5.4%	1,362,611	13.5%
Grants and Other Cost Sharing	79,524	-	2,012,500	1,932,976	> 999.9%	2,012,500	-
Other Revenues	182	500	193	11	6.0%	(307)	(61.5%)
Other Bond & Lease Proceeds	-	1,700,000	-	-	-	(1,700,000)	(100.0%)
Transfers (Revenue)	1,000	1,000	2,000	1,000	100.0%	1,000	100.0%
Total Revenue	10,960,399	11,802,570	13,478,373	2,517,974	23.0%	1,675,803	14.2%
Expenditures							
Salaries & Wages							
Base Pay	507,559	670,227	724,338	(216,778)	(42.7%)	(54,110)	(8.1%)
Overtime	13,916	17,662	19,185	(5,269)	(37.9%)	(1,523)	(8.6%)
Added Pay	38,249	5,760	7,080	31,169	81.5%	(1,320)	(22.9%)
Non Recurring Pay	5,020	6,444	6,965	(1,945)	(38.7%)	(520)	(8.1%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	564,745	700,094	757,568	(192,823)	(34.1%)	(57,473)	(8.2%)
Fringe Benefits							
Employer Payroll Taxes	42,781	50,344	54,477	(11,696)	(27.3%)	(4,133)	(8.2%)
Pension and Retirement	34,269	42,006	45,454	(11,186)	(32.6%)	(3,448)	(8.2%)
Health and Benefit Insurance	139,946	151,743	233,658	(93,712)	(67.0%)	(81,915)	(54.0%)
Total Fringe Benefits	216,996	244,093	333,589	(116,593)	(53.7%)	(89,496)	(36.7%)
Total Personnel	781,741	944,187	1,091,156	(309,416)	(39.6%)	(146,970)	(15.6%)
Department Expenditures							
Total Operational	7,070,659	7,950,383	8,475,655	(1,404,995)	(19.9%)	(525,272)	(6.6%)
Capital Expenditures	651,353	1,940,000	3,575,000	(2,923,647)	(448.9%)	(1,635,000)	(84.3%)
Other Expenditures							
Capital Leases	91,347	91,347	91,347	-	-	-	-
All Other	306,840	306,840	306,371	469	0.2%	469	0.2%
Total Other Expenditures	398,187	398,187	397,719	469	0.1%	469	0.1%
Transfers (Expenditures)	264,000	264,000	280,000	(16,000)	(6.1%)	(16,000)	(6.1%)
Total Expenditures	8,384,199	10,552,570	12,728,373	(4,344,174)	(51.8%)	(2,175,803)	(20.6%)
Net Revenues / (Expenditures)	\$ 2,576,200	\$ 1,250,000	\$ 750,000	\$ (1,826,200)	(243.5%)	\$ (500,000)	(66.7%)

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget

Fund: 50 Community Betterment

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	1,051,326	1,004,000	1,054,000	2,674	0.3%	50,000	5.0%
Other Bond & Lease Proceeds	4,136	1,740	2,890	(1,246)	(30.1%)	1,150	66.1%
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	1,055,463	1,005,740	1,056,890	1,427	0.1%	51,150	5.1%
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	302,463	252,740	951,890	(649,427)	(214.7%)	(699,150)	(276.6%)
Total Operational	302,463	252,740	951,890	(649,427)	(214.7%)	(699,150)	(276.6%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	3,000	3,000	855,000	(852,000)	(28400.0%)	(852,000)	(28400.0%)
Total Expenditures	305,463	255,740	1,806,890	(1,501,427)	(491.5%)	(1,551,150)	(606.5%)
Net Revenues / (Expenditures)	\$ 750,000	\$ 750,000	\$ (750,000)	\$ (1,500,000)	200.0%	\$ (1,500,000)	200.0%

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget

Fund: 55 Economic Development

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	130	120	120	(10)	(7.8%)	-	-
Transfers (Revenue)	750,000	750,000	750,000	-	-	-	-
Total Revenue	750,130	750,120	750,120	(10)	(0.0%)	-	-
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	25,070	120	120	24,950	99.5%	-	-
Total Operational	25,070	120	120	24,950	99.5%	-	-
Capital Expenditures	725,060	750,000	750,000	(24,940)	(3.4%)	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	750,130	750,120	750,120	10	0.0%	-	-
Net Revenues / (Expenditures)	-	-	-	\$ (0)	-	-	-

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget

Fund: 60 Community Development

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	668,933	668,933	416,113	(252,820)	(37.8%)	(252,820)	(37.8%)
Other Revenues	9,694	-	-	(9,694)	(100.0%)	-	-
Other Bond & Lease Proceeds	8,991	19,800	19,800	10,809	120.2%	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	687,618	688,733	435,913	(251,705)	(36.6%)	(252,820)	(36.7%)
Expenditures							
Salaries & Wages	-	-	-	-	-	-	-
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits	-	-	-	-	-	-	-
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	688,733	688,733	435,913	252,820	36.7%	252,820	36.7%
Total Operational	688,733	688,733	435,913	252,820	36.7%	252,820	36.7%
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures	-	-	-	-	-	-	-
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	688,733	688,733	435,913	252,820	36.7%	252,820	36.7%
Net Revenues / (Expenditures)	\$ (1,115)	-	-	\$ 1,115	-	-	-

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget

[Fund: 81 Federal Forfeitures](#)

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	142,319	53,000	53,000	(89,319)	(62.8%)	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	2	-	-	(2)	(100.0%)	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	142,321	53,000	53,000	(89,321)	(62.8%)	-	-
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	142,321	53,000	53,000	89,321	62.8%	-	-
Total Operational	142,321	53,000	53,000	89,321	62.8%	-	-
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	142,321	53,000	53,000	89,321	62.8%	-	-
Net Revenues / (Expenditures)	\$ 0	-	-	\$ (0)	-	-	-

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget

[Fund: 95 General Obligation Bonds](#)

	2020-21		2021-22				
	9+3		2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud		
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	\$ 8,358,197	\$ 8,068,161	\$ 7,684,850	\$ (673,347)	(8.1%)	\$ (383,311)	(4.8%)
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	34,218	-	-	(34,218)	(100.0%)	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	227	-	-	(227)	(100.0%)	-	-
Other Bond & Lease Proceeds	6,609,547	5,000,000	8,000,400	1,390,853	21.0%	3,000,400	60.0%
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	15,002,187	13,068,161	15,685,250	683,063	4.6%	2,617,089	20.0%
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	110,897	110,973	92,180	18,717	16.9%	18,793	16.9%
Total Operational	110,897	110,973	92,180	18,717	16.9%	18,793	16.9%
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	13,943,053	12,807,188	12,183,070	1,759,984	12.6%	624,119	4.9%
Total Other Expenditures	13,943,053	12,807,188	12,183,070	1,759,984	12.6%	624,119	4.9%
Transfers (Expenditures)	150,000	150,000	4,160,000	(4,010,000)	(2673.3%)	(4,010,000)	(2673.3%)
Total Expenditures	14,203,950	13,068,161	16,435,250	(2,231,300)	(15.7%)	(3,367,089)	(25.8%)
Net Revenues / (Expenditures)	\$ 798,237	-	\$ (750,000)	\$ (1,548,237)	206.4%	\$ (750,000)	100.0%

City of Bellevue

Summary Budget Schedules By General Fund Department

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 01 Mayor

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	-	-	-	-	-	-	-
Expenditures							
Salaries & Wages							
Base Pay	19,582	19,856	21,336	(1,754)	(9.0%)	(1,480)	(7.5%)
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	19,582	19,856	21,336	(1,754)	(9.0%)	(1,480)	(7.5%)
Fringe Benefits							
Employer Payroll Taxes	1,498	1,519	1,632	(134)	(9.0%)	(113)	(7.5%)
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	1,498	1,519	1,632	(134)	(9.0%)	(113)	(7.5%)
Total Personnel	21,080	21,375	22,968	(1,888)	(9.0%)	(1,593)	(7.5%)
Department Expenditures	9,802	9,802	9,969	(167)	(1.7%)	(167)	(1.7%)
Total Operational	30,882	31,177	32,937	(2,055)	(6.7%)	(1,760)	(5.6%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures	-	-	-	-	-	-	-
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	30,882	31,177	32,937	(2,055)	(6.7%)	(1,760)	(5.6%)
Net Revenues / (Expenditures)	\$ (30,882)	\$ (31,177)	\$ (32,937)	\$ (2,055)	(6.2%)	\$ (1,760)	(5.3%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 02 City Administrator

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	50	300	100	50	100.0%	(200)	(66.7%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	50	300	100	50	100.0%	(200)	(66.7%)
Expenditures							
Salaries & Wages							
Base Pay	338,653	336,115	367,099	(28,447)	(8.4%)	(30,984)	(9.2%)
Overtime	856	1,327	1,347	(492)	(57.5%)	(20)	(1.5%)
Added Pay	30,326	5,400	6,240	24,086	79.4%	(840)	(15.6%)
Non Recurring Pay	3,232	3,232	3,530	(298)	(9.2%)	(298)	(9.2%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	373,066	346,074	378,216	(5,150)	(1.4%)	(32,143)	(9.3%)
Fringe Benefits							
Employer Payroll Taxes	24,715	24,883	27,194	(2,479)	(10.0%)	(2,311)	(9.3%)
Pension and Retirement	23,084	20,804	22,733	351	1.5%	(1,929)	(9.3%)
Health and Benefit Insurance	59,340	61,936	61,898	(2,559)	(4.3%)	37	0.1%
Total Fringe Benefits	107,139	107,623	111,826	(4,687)	(4.4%)	(4,203)	(3.9%)
Total Personnel	480,206	453,697	490,043	(9,837)	(2.0%)	(36,346)	(8.0%)
Department Expenditures							
Total Operational	512,994	495,503	529,426	(16,431)	(3.2%)	(33,923)	(6.8%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	512,994	495,503	529,426	(16,431)	(3.2%)	(33,923)	(6.8%)
Net Revenues / (Expenditures)	\$ (512,944)	\$ (495,203)	\$ (529,326)	\$ (16,381)	(3.1%)	\$ (34,123)	(6.4%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 03 Legal

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	1,738	-	-	(1,738)	(100.0%)	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	1,738	-	-	(1,738)	(100.0%)	-	-
Expenditures							
Salaries & Wages							
Base Pay	174,854	185,198	215,705	(40,851)	(23.4%)	(30,506)	(16.5%)
Overtime	1,029	1,959	-	1,029	100.0%	1,959	100.0%
Added Pay	6,284	1,260	1,260	5,024	79.9%	-	-
Non Recurring Pay	4,313	-	4,399	(86)	(2.0%)	(4,399)	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	186,479	188,418	221,364	(34,884)	(18.7%)	(32,946)	(17.5%)
Fringe Benefits							
Employer Payroll Taxes	13,672	13,692	15,751	(2,079)	(15.2%)	(2,059)	(15.0%)
Pension and Retirement	10,790	11,425	13,142	(2,352)	(21.8%)	(1,718)	(15.0%)
Health and Benefit Insurance	25,938	41,578	32,116	(6,178)	(23.8%)	9,462	22.8%
Total Fringe Benefits	50,400	66,695	61,010	(10,610)	(21.1%)	5,685	8.5%
Total Personnel	236,879	255,113	282,373	(45,494)	(19.2%)	(27,260)	(10.7%)
Department Expenditures							
Total Operational	364,350	376,086	401,545	(37,196)	(10.2%)	(25,459)	(6.8%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	364,350	376,086	401,545	(37,196)	(10.2%)	(25,459)	(6.8%)
Net Revenues / (Expenditures)	\$ (362,612)	\$ (376,086)	\$ (401,545)	\$ (38,933)	(9.7%)	\$ (25,459)	(6.3%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 04 Cable

	2020-21		2021-22				
	9+3	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21			Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	126,571	141,100	129,100	2,529	2.0%	(12,000)	(8.5%)
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	126,571	141,100	129,100	2,529	2.0%	(12,000)	(8.5%)
Expenditures							
Salaries & Wages							
Base Pay	127,673	135,671	140,748	(13,075)	(10.2%)	(5,077)	(3.7%)
Overtime	1,146	1,174	1,227	(80)	(7.0%)	(53)	(4.5%)
Added Pay	10,099	3,240	3,240	6,859	67.9%	-	-
Non Recurring Pay	1,465	1,305	1,353	111	7.6%	(49)	(3.7%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	140,383	141,390	146,568	(6,185)	(4.4%)	(5,178)	(3.7%)
Fringe Benefits							
Employer Payroll Taxes	9,939	10,159	10,531	(593)	(6.0%)	(372)	(3.7%)
Pension and Retirement	8,473	8,589	8,904	(432)	(5.1%)	(315)	(3.7%)
Health and Benefit Insurance	48,045	50,487	50,459	(2,414)	(5.0%)	28	0.1%
Total Fringe Benefits	66,456	69,235	69,894	(3,438)	(5.2%)	(659)	(1.0%)
Total Personnel	206,839	210,625	216,462	(9,623)	(4.7%)	(5,838)	(2.8%)
Department Expenditures	29,665	29,665	30,414	(749)	(2.5%)	(749)	(2.5%)
Total Operational	236,504	240,290	246,876	(10,372)	(4.4%)	(6,587)	(2.7%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	236,504	240,290	246,876	(10,372)	(4.4%)	(6,587)	(2.7%)
Net Revenues / (Expenditures)	\$ (109,933)	\$ (99,190)	\$ (117,776)	\$ (7,843)	(6.7%)	\$ (18,587)	(15.8%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 05 Clerk

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	87,478	108,823	105,323	17,845	20.4%	(3,500)	(3.2%)
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	35	-	(100)	(135)	(384.5%)	(100)	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	87,513	108,823	105,223	17,710	20.2%	(3,600)	(3.3%)
Expenditures							
Salaries & Wages							
Base Pay	123,393	130,777	142,161	(18,768)	(15.2%)	(11,384)	(8.7%)
Overtime	779	1,829	1,913	(1,135)	(145.7%)	(84)	(4.6%)
Added Pay	9,165	2,340	2,340	6,825	74.5%	-	-
Non Recurring Pay	-	1,257	1,367	(1,367)	-	(109)	(8.7%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	133,336	136,204	147,781	(14,445)	(10.8%)	(11,577)	(8.5%)
Fringe Benefits							
Employer Payroll Taxes	9,540	9,808	10,640	(1,099)	(11.5%)	(832)	(8.5%)
Pension and Retirement	8,085	8,300	9,000	(915)	(11.3%)	(700)	(8.4%)
Health and Benefit Insurance	29,086	32,105	26,411	2,675	9.2%	5,694	17.7%
Total Fringe Benefits	46,711	50,213	46,050	661	1.4%	4,162	8.3%
Total Personnel	180,047	186,416	193,831	(13,784)	(7.7%)	(7,415)	(4.0%)
Department Expenditures							
Total Operational	223,434	256,894	257,140	(33,706)	(15.1%)	(246)	(0.1%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	40,538	40,538	40,538	-	-	-	-
Total Other Expenditures	40,538	40,538	40,538	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	263,972	297,432	297,678	(33,706)	(12.8%)	(246)	(0.1%)
Net Revenues / (Expenditures)	\$ (176,459)	\$ (188,609)	\$ (192,455)	\$ (15,996)	(8.3%)	\$ (3,846)	(2.0%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 06 Finance

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	6,100	6,100	6,100	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	1,394	1,200	1,200	(194)	(13.9%)	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	7,494	7,300	7,300	(194)	(2.6%)	-	-
Expenditures							
Salaries & Wages							
Base Pay	492,211	559,995	559,162	(66,951)	(13.6%)	833	0.1%
Overtime	1,583	3,910	3,354	(1,771)	(111.9%)	556	14.2%
Added Pay	45,935	15,480	16,077	29,857	65.0%	(597)	(3.9%)
Non Recurring Pay	34,265	34,265	46,134	(11,870)	(34.6%)	(11,870)	(34.6%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	573,993	613,649	624,728	(50,735)	(8.8%)	(11,079)	(1.8%)
Fringe Benefits							
Employer Payroll Taxes	40,605	44,401	45,280	(4,676)	(11.5%)	(879)	(2.0%)
Pension and Retirement	32,895	37,050	37,807	(4,912)	(14.9%)	(757)	(2.0%)
Health and Benefit Insurance	77,055	94,782	98,094	(21,039)	(27.3%)	(3,312)	(3.5%)
Total Fringe Benefits	150,554	176,234	181,181	(30,627)	(20.3%)	(4,947)	(2.8%)
Total Personnel	724,547	789,883	805,909	(81,362)	(11.2%)	(16,026)	(2.0%)
Department Expenditures							
Total Operational	805,160	882,186	888,093	(82,933)	(10.3%)	(5,907)	(0.7%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	805,160	882,186	888,093	(82,933)	(10.3%)	(5,907)	(0.7%)
Net Revenues / (Expenditures)	\$ (797,666)	\$ (874,886)	\$ (880,793)	\$ (83,127)	(9.4%)	\$ (5,907)	(0.7%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 07 Library

	2020-21		2021-22				
	9+3	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21			Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	35,340	33,252	33,252	(2,088)	(5.9%)	-	-
Grants and Other Cost Sharing	500,000	500,000	-	(500,000)	(100.0%)	(500,000)	(100.0%)
Other Revenues	281	200	200	(81)	(28.9%)	-	-
Other Bond & Lease Proceeds	-	4,000,000	-	-	-	(4,000,000)	(100.0%)
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	535,621	4,533,452	33,452	(502,169)	(93.8%)	(4,500,000)	(99.3%)
Expenditures							
Salaries & Wages							
Base Pay	614,597	638,288	642,136	(27,538)	(4.5%)	(3,848)	(0.6%)
Overtime	1,472	3,964	3,896	(2,424)	(164.7%)	68	1.7%
Added Pay	25,667	9,840	7,620	18,047	70.3%	2,220	22.6%
Non Recurring Pay	53,893	26,427	26,521	27,373	50.8%	(94)	(0.4%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	695,629	678,519	680,172	15,457	2.2%	(1,654)	(0.2%)
Fringe Benefits							
Employer Payroll Taxes	50,105	49,757	49,864	241	0.5%	(107)	(0.2%)
Pension and Retirement	27,264	28,106	28,565	(1,300)	(4.8%)	(459)	(1.6%)
Health and Benefit Insurance	103,800	128,466	128,298	(24,498)	(23.6%)	168	0.1%
Total Fringe Benefits	181,170	206,329	206,727	(25,558)	(14.1%)	(399)	(0.2%)
Total Personnel	876,799	884,847	886,900	(10,101)	(1.2%)	(2,053)	(0.2%)
Department Expenditures							
Total Operational	1,162,832	1,170,880	1,179,481	(16,649)	(1.4%)	(8,601)	(0.7%)
Capital Expenditures	3,500,000	4,500,000	4,000,000	(500,000)	(14.3%)	500,000	11.1%
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	(4,000,000)	4,000,000	-	4,000,000	-
Total Expenditures	4,662,832	5,670,880	1,179,481	3,483,351	74.7%	4,491,399	79.2%
Net Revenues / (Expenditures)	\$ (4,127,211)	\$ (1,137,428)	\$ (1,146,029)	\$ 2,981,182	260.1%	\$ (8,601)	(0.8%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 08 Admin Services

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	151,916	152,500	152,500	584	0.4%	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	12,400	12,400	15,200	2,800	22.6%	2,800	22.6%
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	164,316	164,900	167,700	3,384	2.1%	2,800	1.7%
Expenditures							
Salaries & Wages							
Base Pay	481,533	561,210	578,044	(96,511)	(20.0%)	(16,834)	(3.0%)
Overtime	2,705	5,465	5,718	(3,013)	(111.4%)	(253)	(4.6%)
Added Pay	39,633	30,460	27,820	11,813	29.8%	2,640	8.7%
Non Recurring Pay	40,944	4,910	5,037	35,906	87.7%	(127)	(2.6%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	564,815	602,045	616,619	(51,804)	(9.2%)	(14,574)	(2.4%)
Fringe Benefits							
Employer Payroll Taxes	56,633	42,339	43,160	13,473	23.8%	(822)	(1.9%)
Pension and Retirement	31,954	32,260	33,090	(1,136)	(3.6%)	(830)	(2.6%)
Health and Benefit Insurance	155,758	150,564	146,855	8,903	5.7%	3,708	2.5%
Total Fringe Benefits	244,346	225,163	223,106	21,240	8.7%	2,057	0.9%
Total Personnel	809,161	827,208	839,725	(30,564)	(3.8%)	(12,517)	(1.5%)
Department Expenditures							
Total Operational	1,078,019	1,124,537	1,140,226	(62,207)	(5.8%)	(15,889)	(1.4%)
Capital Expenditures	-	-	70,000	(70,000)	-	(70,000)	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	1,078,019	1,124,537	1,210,226	(132,207)	(12.3%)	(85,689)	(7.6%)
Net Revenues / (Expenditures)	\$ (913,703)	\$ (959,637)	\$ (1,042,526)	\$ (128,823)	(12.4%)	\$ (82,889)	(8.0%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 09 Code Enforcement

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	10,834	60,000	71,700	60,867	561.8%	11,700	19.5%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	2,136	-	2,200	64	3.0%	2,200	-
Other Bond & Lease Proceeds	34	-	-	(34)	(100.0%)	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	13,004	60,000	73,900	60,896	468.3%	13,900	23.2%
Expenditures							
Salaries & Wages							
Base Pay	299,647	331,334	328,446	(28,799)	(9.6%)	2,887	0.9%
Overtime	4,623	6,627	6,569	(1,946)	(42.1%)	58	0.9%
Added Pay	20,335	8,655	8,490	11,845	58.2%	165	1.9%
Non Recurring Pay	2,609	2,609	3,158	(549)	(21.0%)	(549)	(21.0%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	327,215	349,224	346,664	(19,449)	(5.9%)	2,561	0.7%
Fringe Benefits							
Employer Payroll Taxes	22,482	25,098	24,914	(2,432)	(10.8%)	184	0.7%
Pension and Retirement	19,280	21,152	20,997	(1,716)	(8.9%)	155	0.7%
Health and Benefit Insurance	125,225	156,454	119,322	5,903	4.7%	37,132	23.7%
Total Fringe Benefits	166,987	202,704	165,232	1,755	1.1%	37,472	18.5%
Total Personnel	494,202	551,928	511,896	(17,694)	(3.6%)	40,032	7.3%
Department Expenditures							
Total Operational	611,443	655,352	627,367	(15,924)	(2.6%)	27,985	4.3%
Capital Expenditures	43,250	43,250	61,431	(18,181)	(42.0%)	(18,181)	(42.0%)
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	654,693	698,602	688,798	(34,105)	(5.2%)	9,804	1.4%
Net Revenues / (Expenditures)	\$ (641,689)	\$ (638,602)	\$ (614,898)	\$ 26,791	4.4%	\$ 23,704	3.9%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 10 Public Works

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	296,728	157,500	162,300	(134,428)	(45.3%)	4,800	3.0%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	12,500	-	-	-	(12,500)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	296,728	170,000	162,300	(134,428)	(45.3%)	(7,700)	(4.5%)
Expenditures							
Salaries & Wages							
Base Pay	390,876	519,231	452,124	(61,248)	(15.7%)	67,107	12.9%
Overtime	1,220	1,128	1,234	(14)	(1.2%)	(106)	(9.4%)
Added Pay	18,596	2,880	2,280	16,316	87.7%	600	20.8%
Non Recurring Pay	4,202	4,204	4,347	(145)	(3.5%)	(143)	(3.4%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	414,894	527,444	459,985	(45,092)	(10.9%)	67,458	12.8%
Fringe Benefits							
Employer Payroll Taxes	30,409	37,925	33,088	(2,680)	(8.8%)	4,837	12.8%
Pension and Retirement	23,680	31,689	27,608	(3,928)	(16.6%)	4,081	12.9%
Health and Benefit Insurance	89,027	83,201	89,563	(536)	(0.6%)	(6,362)	(7.6%)
Total Fringe Benefits	143,115	152,815	150,259	(7,144)	(5.0%)	2,556	1.7%
Total Personnel	558,009	680,259	610,244	(52,236)	(9.4%)	70,014	10.3%
Department Expenditures	332,808	522,243	511,554	(178,746)	(53.7%)	10,689	2.0%
Total Operational	890,817	1,202,502	1,121,798	(230,982)	(25.9%)	80,703	6.7%
Capital Expenditures	(1,353)	-	-	(1,353)	100.0%	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	889,464	1,202,502	1,121,798	(232,334)	(26.1%)	80,703	6.7%
Net Revenues / (Expenditures)	\$ (592,737)	\$ (1,032,502)	\$ (959,498)	\$ (366,762)	(38.2%)	\$ 73,003	7.6%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 11 Parks

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	32,460	138,800	138,800	106,340	327.6%	-	-
Grants and Other Cost Sharing	229,677	200,000	200,000	(29,677)	(12.9%)	-	-
Other Revenues	28,526	19,800	27,500	(1,026)	(3.6%)	7,700	38.9%
Other Bond & Lease Proceeds	-	1,200,100	100	100	-	(1,200,000)	(100.0%)
Transfers (Revenue)	-	-	100,000	100,000	-	100,000	-
Total Revenue	290,663	1,558,700	466,400	175,737	60.5%	(1,092,300)	(70.1%)
Expenditures							
Salaries & Wages							
Base Pay	447,252	430,658	605,295	(158,043)	(35.3%)	(174,637)	(40.6%)
Overtime	12,196	8,613	9,863	2,333	19.1%	(1,250)	(14.5%)
Added Pay	325,928	7,980	9,060	316,869	97.2%	(1,080)	(13.5%)
Non Recurring Pay	4,141	4,141	4,742	(601)	(14.5%)	(601)	(14.5%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	789,518	451,391	628,960	160,558	20.3%	(177,568)	(39.3%)
Fringe Benefits							
Employer Payroll Taxes	58,357	32,451	45,731	12,626	21.6%	(13,281)	(40.9%)
Pension and Retirement	28,506	27,351	31,314	(2,808)	(9.9%)	(3,963)	(14.5%)
Health and Benefit Insurance	105,439	109,445	110,051	(4,612)	(4.4%)	(605)	(0.6%)
Total Fringe Benefits	192,301	169,247	187,096	5,205	2.7%	(17,849)	(10.5%)
Total Personnel	981,819	620,638	816,056	165,763	16.9%	(195,417)	(31.5%)
Department Expenditures							
Total Operational	1,844,787	1,387,154	1,889,377	(44,589)	(2.4%)	(502,222)	(36.2%)
Capital Expenditures	1,751,112	1,650,000	1,650,000	101,112	5.8%	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	3,595,899	3,037,154	3,539,377	56,523	1.6%	(502,222)	(16.5%)
Net Revenues / (Expenditures)	\$ (3,305,236)	\$ (1,478,454)	\$ (3,072,977)	\$ 232,259	7.6%	\$ (1,594,522)	(51.9%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 12 Recreation

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	173,181	103,600	196,900	23,719	13.7%	93,300	90.1%
Grants and Other Cost Sharing	-	21,422	21,422	21,422	-	-	-
Other Revenues	404	500	400	(4)	(1.1%)	(100)	(20.0%)
Other Bond & Lease Proceeds	40,000	-	40,800	800	2.0%	40,800	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	213,586	125,522	259,522	45,936	21.5%	134,000	106.8%
Expenditures							
Salaries & Wages							
Base Pay	526,230	526,004	539,320	(13,090)	(2.5%)	(13,316)	(2.5%)
Overtime	-	-	-	-	-	-	-
Added Pay	11,577	3,660	3,660	7,917	68.4%	-	-
Non Recurring Pay	2,886	1,443	1,566	1,320	45.7%	(124)	(8.6%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	540,693	531,107	544,546	(3,853)	(0.7%)	(13,440)	(2.5%)
Fringe Benefits							
Employer Payroll Taxes	30,367	39,943	40,912	(10,545)	(34.7%)	(969)	(2.4%)
Pension and Retirement	9,552	9,331	10,110	(557)	(5.8%)	(779)	(8.3%)
Health and Benefit Insurance	28,505	28,736	28,784	(279)	(1.0%)	(48)	(0.2%)
Total Fringe Benefits	68,423	78,010	79,805	(11,382)	(16.6%)	(1,796)	(2.3%)
Total Personnel	609,116	609,116	624,352	(15,236)	(2.5%)	(15,236)	(2.5%)
Department Expenditures							
Total Operational	810,520	810,520	829,508	(18,988)	(2.3%)	(18,988)	(2.3%)
Capital Expenditures	10,759	-	-	10,759	100.0%	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	821,279	810,520	829,508	(8,229)	(1.0%)	(18,988)	(2.3%)
Net Revenues / (Expenditures)	\$ (607,694)	\$ (684,998)	\$ (569,986)	\$ 37,708	6.6%	\$ 115,012	20.2%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 13 Building Maintenance

	2020-21		2021-22				
	9+3	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21			Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	11,857	2,100	12,100	243	2.1%	10,000	476.2%
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	11,857	2,100	12,100	243	2.1%	10,000	476.2%
Expenditures							
Salaries & Wages							
Base Pay	303,189	285,094	313,148	(9,959)	(3.3%)	(28,054)	(9.8%)
Overtime	13,781	8,553	8,466	5,316	38.6%	87	1.0%
Added Pay	21,612	8,880	6,660	14,953	69.2%	2,220	25.0%
Non Recurring Pay	2,741	2,741	2,713	28	1.0%	28	1.0%
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	341,325	305,268	330,987	10,337	3.0%	(25,719)	(8.4%)
Fringe Benefits							
Employer Payroll Taxes	24,350	21,952	23,905	446	1.8%	(1,953)	(8.9%)
Pension and Retirement	20,452	18,316	18,510	1,942	9.5%	(194)	(1.1%)
Health and Benefit Insurance	104,004	116,398	98,905	5,099	4.9%	17,493	15.0%
Total Fringe Benefits	148,806	156,666	141,319	7,487	5.0%	15,346	9.8%
Total Personnel	490,131	461,934	472,307	17,824	3.6%	(10,372)	(2.2%)
Department Expenditures							
Total Operational	1,074,599	1,001,115	1,008,260	66,340	6.2%	(7,144)	(0.7%)
Capital Expenditures	59,478	-	75,000	(15,522)	(26.1%)	(75,000)	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	1,134,077	1,001,115	1,083,260	50,817	4.5%	(82,144)	(8.2%)
Net Revenues / (Expenditures)	\$ (1,122,220)	\$ (999,015)	\$ (1,071,160)	\$ 51,061	4.8%	\$ (72,144)	(6.7%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 14 Cemetery

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	102,800	102,800	160,700	57,900	56.3%	57,900	56.3%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	500	500	500	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	103,300	103,300	161,200	57,900	56.1%	57,900	56.1%
Expenditures							
Salaries & Wages							
Base Pay	96,887	100,221	154,918	(58,032)	(59.9%)	(54,698)	(54.6%)
Overtime	11,118	3,007	4,648	6,470	58.2%	(1,641)	(54.6%)
Added Pay	6,193	2,640	3,960	2,233	36.1%	(1,320)	(50.0%)
Non Recurring Pay	1,030	964	1,490	(459)	(44.6%)	(526)	(54.6%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	115,228	106,831	165,016	(49,788)	(43.2%)	(58,185)	(54.5%)
Fringe Benefits							
Employer Payroll Taxes	8,533	7,682	11,866	(3,334)	(39.1%)	(4,184)	(54.5%)
Pension and Retirement	6,928	6,410	9,901	(2,973)	(42.9%)	(3,491)	(54.5%)
Health and Benefit Insurance	19,514	20,173	30,287	(10,773)	(55.2%)	(10,115)	(50.1%)
Total Fringe Benefits	34,975	34,265	52,055	(17,080)	(48.8%)	(17,790)	(51.9%)
Total Personnel	150,203	141,096	217,070	(66,867)	(44.5%)	(75,974)	(53.8%)
Department Expenditures							
Total Operational	208,396	199,289	289,775	(81,379)	(39.1%)	(90,486)	(45.4%)
Capital Expenditures	150,000	150,000	100,000	50,000	33.3%	50,000	33.3%
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	358,396	349,289	389,775	(31,379)	(8.8%)	(40,486)	(11.6%)
Net Revenues / (Expenditures)	\$ (255,096)	\$ (245,989)	\$ (228,575)	\$ 26,521	11.6%	\$ 17,414	7.6%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 15 Streets

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	\$ 1,540,644	\$ 409,800	\$ 1,571,400	\$ 30,756	2.0%	\$ 1,161,600	283.5%
Sales Taxes	2,277,289	1,426,000	2,391,000	113,711	5.0%	965,000	67.7%
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	6,409,000	5,317,044	5,879,407	(529,593)	(8.3%)	562,363	10.6%
Fees, Permits and Licenses	175,639	50,000	50,000	(125,639)	(71.5%)	-	-
Grants and Other Cost Sharing	3,120,000	6,264,000	7,415,000	4,295,000	137.7%	1,151,000	18.4%
Other Revenues	129,253	49,300	142,300	13,047	10.1%	93,000	188.6%
Other Bond & Lease Proceeds	5,930,000	5,340,000	6,260,000	330,000	5.6%	920,000	17.2%
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	19,581,825	18,856,144	23,709,107	4,127,282	21.1%	4,852,963	25.7%
Expenditures							
Salaries & Wages							
Base Pay	1,419,964	1,507,026	1,646,306	(226,341)	(15.9%)	(139,279)	(9.2%)
Overtime	76,213	42,447	45,922	30,292	39.7%	(3,475)	(8.2%)
Added Pay	156,161	34,560	35,527	120,634	77.2%	(967)	(2.8%)
Non Recurring Pay	21,366	14,491	15,638	5,729	26.8%	(1,147)	(7.9%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	1,673,705	1,598,524	1,743,392	(69,687)	(4.2%)	(144,868)	(9.1%)
Fringe Benefits							
Employer Payroll Taxes	115,086	114,950	125,459	(10,374)	(9.0%)	(10,509)	(9.1%)
Pension and Retirement	97,223	95,911	103,403	(6,181)	(6.4%)	(7,492)	(7.8%)
Health and Benefit Insurance	491,399	560,827	536,137	(44,738)	(9.1%)	24,690	4.4%
Total Fringe Benefits	703,707	771,688	765,000	(61,293)	(8.7%)	6,688	0.9%
Total Personnel	2,377,412	2,370,212	2,508,392	(130,980)	(5.5%)	(138,180)	(5.8%)
Department Expenditures	2,718,678	2,715,811	2,900,651	(181,973)	(6.7%)	(184,840)	(6.8%)
Total Operational	5,096,090	5,086,023	5,409,043	(312,953)	(6.1%)	(323,020)	(6.4%)
Capital Expenditures	8,610,260	14,265,000	18,460,000	(9,849,740)	(114.4%)	(4,195,000)	(29.4%)
Other Expenditures							
Capital Leases	269,804	269,804	226,946	42,858	15.9%	42,858	15.9%
All Other	622,233	622,233	802,935	(180,703)	(29.0%)	(180,703)	(29.0%)
Total Other Expenditures	892,037	892,037	1,029,881	(137,845)	(15.5%)	(137,845)	(15.5%)
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	14,598,387	20,243,059	24,898,924	(10,300,538)	(70.6%)	(4,655,865)	(23.0%)
Net Revenues / (Expenditures)	\$ 4,983,438	\$ (1,386,915)	\$ (1,189,817)	\$ (6,173,255)	518.8%	\$ 197,098	16.6%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 16 Fleet Maintenance

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	4,566	5,100	4,700	134	2.9%	(400)	(7.8%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	4,566	5,100	4,700	134	2.9%	(400)	(7.8%)
Expenditures							
Salaries & Wages							
Base Pay	802,122	838,734	1,025,847	(223,725)	(27.9%)	(187,114)	(22.3%)
Overtime	7,616	15,003	18,628	(11,013)	(144.6%)	(3,625)	(24.2%)
Added Pay	53,137	17,401	23,940	29,197	54.9%	(6,540)	(37.6%)
Non Recurring Pay	12,735	8,065	9,864	2,871	22.5%	(1,799)	(22.3%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	875,610	879,202	1,078,280	(202,670)	(23.1%)	(199,078)	(22.6%)
Fringe Benefits							
Employer Payroll Taxes	63,964	63,817	78,138	(14,174)	(22.2%)	(14,321)	(22.4%)
Pension and Retirement	54,080	52,941	65,504	(11,424)	(21.1%)	(12,563)	(23.7%)
Health and Benefit Insurance	248,005	265,772	327,849	(79,843)	(32.2%)	(62,076)	(23.4%)
Total Fringe Benefits	366,050	382,531	471,491	(105,442)	(28.8%)	(88,960)	(23.3%)
Total Personnel	1,241,659	1,261,733	1,549,771	(308,112)	(24.8%)	(288,038)	(22.8%)
Department Expenditures							
Total Operational	1,459,807	1,479,881	1,770,364	(310,557)	(21.3%)	(290,483)	(19.6%)
Capital Expenditures	-	-	175,000	(175,000)	-	(175,000)	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	1,459,807	1,479,881	1,945,364	(485,557)	(33.3%)	(465,483)	(31.5%)
Net Revenues / (Expenditures)	\$ (1,455,241)	\$ (1,474,781)	\$ (1,940,664)	\$ (485,423)	(25.0%)	\$ (465,883)	(24.0%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 17 Solid Waste

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	4,009,709	3,608,730	4,109,952	100,243	2.5%	501,222	13.9%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	2,200	-	-	-	(2,200)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	4,009,709	3,610,930	4,109,952	100,243	2.5%	499,022	13.8%
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	3,949,527	3,566,680	4,086,731	(137,204)	(3.5%)	(520,051)	(14.6%)
Total Operational	3,949,527	3,566,680	4,086,731	(137,204)	(3.5%)	(520,051)	(14.6%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	1,000	1,000	2,000	(1,000)	(100.0%)	(1,000)	(100.0%)
Total Expenditures	3,950,527	3,567,680	4,088,731	(138,204)	(3.5%)	(521,051)	(14.6%)
Net Revenues / (Expenditures)	\$ 59,182	\$ 43,250	\$ 21,221	\$ (37,961)	(178.9%)	\$ (22,029)	(103.8%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 18 Planning

	2020-21		2021-22				
	9+3	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21			Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	266,445	114,600	194,000	(72,445)	(27.2%)	79,400	69.3%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	25	100	-	(25)	(100.0%)	(100)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	266,470	114,700	194,000	(72,470)	(27.2%)	79,300	69.1%
Expenditures							
Salaries & Wages							
Base Pay	179,241	186,386	197,758	(18,517)	(10.3%)	(11,372)	(6.1%)
Overtime	652	1,934	2,080	(1,427)	(218.8%)	(145)	(7.5%)
Added Pay	9,640	1,680	2,100	7,540	78.2%	(420)	(25.0%)
Non Recurring Pay	1,792	1,792	1,902	(109)	(6.1%)	(109)	(6.1%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	191,326	191,792	203,839	(12,513)	(6.5%)	(12,047)	(6.3%)
Fringe Benefits							
Employer Payroll Taxes	13,651	13,798	14,664	(1,013)	(7.4%)	(866)	(6.3%)
Pension and Retirement	11,432	11,575	12,302	(870)	(7.6%)	(727)	(6.3%)
Health and Benefit Insurance	48,996	27,355	27,356	21,640	44.2%	(1)	(0.0%)
Total Fringe Benefits	74,079	52,728	54,322	19,757	26.7%	(1,594)	(3.0%)
Total Personnel	265,405	244,520	258,161	7,244	2.7%	(13,641)	(5.6%)
Department Expenditures							
Total Operational	619,256	293,047	401,164	218,092	35.2%	(108,117)	(36.9%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	619,256	293,047	401,164	218,092	35.2%	(108,117)	(36.9%)
Net Revenues / (Expenditures)	\$ (352,786)	\$ (178,347)	\$ (207,164)	\$ 145,622	70.3%	\$ (28,817)	(13.9%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 19 Permits

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	1,164,723	976,100	1,043,140	(121,583)	(10.4%)	67,040	6.9%
Grants and Other Cost Sharing	898,043	-	-	(898,043)	(100.0%)	-	-
Other Revenues	69,017	1,800	21,700	(47,317)	(68.6%)	19,900	> 999.9%
Other Bond & Lease Proceeds	6,879	-	7,000	121	1.8%	7,000	-
Transfers (Revenue)	10,000	10,000	10,000	-	-	-	-
Total Revenue	2,148,663	987,900	1,081,840	(1,066,823)	(49.7%)	93,940	9.5%
Expenditures							
Salaries & Wages							
Base Pay	449,674	477,609	553,723	(104,050)	(23.1%)	(76,115)	(15.9%)
Overtime	7,564	7,735	9,185	(1,620)	(21.4%)	(1,449)	(18.7%)
Added Pay	29,843	9,840	10,692	19,151	64.2%	(852)	(8.7%)
Non Recurring Pay	616	616	630	(14)	(2.4%)	(14)	(2.4%)
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	487,696	495,800	574,230	(86,534)	(17.7%)	(78,430)	(15.8%)
Fringe Benefits							
Employer Payroll Taxes	35,213	35,632	41,120	(5,907)	(16.8%)	(5,488)	(15.4%)
Pension and Retirement	29,222	30,231	37,220	(7,998)	(27.4%)	(6,989)	(23.1%)
Health and Benefit Insurance	140,968	204,058	197,153	(56,185)	(39.9%)	6,905	3.4%
Total Fringe Benefits	205,403	269,921	275,493	(70,090)	(34.1%)	(5,572)	(2.1%)
Total Personnel	693,099	765,721	849,723	(156,624)	(22.6%)	(84,002)	(11.0%)
Department Expenditures							
Total Operational	1,103,623	914,324	1,000,840	102,783	9.3%	(86,516)	(9.5%)
Capital Expenditures	40,172	-	81,000	(40,828)	(101.6%)	(81,000)	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	1,143,795	914,324	1,081,840	61,955	5.4%	(167,516)	(18.3%)
Net Revenues / (Expenditures)	\$ 1,004,868	\$ 73,576	-	\$ (1,004,868)	-	\$ (73,576)	-

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
Department: 20 Police Department

	2020-21		2021-22				
	9+3 Forecast 2020-21	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
				Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	41,436	36,300	16,000	(25,436)	(61.4%)	(20,300)	(55.9%)
Grants and Other Cost Sharing	50,200	45,500	45,500	(4,700)	(9.4%)	-	-
Other Revenues	84,522	34,100	64,300	(20,222)	(23.9%)	30,200	88.6%
Other Bond & Lease Proceeds	0	-	-	(0)	(100.0%)	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	176,159	115,900	125,800	(50,359)	(28.6%)	9,900	8.5%
Expenditures							
Salaries & Wages							
Base Pay	7,840,838	7,869,258	8,597,114	(756,276)	(9.6%)	(727,855)	(9.2%)
Overtime	126,481	125,000	125,000	1,481	1.2%	-	-
Added Pay	943,524	806,836	821,627	121,897	12.9%	(14,791)	(1.8%)
Non Recurring Pay	269,236	145,848	158,943	110,292	41.0%	(13,096)	(9.0%)
Reimbursements	(48,959)	(75,000)	(75,000)	26,041	(53.2%)	-	-
Total Salaries & Wages	9,131,119	8,871,942	9,627,684	(496,565)	(5.4%)	(755,742)	(8.5%)
Fringe Benefits							
Employer Payroll Taxes	669,036	678,704	736,518	(67,482)	(10.1%)	(57,814)	(8.5%)
Pension and Retirement	1,190,255	1,212,158	1,494,971	(304,716)	(25.6%)	(282,813)	(23.3%)
Health and Benefit Insurance	1,611,868	1,787,317	1,790,276	(178,409)	(11.1%)	(2,960)	(0.2%)
Total Fringe Benefits	3,471,159	3,678,178	4,021,765	(550,607)	(15.9%)	(343,587)	(9.3%)
Total Personnel	12,602,278	12,550,120	13,649,449	(1,047,171)	(8.3%)	(1,099,329)	(8.8%)
Department Expenditures							
Total Operational	14,167,221	14,106,149	15,408,178	(1,240,958)	(8.8%)	(1,302,029)	(9.2%)
Capital Expenditures	329,390	450,000	875,000	(545,610)	(165.6%)	(425,000)	(94.4%)
Other Expenditures							
Capital Leases	66,138	66,138	-	66,138	100.0%	66,138	100.0%
All Other	-	-	-	-	-	-	-
Total Other Expenditures	66,138	66,138	-	66,138	100.0%	66,138	100.0%
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	14,562,749	14,622,287	16,283,178	(1,720,430)	(11.8%)	(1,660,891)	(11.4%)
Net Revenues / (Expenditures)	\$ (14,386,589)	\$ (14,506,387)	\$ (16,157,378)	\$ (1,770,789)	(11.0%)	\$ (1,650,991)	(10.2%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 21 Fire & Rescue

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	1,179,992	1,863,039	1,943,239	763,247	64.7%	80,200	4.3%
Grants and Other Cost Sharing	2,000	2,000	2,000	-	-	-	-
Other Revenues	31,834	19,200	26,500	(5,334)	(16.8%)	7,300	38.0%
Other Bond & Lease Proceeds	-	1,400,000	-	-	-	(1,400,000)	(100.0%)
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	1,213,826	3,284,239	1,971,739	757,913	62.4%	(1,312,500)	(40.0%)
Expenditures							
Salaries & Wages							
Base Pay	5,541,412	5,422,174	5,673,959	(132,547)	(2.4%)	(251,785)	(4.6%)
Overtime	260,175	41,969	97,666	162,509	62.5%	(55,698)	(132.7%)
Added Pay	423,126	476,277	483,775	(60,649)	(14.3%)	(7,498)	(1.6%)
Non Recurring Pay	24,507	47,446	54,339	(29,833)	(121.7%)	(6,893)	(14.5%)
Reimbursements	(267,367)	(320,000)	(320,000)	52,633	(19.7%)	-	-
Total Salaries & Wages	5,981,853	5,667,866	5,989,739	(7,887)	(0.1%)	(321,874)	(5.7%)
Fringe Benefits							
Employer Payroll Taxes	464,722	458,085	482,679	(17,957)	(3.9%)	(24,593)	(5.4%)
Pension and Retirement	694,405	631,160	723,971	(29,565)	(4.3%)	(92,811)	(14.7%)
Health and Benefit Insurance	1,125,731	1,115,802	1,181,415	(55,684)	(4.9%)	(65,613)	(5.9%)
Total Fringe Benefits	2,284,858	2,205,048	2,388,065	(103,207)	(4.5%)	(183,017)	(8.3%)
Total Personnel	8,266,711	7,872,914	8,377,804	(111,093)	(1.3%)	(504,890)	(6.4%)
Department Expenditures							
Total Operational	9,704,283	8,990,967	9,735,479	(31,196)	(0.3%)	(744,512)	(8.3%)
Capital Expenditures	1,312,936	1,510,000	1,065,000	247,936	18.9%	445,000	29.5%
Other Expenditures							
Capital Leases	-	80,000	-	-	-	80,000	100.0%
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	80,000	-	-	-	80,000	100.0%
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	11,017,220	10,580,967	10,800,479	216,741	2.0%	(219,512)	(2.1%)
Net Revenues / (Expenditures)	\$ (9,803,394)	\$ (7,296,728)	\$ (8,828,740)	\$ 974,654	11.0%	\$ (1,532,012)	(17.4%)

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 23 Non Departmental

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	\$ 19,325,842	\$ 20,237,678	\$ 21,231,050	\$ 1,905,208	9.9%	\$ 993,372	4.9%
Sales Taxes	12,482,064	11,325,300	13,106,100	624,036	5.0%	1,780,800	15.7%
Occupation/Business Taxes	1,279,745	2,080,183	2,021,183	741,438	57.9%	(59,000)	(2.8%)
State Aid/Payments	3,943,155	2,900,352	1,412,441	(2,530,715)	(64.2%)	(1,487,912)	(51.3%)
Fees, Permits and Licenses	197,636	128,500	138,200	(59,436)	(30.1%)	9,700	7.5%
Grants and Other Cost Sharing	4,402,455	-	-	(4,402,455)	(100.0%)	-	-
Other Revenues	112,682	351,900	116,000	3,318	2.9%	(235,900)	(67.0%)
Other Bond & Lease Proceeds	17,209	20,800	17,200	(9)	(0.1%)	(3,600)	(17.3%)
Transfers (Revenue)	407,000	407,000	435,000	28,000	6.9%	28,000	6.9%
Total Revenue	42,167,789	37,451,714	38,477,174	(3,690,616)	(8.8%)	1,025,460	2.7%
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	(122)	-	-	(122)	100.0%	-	-
Reimbursements	(3,660,960)	-	-	(3,660,960)	100.0%	-	-
Total Salaries & Wages	(3,661,083)	-	-	(3,661,083)	100.0%	-	-
Fringe Benefits							
Employer Payroll Taxes	(0)	-	-	(0)	100.0%	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	(253,075)	-	-	(253,075)	100.0%	-	-
Total Fringe Benefits	(253,076)	-	-	(253,076)	100.0%	-	-
Total Personnel	(3,914,158)	-	-	(3,914,158)	100.0%	-	-
Department Expenditures	1,503,727	2,178,797	1,736,648	(232,920)	(15.5%)	442,149	20.3%
Total Operational	(2,410,431)	2,178,797	1,736,648	(4,147,079)	172.0%	442,149	20.3%
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	176,145	204,790	216,217	(40,071)	(22.7%)	(11,427)	(5.6%)
Total Other Expenditures	176,145	204,790	216,217	(40,071)	(22.7%)	(11,427)	(5.6%)
Transfers (Expenditures)	626,977	339,877	(311,091)	938,068	149.6%	650,968	191.5%
Total Expenditures	(1,607,308)	2,723,464	1,641,774	(3,249,082)	202.1%	1,081,690	39.7%
Net Revenues / (Expenditures)	\$ 43,775,098	\$ 34,728,250	\$ 36,835,400	\$ (6,939,698)	(18.8%)	\$ 2,107,150	5.7%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget
[Department: 24 IT](#)

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	727	19,400	-	(727)	(100.0%)	(19,400)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	727	19,400	-	(727)	(100.0%)	(19,400)	(100.0%)
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	526,786	461,001	494,837	31,949	6.1%	(33,836)	(7.3%)
Total Operational	526,786	461,001	494,837	31,949	6.1%	(33,836)	(7.3%)
Capital Expenditures	170,000	202,583	-	170,000	100.0%	202,583	100.0%
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	696,786	663,584	494,837	201,949	29.0%	168,747	25.4%
Net Revenues / (Expenditures)	\$ (696,059)	\$ (644,184)	\$ (494,837)	\$ 201,222	40.7%	\$ 149,347	30.2%

City of Bellevue
Statement of Revenues and Expenditures by Department
2021-22 Budget

Department: 25 City Council

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	-	-	-	-	-	-	-
Expenditures							
Salaries & Wages							
Base Pay	93,738	95,062	103,613	(9,875)	(10.5%)	(8,551)	(9.0%)
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	93,738	95,062	103,613	(9,875)	(10.5%)	(8,551)	(9.0%)
Fringe Benefits							
Employer Payroll Taxes	7,171	7,272	7,926	(756)	(10.5%)	(654)	(9.0%)
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	7,171	7,272	7,926	(756)	(10.5%)	(654)	(9.0%)
Total Personnel	100,909	102,335	111,540	(10,631)	(10.5%)	(9,205)	(9.0%)
Department Expenditures	15,221	13,621	15,255	(34)	(0.2%)	(1,634)	(12.0%)
Total Operational	116,130	115,956	126,795	(10,665)	(9.2%)	(10,839)	(9.3%)
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
Total Other Expenditures	-	-	-	-	-	-	-
Transfers (Expenditures)	-	-	-	-	-	-	-
Total Expenditures	116,130	115,956	126,795	(10,665)	(9.2%)	(10,839)	(9.3%)
Net Revenues / (Expenditures)	\$ (116,130)	\$ (115,956)	\$ (126,795)	\$ (10,665)	(8.4%)	\$ (10,839)	(8.5%)

City of Bellevue
Statement of Revenues and Expenditures by Fund
2021-22 Budget

[Bellevue City Municipal Building Corporation Departments in General Fund](#)

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
Revenues							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	431,961	522,569	401,372	(30,589)	(7.1%)	(121,197)	(23.2%)
Grants and Other Cost Sharing	-	-	575,000	575,000	-	575,000	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
Total Revenue	431,961	522,569	976,372	544,411	126.0%	453,803	86.8%
Expenditures							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
Total Salaries & Wages	-	-	-	-	-	-	-
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
Total Fringe Benefits	-	-	-	-	-	-	-
Total Personnel	-	-	-	-	-	-	-
Department Expenditures	95,902	81,446	110,022	(14,121)	(14.7%)	(28,576)	(35.1%)
Total Operational	95,902	81,446	110,022	(14,121)	(14.7%)	(28,576)	(35.1%)
Capital Expenditures	-	-	575,000	(575,000)	-	(575,000)	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	31,534	31,000	31,004	530	1.7%	(4)	(0.0%)
Total Other Expenditures	31,534	31,000	31,004	530	1.7%	(4)	(0.0%)
Transfers (Expenditures)	123,023	410,123	311,091	(188,068)	(152.9%)	99,032	24.1%
Total Expenditures	250,459	522,569	1,027,117.23	(776,659)	(310.1%)	(504,548)	(96.6%)
Net Revenues / (Expenditures)	\$ 181,503	-	\$ (50,745)	\$ (232,247)	457.7%	\$ (50,745)	100.0%

City of Bellevue in Sarpy County
 Budget for Fiscal Year Ending September 30, 2022 - Preliminary Draft
 Changes from Prior Year Adopted Budget - State Budget Form

Line No.	Beginning Balances, Receipts, & Transfers	Adopted Budget 2020 - 2021	Proposed Budget 2021 - 2022	Change	Explanation
1	Net Cash Balance	\$ 23,264,179.96	\$ 35,288,777.54	\$ 10,024,597.58	ARPA Funds of \$4.1 million plus underspending on projects
2	Investments			\$ -	
3	County Treasurer's Balance	\$ 250,000.00	\$ 250,000.00	\$ -	
4	Beginning Balance Proprietary Function Funds (Only If Page 6 is Used)	\$ -	\$ -	\$ -	
5	Subtotal of Beginning Balances (Lines 1 thru 4)	\$ 23,514,179.96	\$ 35,538,777.54	\$ 10,024,597.58	
6	Personal and Real Property Taxes (Columns 1 and 2 - See Preparation Guidelines)	\$ 26,452,264.42	\$ 27,656,200.00	\$ 1,203,935.58	4.6% increase due to valuation change (not levy change)
7	Federal Receipts	\$ 50,000.00	\$ 50,000.00	\$ -	No Change in Budgeted Amount.
8	State Receipts: Motor Vehicle Pro-Rate	\$ 48,000.00	\$ 77,200.00	\$ 29,200.00	Estimated 60% Increase due to post-COVID Recovery & Rebound.
9		\$ -	\$ -	\$ -	No Change.
10	State Receipts: Highway Allocation and Incentives	\$ 5,309,044.00	\$ 5,871,407.00	\$ 562,363.00	Change from State of Nebraska.
11	State Receipts: Motor Vehicle Fee	\$ 417,800.00	\$ 491,600.00	\$ 73,800.00	Estimated 18% Increase due to post-COVID Recovery & Rebound.
12	State Receipts: State Aid				
13	State Receipts: Municipal Equalization Aid	\$ 2,900,352.49	\$ 1,412,440.62	\$ (1,487,911.87)	Change from State of Nebraska.
14	State Receipts: Other	\$ 13,352.00	\$ 13,352.00	\$ -	No Change.
15	State Receipts: Property Tax Credit				
16	Local Receipts: Nameplate Capacity Tax	\$ -	\$ -	\$ -	No Change.
17	Local Receipts: Motor Vehicle Tax	\$ 1,102,000.00	\$ 2,146,600.00	\$ 1,044,600.00	Estimated 95% Increase due to post-COVID Recovery & Rebound.
18	Local Receipts: Local Option Sales Tax	\$ 12,751,300.00	\$ 15,497,100.00	\$ 2,745,800.00	Estimated 22% Increase due to post-COVID Recovery & Rebound.
19	Local Receipts: In Lieu of Tax	\$ 646,000.00	\$ 65,000.00	\$ (581,000.00)	Reduction due to Sarpy adoption of State Auditor interpretation of distribution.
20	Local Receipts: Other	\$ 48,454,304.63	\$ 49,110,627.62	\$ 656,322.99	Estimated Increases in all other fees, charge-for-services, etc.
21	Transfers In of Surplus Fees	\$ -	\$ -	\$ -	No Change.
22	Transfers In Other Than Surplus Fees	\$ 1,168,000.00	\$ 1,297,000.00	\$ 129,000.00	Increase in Inter-Fund Overhead Allocations.
23	Proprietary Function Funds (Only if Page 6 is Used)	\$ -	\$ -	\$ -	No Change.
24	Total Resources Available (Lines 5 thru 23)	\$ 122,826,597.50	\$ 139,227,304.78	\$ 16,400,707.28	4.5% in Revenue Growth; the Rest is Beginning Cash Increase.
25	Total Disbursements & Transfers (Line 22, Pg 3, 4 & 5)	\$ 97,312,417.54	\$ 107,438,527.24	\$ 10,126,109.70	10% in Expenditure Growth; Using some Built-Up Cash Reserves.
26	Balance Forward/Cash Reserve (Line 24 MINUS Line 25)	\$ 25,514,179.96	\$ 31,788,777.54	\$ 6,274,597.58	Drawing Down FORECASTED Ending Cash Balance 10%; Higher than last year's budgeted cash balance.
27	Cash Reserve Percentage	\$ 0.36	\$ 0.43	\$ 0.06	Cash Reserve Percentage of Operating Budget Higher
PROPERTY TAX RECAP	Tax from Line 6	\$ 26,452,264.42	\$ 27,656,200.00	\$ 1,203,935.58	4.6% increase due to valuation change (not rate change)
	County Treasurer Commission at 1%	\$ 264,523.00	\$ 276,562.00	\$ 12,039.00	Sarpy Treasurer Fee Comensurate with Tax Increase
	Total Property Tax Requirement	\$ 26,716,787.42	\$ 27,932,762.00	\$ 1,215,974.58	4.6% increase due to valuation change (not rate change)

ORDINANCE NO. 4049

AN ORDINANCE TO ADOPT THE BUDGET STATEMENT TO BE TERMED THE ANNUAL APPROPRIATIONS BILL; TO APPROPRIATE SUMS FOR NECESSARY EXPENSES AND LIABILITIES; TO PROVIDE FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That after complying with all procedures required by law, the budget, Exhibit A, as presented and set forth in the budget statement, is hereby approved as the Annual Appropriations Bill for the fiscal year beginning October 1, 2021, through September 30, 2022. All sums of money contained in the budget statement are hereby appropriated for the necessary expenses and liabilities of the City of Bellevue. A copy of the budget document, Exhibit A, shall be forwarded as provided by law to the Auditor of Public Accounts, State Capitol, Lincoln, Nebraska, and to the County Clerk of Sarpy County, Nebraska, for use by the levying authority.

Section 2. This ordinance shall take effect and be in full force from and after its passage, approval, and publication as required by law.

PASSED AND ADOPTED THIS 7th day of September, 2021.

APPROVED AS TO FORM:

City Attorney

Rusty Hike, Mayor

ATTEST:

Susan Kluthe, City Clerk

<u>First Reading:</u>	<u>08/03/2021</u>
<u>Second Reading:</u>	<u>08/17/2021</u>
<u>Special Budget Hearing:</u>	<u>08/31/2021</u>
<u>Third Reading:</u>	<u>09/07/2021</u>

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

12d. and 12d1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Budget Task Force	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Administration's Proposed 2021-2022 Budget (Fiscal Year Ending September 30, 2022).

SYNOPSIS/BACKGROUND:

This budget proposes appropriating expenditures of \$107.4 million in fiscal year 2021-22. This is an increase of \$10.1 million from the 2020-21 budgeted expenditures (due primarily to the increased cost of city services).

This budget provides funding for the City's operations and capital improvements. The General Fund, Community Betterment Fund and Debt Service Fund are budgeted using existing cash reserves and new revenues.

2021-2022 Budgeted Revenues of \$103,688,527.24 and Expenditures of \$107,438,527.24. Cash reserves decrease by \$3,750,000.00.

FISCAL IMPACT: BUDGETED FUNDS?: GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: COUNTER-PARTY: INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED:

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Open the public hearing during this 2nd reading on August 17, 2021.
A special public hearing will be held August 31, 2021.
Vote on budget and additional 1% restricted funds at the September 7, 2021 meeting along with the tax request resolution

ATTACHMENTS:

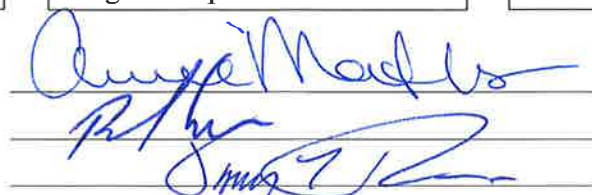
1. <input type="text" value="Draft Budget Ordinance"/>	2. <input type="text" value="Draft Resolution - Setting Tax Request"/>	3. <input type="text" value="State Budget Forms"/>
4. <input type="text" value="Summary Budget Data"/>	5. <input type="text" value="Budget Comparison"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



RESOLUTION NO. 2021-28

WHEREAS, Nebraska Revised Statutes Section 77-1601.02 provides that the property tax request for the prior year shall be the property tax request for the current year for purposes of the levy set by the County Board of Equalization unless the Governing Body of the City of Bellevue passes by a majority vote a resolution or ordinance setting the tax request at a different amount;

WHEREAS, a special public hearing was held as required by law to hear and consider comments concerning the property tax request; and

WHEREAS, it is in the best interests of the City of Bellevue that the property tax request for the current year be a different amount than the property tax request for the prior year.

NOW THEREFORE, the Governing Body of the City of Bellevue, Nebraska, by a majority vote, resolves that:

1. The 2021-2022 property tax request be set at:

General Fund	\$20,338,612.00
Bond Fund	\$ 7,594,150.00
Total Property Tax Request	\$27,932,762.00

2. The total assessed value of property differs from last year's total assessed value by 4.66 percent.

3. The tax rate which would levy the same amount of property taxes as last year, when multiplied by the new total assessed value of property would be 0.583448 per \$100 of assessed value.

4. The City of Bellevue proposes to adopt a property tax request that will cause its tax rate to be 0.610003 per \$100 of assessed value.

5. Based on the proposed property tax request and changes in other revenue, the total operating budget of the City of Bellevue will increase last year's budget by 10.41 percent.

6. A copy of this resolution be certified and forwarded to the County Clerk on or before October 13, 2021.

Motion by _____, seconded by _____ to adopt Resolution #2021-28.

Voting yes were:

Voting no were:

PASSED AND APPROVED this 7th day of September, 2021.

Rusty Hike, Mayor

ATTEST:

Susan Kluthe, City Clerk

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

13a.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: City Clerk		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Amending Section 12-57 through 12-85 of the Bellevue Municipal Code pertaining to fireworks by amending 12-61 and 12-62, deleting 12-63, and adding new section on Special Fireworks Display Application.

SYNOPSIS/BACKGROUND:

Follow up after previous update to Fireworks Ordinance pertaining to structures, screening and adding section on Special Fireworks Applications, and corrections throughout the ordinance. A red-lined version is attached showing the changes.

FISCAL IMPACT: BUDGETED FUNDS?: GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: COUNTER-PARTY: INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED:

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Approve Ordinance No. 4050 amending Section 12-57 through 12-85 of the Bellevue Municipal Code pertaining to fireworks.

ATTACHMENTS:

1. <input type="text" value="Red-lined Copy Ord. 4050"/>	2. <input type="text" value="Ord. 4050 Clean copy"/>	3. <input type="text"/>
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



ORDINANCE NO.

AN ORDINANCE TO AMEND SECTION 12-57 THROUGH 12-85, OF THE BELLEVUE MUNICIPAL CODE PERTAINING TO FIREWORKS, TO REPEAL ALL PREVIOUS VERSIONS OF THE SAME; TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM; AND TO PROVIDE AN EFFECTIVE DATE OF THIS ORDINANCE.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That Sections 12-57 through 12-85 of the Bellevue Municipal Code are hereby amended to read as follows:

§ 12-57 DEFINITIONS.

(A) For the purposes of this article, the words CONSUMER FIREWORKS shall mean only sparklers, Vesuvius fountains, spray fountains, torches, color fire cones, star and comet-type color aerial shells without explosive charge for the purpose of making noise, lady fingers, not to exceed seven eighths (7/8) of an inch in length or one-eighth (1/8) inch in diameter, total pyrotechnic composition not to exceed one-half (1/2) grain in each weight, color wheels and any other fireworks approved under the provisions of Neb. RS§ 28-1241, ~~(6)(a)~~ as may be amended.

(B) The term FLYING LANTERNS shall mean any device that requires a flame which produces heated air trapped in a balloon-type covering allowing the device to float in the air. FLYING LANTERNS shall not include hot-air balloons used for transporting persons.

§ 12-58 EXCEPTION.

The provisions of this article shall not apply to the discharge of any fireworks for purposes or under the auspices of any governmental subdivision.

§ 12-59 FIREWORKS RESTRICTED.

No person shall possess, sell, offer for sale, bring into the City or discharge any flying lanterns or pyrotechnics, commonly known as fireworks, other than permissible-consumer fireworks, as defined by Section 12-57 of this Codes. No person shall discharge any flying lanterns or fireworks within an area less than 100 feet from any structure used for the exhibition or sale of fireworks.

§ 12-60 SALE, DISTRIBUTION, STORAGE AND DISCHARGE OF FIREWORKS RESTRICTED; DEFINITIONS.

(A) No person shall sell, hold for sale, offer for sale, or distribute or deliver fireworks in the City as a distributor, jobber or retailer (as such terms are defined by the laws of the State, as amended from time to time) unless licensed by the City for such purposes; provided that such licensee shall at all times comply with sections 12-60 through 12-100 and with any applicable laws, regulations and rules of the State, as amended from time to time.

(B)(1) No fireworks may be sold at retail in this City except, daily, from 8:00 a.m. until 10:00 p.m., June 25 through July 3, and from 8:00 a.m. until 12:00 midnight on July 4. Unless first expressly approved by the city council, it shall be unlawful for any person to discharge any other pyrotechnics or pyrotechnic devices in this City other than fireworks. Unless first expressly approved by the City Council, it shall be unlawful to discharge fireworks in this City except between:

- (a) 8:00 a.m. to 10:00 p.m. on any day from June 25 through July 3,
- (b) 8:00 a.m. to 12:00 midnight on July 4, and
- (c) 9:00 p.m. on December 31 to 12:30 a.m. on January 1.

(2) All retail fireworks sales sites shall prominently display a sign listing the days and hours for legal discharge of fireworks in the City of Bellevue and that any debris caused by the discharge

of fireworks in the City must be disposed of by the user. Nothing in this article shall be construed to permit the discharge or other use of any fireworks or any other pyrotechnics or pyrotechnic devices in violation of any other law of this City or the State of Nebraska.

(C) No person other than distributors or jobbers or retailers licensed by the City shall store fireworks for retail sale, distribution or delivery in this City. No such storage shall be permitted except between the hours of 8:00 a.m. on June 23 through 12:00 noon on July 7. Such storage shall be allowed only on sites approved for the retail sale of fireworks pursuant to the provisions of section 12-77 in facilities complying with all applicable provisions of law.

(D) Unless the context shall otherwise require, whenever used in sections 12-60 through 12-100, the term:

(1) **COMMUNITY BETTERMENT** shall mean a purpose which generally betters or enhances the community of the City of Bellevue, including:

(a) The acquisition, improvement and maintenance of parks and recreational facilities, public equipment and other items for community use;

(b) The recruitment and attraction of new businesses and jobs to the City of Bellevue;

(c) Athletic programs which serve the city or neighborhoods or other areas of the community;

(d) Scholarships and youth programs; and

(e) Other acquisitions, services or programs which generally benefit the city and its residents.

~~(3)~~(2) **FIREWORKS** shall mean and include only those fireworks that are permitted for sale by a retailer under the laws of the state, as amended from time to time.

~~(4)~~(3) **FLYING LANTERNS** shall mean any device that requires a flame which produces heated air trapped in a balloon-type covering allowing the device to float in the air. Flying lanterns shall not include hot-air balloons used for transporting persons.

(E) Notwithstanding any other provisions in this section, the possession, use, discharge, retail sale, offer for retail sale, or explosion of flying lanterns in this city is prohibited.

§ 12-61 LOCATION AND MAKE-UP OF FIREWORKS RETAIL OUTLETS.

(A) No fireworks shall be sold or exhibited except from a sales outlet meeting the requirements of this code. All such sales outlets and all facilities used to store fireworks shall be located and set back at least:

(1) 25 feet from the nearest right-of-way line of any public right-of-way,

(2) 100 feet from any residential structure, and

(3) 50 feet from any other structure.

~~(B) Sale~~All sales outlets ~~may shall~~ consist only of the following types of a temporary building structure; provided, however, no such structure shall be located within 20 feet of any facility used to store fireworks:

~~(1) A temporary structure that either~~(1) A temporary structure that either has a booth or stand that allows patrons to view and purchase fireworks from the outside of such structure ~~or that~~or that allows patrons to enter such structure to view and purchase fireworks; ~~provided, however, no such structure shall enclose floor space exceeding 1,250 square feet nor be located within 20 feet of any facility used to store fireworks.~~

~~(B)~~(2) A temporary structure that consists of an area enclosed by a tent.:

(C) All sales outlets enclosing any area intended to be used by patrons in connection with the sale of fireworks shall have a minimum of three doors for patrons, each at least three feet in width and located as remotely as practical from any other door or entryway. Each door shall be able to be opened in the direction of egress. All sales outlets enclosing any other area to be used by any person other than a patron shall have a minimum of one door at least three feet in width that is able to be opened in the direction of egress.

(D) The floor area enclosed by any sales outlet shall be earthen, steel, asphalt or concrete, in all instances free of any vegetation in excess of three inches in height and all flammable or combustible materials.

§ 12-62 PROXIMITY TO CERTAIN BUSINESSES AND HAZARDS.

(A) No sales outlet and no facility used to store fireworks shall be located within: (i) 100 feet from:

(1) Any facility or structure used for the sale, above ground storage or dispensing of any liquefied petroleum gases or any other combustible fuel, including diesel fuel, gasoline or propane; or

(2) Any container used in connection with any liquefied petroleum gases; provided, further, that no organization holding a retail license for sales of fireworks shall permit any motor vehicle to park within 15 feet of the exterior of any fireworks sales outlet or facility used to store fireworks. Such distance shall be measured from the closest point where such motor vehicle may be situated or any hazard or material may be located or is dispensed, vented, or stored above ground.

(B) No vegetation (in excess of three inches in height), flammable or combustible materials shall be allowed within ten feet from the exterior of any sales outlet or any facility used to store fireworks.

~~§ 12-63 SCREENING.~~

~~All windows, entryways and other openings on any sales outlet shall be covered by a screen, with squares or openings in the screen not more than one-quarter inch across; provided a sales outlet that allows for outside sales may have up to one foot of the space immediately above the sales counter area unscreened for the transaction of business. Screens shall be securely fastened to the sales outlet to prevent any gaps between the screen and the sales ou~~

§12-63 PERMIT FOR SPECIAL FIREWORKS.

No person shall conduct a public exhibition or display of fireworks without first procuring a display permit from the Nebraska State Fire Marshal and the City Clerk. All applicants for a City of Bellevue permit shall make application to the City Clerk and present the City Clerk with a copy of their permit issued by the Nebraska State Fire Marshal. The City Clerk shall present the application for City Council approval and if approved the City Clerk shall issue the permit.

§ 12-64 FIRE EXTINGUISHER.

At least one multipurpose fire extinguisher shall be furnished and maintained with a current annual inspection tag in all areas used for the sale and storage of fireworks. The extinguisher shall have a rating of at least 4-A for Class A fires. Two stored pressure water extinguishers with a capacity of at least 2-1/2 gallons each may be substituted for multipurpose extinguishers. The travel distance to any extinguisher required by this section shall not exceed 25 feet. At least one person shall be present at the sales outlet during all business hours who has been trained, and is able, to operate the fire extinguishing equipment. Such person shall be required to demonstrate such ability whenever requested by the fire department.

§ 12-65 ELECTRICAL SERVICE.

(A) Any electrical service used in any sales outlet shall comply with all provisions of the National Electrical Code, as then currently adopted by the city.

(B) Any extension cord used in, for or to any sales outlet or fireworks storage facility shall be designated as "heavy-duty" and shall have conductors of at least 14AWG and shall be protected from vehicle and pedestrian traffic at all times.

(C) No electrical cord shall be used in, for or to any sales outlet or fireworks storage facility in a manner that would increase the potential for fire or electric shock.

(D) Any portable generator used to supply power to any sales outlet or fireworks storage facility shall be placed at least ten feet from the sales outlet and storage facility.

(E) Generators and/or fuel supplies shall not be stored in any sales outlet or any fireworks storage facility.

§§ 12-66-12-75 RESERVED.

§ 12-76 LIMITED ISSUANCE OF RETAIL FIREWORKS LICENSES.

The City of Bellevue finds that there has been a proliferation of outlets for the sale of fireworks within the City and that such proliferation has placed an unacceptable burden on the fire marshal, the Bellevue Police Department, and other City departments in regulating the businesses. In addition, an increased use of fireworks within the City limits and surrounding areas has caused additional safety concerns. Therefore, licenses for the retail sale of fireworks may be issued to no more than 25 not-for-profit charitable, community or civic benevolent organizations which operate on a not-for-profit and benevolent basis within the City and meet the criteria set forth in this code.

§ 12-77 CITY CLERK TO ISSUE RETAIL LICENSES; APPLICATION FOR LICENSE.

(A) The City Clerk shall issue a single license to permit the sale of fireworks at retail to those duly organized and existing not-for-profit and benevolent organizations or associations meeting the criteria set forth in section 12-77(C) whose application has been approved for such purposes by the City Administrator. No person issued a retailer's license shall be authorized to purchase, sell, store, hold for sale, offer for sale, or accept delivery of any fireworks other than fireworks sold or distributed by a jobber or distributor that has been licensed by the City for such purposes.

(B) No application of any organization shall be approved by the City Administrator and no license to sell fireworks as a retailer shall be issued except to an organization that:

(1) Is a duly organized not-for-profit and benevolent organization or association that has been operating or doing business on a not-for-profit and benevolent basis within the City for at least one year prior to April 1 of the year in which the application required by this section is submitted and has actually conducted or engaged in community betterment activity during such period;

(2) Has been licensed by the State of Nebraska as a retailer; and

(3) Has made application for such license required by section 12-77(E).

(C) Notwithstanding any other provision of this code, no organization shall be eligible to receive a City retailer's license for the license year following any license year during which the organization:

(1) Failed to satisfactorily evidence the payment of all sales taxes applicable to the sales of fireworks by the organization for such license year or otherwise failed to comply with section 12-64, 12-65, 12-85; or

(2) Had a City retailer's license revoked by the City. Thereafter, an organization that was ineligible to receive a City retailer's license by application of section 12-77(C)(1) shall remain ineligible until such organization has paid the applicable sales tax for the deficient license year and has otherwise satisfactorily ~~complied with~~ complied with section 12-64, 12-65, 12-85 for non-compliant license year to the extent possible.

(D) Application for a retailer's license shall be made to the City Clerk between April 1 and April 30 of each year; provided that in the event such date shall fall on a weekend or a day that is a holiday recognized by the City, such application shall be submitted no later than the close of business on the first business day of the City following such date. The City Clerk shall promptly forward each application to the City Administrator. No application shall be accepted unless the full application and supporting documentation is completed and submitted to the City Clerk at the time of submission. Applications shall only be supplemented if allowed by the City Administrator and only for good cause shown. Examples of good cause shall include, but not be limited to, information that is an applicant is waiting on from the State Fire Marshal, bond approval, or other state requirement that may be delayed. The application and any supplemental information shall be maintained in the office of the City Clerk.

(E) Application shall be made on a form provided by the City Clerk for such purposes and shall include the following:

(1) The identity, address and telephone number of a contact person for the organization, together with a copy of the retailer's license issued by the State to the organization.

(2) To the extent that the organization is required by law to register its existence or make some other filing in order to be authorized to lawfully operate or to conduct business in the State of Nebraska and/or the City, a certified copy from such appropriate governmental body or agency showing that at the time of the application the organization is existing, validly organized, in good standing and certified to do business or operate in the State of Nebraska; provided, however, that to the extent the organization is not so required (e.g., lodges, social, civic, fraternal and beneficial entities authorized under Neb. RS § 21-608), the organization shall include such information as may be necessary or appropriate to evidence to the City that it is validly organized, in good standing and able to do business in the City;

(3) Documentation evidencing that the organization is currently operating as a not-for-profit and benevolent organization or association within the City and otherwise meet the eligibility requirements set forth in section 12-77(B8)(1);

(4) A verified statement identifying (by name and state license number) all distributors or jobbers with whom such organization will do business as a retailer during the year of application if the license is issued, with appropriate documentation from the distributor or jobber supporting such statement;

(5) Documentation evidencing the organization's due payment of all sales taxes applicable to the sales of fireworks by the organization in the preceding year;

(6) A verified statement that, as a condition of the license, the organization:

(a) Agrees to purchase fireworks only from those distributors or jobbers that are identified in the statement submitted pursuant to section 12-77(E)(4) to whom a license for such purposes has been issued by the City;

(b) Agrees to comply with and abide by all provisions of this code, including any directive from the City in respect to this code or to the laws, rules or regulations of the State;

(c) Agrees to sell fireworks only from a single sales outlet meeting the requirement of this code at the approved location identified in its application by address or other suitable area description;

(d) Understands that any such license issued to the organization is personal to the organization and the organization agrees that it will not assign or transfer or attempt to assign or transfer the license in any manner; and

(e) Understands and agrees that the City is authorized and entitled, in its discretion, to revoke or suspend the organization's City retail license (and upon demand the organization shall immediately surrender its license to the city and cease selling any fireworks) upon the occurrence of any act, error or omission of the organization (including any of its members, officers, directors or agents) that results in:

1. A violation of any of the agreements or understandings set forth in this subsection 12-77(E)(6);

2. A violation of the laws, rules or regulation of the State pertaining to the sale or storing of fireworks that may, or does, result in the revocation or suspension of its State retailers license; or

3. A violation of sections 12-60 through 12-100 that constitutes an immediate threat, in the opinion of the fire inspector, to public health, safety or welfare;

(8) ~~(7)~~ A verified statement that the organization understands that, in addition to the eligibility criteria otherwise set forth in this code, as a condition of being permitted to apply for a license, the organization shall:

(a) Have made the timely payment of all applicable sales and other taxes resulting from the retail sale of fireworks, including any related reporting obligations, under any similar license issued by the City in the preceding year; and

(b) Have made a timely and true and correct filing of any statement required by section 12-85;

~~(819)~~ Any other information request on such form as may be appropriate in order that the City may ascertain that the organization shall have complied with any applicable provisions of this code;

(F) In any year, if more than 25 duly completed applications from eligible organizations are received by the City Clerk and have been approved by the City Administrator, then the City Clerk shall issue licenses from among such approved organizations as follows:

(1) Those organizations that were issued a similar license by the City in the immediately preceding license year shall be issued a license;

(2) In the event that after expiration of the appeal time as outlined in section (G) below for all organizations whose applications were not approved by the City Administrator (other than by application of section 12-77(B) or 12-77(C)), there are less than 25 organizations that have been issued a license by application of 12-77(F)(1), and there remain organizations whose applications were approved by the City Administrator, the City Clerk shall issue licenses to a number of approved organizations equal to a number that when added to the total of licenses issued for that year pursuant to section 12-77(F)(1) does not exceed 25 provided that the organization who received a license in the preceding year and whose appeal has been successful shall be accorded the same priority as if approved by the City Administrator. The organization to be issued a license pursuant to section 12-77(F)(2) shall be determined by lot in a manner the City Administrator finds to be appropriate.

(G) The City Administrator shall approve or deny all the applications of all organizations by no later than the second Monday in May in the year of the application. Any denial shall be made in writing personally delivered or sent by regular mail addressed to the person designated in the application specifying the reasons for the denial. Any denial may be appealed to the City Council by written notice made to the City Administrator within ten (10) calendar days of the date of the denial; provided, however, no appeal shall be permitted because denial was the result of the application of sections 12-77(B) or 12-77(C) and no appeal shall be allowed to any organization denied a license by the application of section 12-77(F)(2). The city administrator shall schedule a hearing before the city council at the next available and regularly scheduled city council meeting that is at least five business days after receipt of such notice of appeal.

(H) Whenever an organization has been approved by the City Administrator or by a successful appeal to the City Council, no license shall be issued.

(1) Unless the organization shall first:

(a) Pay the City a license fee in the amount stated in the Master Fee Schedule in cash or by check representing then good funds;

(b) Furnish the bond required by section 12-79;

(c) File a copy of its State retail license with the City Clerk; and

(2) The inspection contemplated by section 12-81 has been successfully completed.

§ 12-78 RESERVED.

§ 12-79 BOND.

(A) No license may be issued to an organization for the retail sale of fireworks, unless the organization shall first furnish to the City a cash bond in the amount of \$1,000.00.

(B) Such bond shall be conditioned so that:

(1) The organization shall abide by any laws and regulations pertaining to the sale of fireworks, including all applicable provisions of sections 12-60 through 12-100, and

(2) That the organization shall thoroughly clean the location identified in its application where fireworks are to be stored or sold and remove any outlet, stand, booth or other facility and all debris from such location by 12:00 noon on July 7 of each year, unless July 7th falls on a weekend, then clean-up shall be completed by 12:00 noon on the following Monday.

(C) The bond shall be forfeited to the City in its entirety whenever the license issued to the organization is revoked by the City for any reason contemplated by section 12-77(E)(6) or whenever the organization shall not comply with the condition set forth in section 12-79(B)(2).

§ 12-80 LICENSING OF DISTRIBUTORS AND JOBBERS; FEES AND TAXES; REVOCATION OF LICENSE.

(A) No person shall sell, hold for sale, offer for sale, or distribute or deliver fireworks in the City as a distributor or jobber unless such person is licensed as a distributor or jobber by the State of Nebraska and the City. No person shall be licensed as a distributor or jobber by the City unless such person shall register its State license with the City on a form provided by the City Clerk for such purposes on or before April 1 in the calendar year in which such activity is to be conducted and shall first pay the license fee imposed by section 12-80(D); provided however the registration shall not be permitted to any distributor or jobber (including any affiliate, subsidiary or other organization that is, directly or indirectly, owned, operated or controlled by any such distributor or jobber or by any person or individual owning, operating or controlling such distributor or jobber) if a jobber's or distributor's license previously issued by the City has been revoked.

(B) In the event such date shall fall on a weekend or a day that is a holiday recognized by the City, registration shall be made by no later than the close of business on the first business day of the City following such date.

(C) A City jobber's or distributor's license shall be valid only for the calendar year during which the State license is issued and the registration is made.

~~(D)~~—Registration shall be made on a form provided by the City Clerk for such purposes and shall include:

(D)

(1) Identification of the license number and the pertinent nature of the license issued by the State, and

(2) All other information requested by the City as may be appropriate in order that the City may ascertain that such distributor or jobber is in compliance with the applicable provisions of this code; provided that such information shall be considered the confidential proprietary information of the organization and of the applicant/distributor/jobber and not subject to disclosure to the extent permitted by law. Such registration shall be accompanied by payment, by certified check, of a license fee in the amount stated in the Master Fee Schedule.

(E) Nothing in this section 12-80 shall be construed to permit any distributor or jobber to engage in the sale of fireworks at retail unless such distributor or jobber has been licensed for such sales in accordance with the provisions of section 12-77.

(F) All information submitted by any distributor or jobber pursuant to this section 12-80 shall be maintained and made available in the City Clerk's office.

(G) Any license issued pursuant to this section 12-80 shall not be construed to allow such distributor or jobber to sell, purchase or distribute any fireworks except to those distributors, jobbers and retailers licensed by the City for such activities.

(H) Each distributor's or jobber's license issued by the City shall be subject to immediate revocation or suspension by the City whenever the distributor or jobber shall sell, purchase or distribute fireworks to or from any retailer, jobber or distributor that is not appropriately licensed by the City at the time of the purchase, sale or distribution.

§ 12-81 INSPECTION REQUIRED; DUTY OF LICENSEE.

(A) No retail license may be issued to an organization whose application has been approved for the retail sale of fireworks, unless an inspection conducted by the fire inspector and any other appropriate inspector of the City of its sales outlet and storage facilities has determined the organization's conformity to and compliance with the code, including any land use regulations.

(8) The organization shall request the City in writing addressed to the City Clerk no later than 4:00 p.m. on June 23 of the appropriate calendar year to make such inspection. The City shall attempt to conduct such inspection within 24 hours after the request has been made. The inspector(s) shall advise the City Clerk at such time as the inspection has determined that such organization is in compliance with the requirements of the code.

(C) Nothing in this shall preclude the City from subsequently revoking, suspending or demanding the surrender of the organization's retail license.

§ 12-82 DISPLAY OF RETAIL LICENSE.

Any retail license issued by the City shall be prominently displayed at all times at the sales outlet.

§ 12-83 DURATION.

Any retail license issued by the City shall be valid only for the calendar year in which issued.

§ 12-84 AGE OF SELLERS AND PURCHASERS.

(A) Any person actually selling or offering for sale any fireworks in the City shall be at least 14 years of age, and no licensee shall allow or permit any person to sell or offer to sell any fireworks who is not 14 years of age, provided however that someone over the age of 16 shall be present at all times.

(B) No person actually selling or offering for sale any fireworks in the City shall sell or offer to sell fireworks to any person who is under 16 years of age, and no licensee shall allow or permit any person to sell or offer to sell any fireworks to any person who is under 16 years of age.

§ 12-85 STATEMENT OF PROFITS AND EXPENSES.

(A) Each organization that has received a retail license pursuant to section 12-77 shall file with the City Clerk on or before September 30, a detailed verified statement providing the following information:

(1) The total dollar amount paid by all patrons for fireworks at the sales outlet during the license period, including, separately stated, the amount of sales tax collected by the organization and to be paid in connection with such sales, including the manner and means of calculating the same; and

(2) Such other information as the City shall consider appropriate.

(B) Such statement shall be filed on a form that the City Clerk has prepared for such purposes.

(C) The form shall be maintained and made available in the office of the City Clerk.

§ 12-86 VIOLATIONS.

Any person or any licensee who violates any of the provisions of sections 12-59, 12-60, 12-61, 12-64, 12-82 or 12-84 shall be deemed guilty of a misdemeanor in addition to any fine or penalty for such violation as may otherwise be provided in sections 12-60 through 12-100.

§§ 12-87-12-100 RESERVED.

Section 2. This Ordinance shall take effect and be in full force on the ____ day of

2021. ~~_____ 2021. on the ay of May,~~

ADOPTED by the Mayor and City Council this ____ day of _____ 2021. ~~Council thi-
y of May, 2021.~~

ATTEST:

Mayor, Rusty Hike

City Clerk

APPROVED AS TO FORM:

City Attorney

First Reading:- 04/06/2021
Second Reading:- 04/20/2021
Third Reading:- 05/04/2021

-

ORDINANCE NO.

AN ORDINANCE TO AMEND SECTION 12-57 THROUGH 12-85, OF THE BELLEVUE MUNICIPAL CODE PERTAINING TO FIREWORKS, TO REPEAL ALL PREVIOUS VERSIONS OF THE SAME; TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM; AND TO PROVIDE AN EFFECTIVE DATE OF THIS ORDINANCE.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That Sections 12-57 through 12-85 of the Bellevue Municipal Code are hereby amended to read as follows:

§ 12-57 DEFINITIONS.

(A) For the purposes of this article, the words CONSUMER FIREWORKS shall mean only sparklers, Vesuvius fountains, spray fountains, torches, color fire cones, star and comet-type color aerial shells without explosive charge for the purpose of making noise, lady fingers, not to exceed seven eighths (7/8) of an inch in length or one-eighth (1/8) inch in diameter, total pyrotechnic composition not to exceed one-half (1/2) grain in each weight, color wheels and any other fireworks approved under the provisions of Neb. RS§ 28-1241, as may be amended.

(B) The term FLYING LANTERNS shall mean any device that requires a flame which produces heated air trapped in a balloon-type covering allowing the device to float in the air. FLYING LANTERNS shall not include hot-air balloons used for transporting persons.

§ 12-58 EXCEPTION.

The provisions of this article shall not apply to the discharge of any fireworks for purposes or under the auspices of any governmental subdivision.

§ 12-59 FIREWORKS RESTRICTED.

No person shall possess, sell, offer for sale, bring into the City or discharge any flying lanterns or pyrotechnics, commonly known as fireworks, other than consumer fireworks, as defined by Section 12-57 of this Code. No person shall discharge any flying lanterns or fireworks within an area less than 100 feet from any structure used for the exhibition or sale of fireworks.

§ 12-60 SALE, DISTRIBUTION, STORAGE AND DISCHARGE OF FIREWORKS RESTRICTED; DEFINITIONS.

(A) No person shall sell, hold for sale, offer for sale, or distribute or deliver fireworks in the City as a distributor, jobber or retailer (as such terms are defined by the laws of the State, as amended from time to time) unless licensed by the City for such purposes; provided that such licensee shall at all times comply with sections 12-60 through 12-100 and with any applicable laws, regulations and rules of the State, as amended from time to time.

(B)(1) No fireworks may be sold at retail in this City except, daily, from 8:00 a.m. until 10:00 p.m., June 25 through July 3, and from 8:00 a.m. until 12:00 midnight on July 4. Unless first expressly approved by the city council, it shall be unlawful for any person to discharge any other pyrotechnics or pyrotechnic devices in this City other than fireworks. Unless first expressly approved by the City Council, it shall be unlawful to discharge fireworks in this City except between:

- (a) 8:00 a.m. to 10:00 p.m. on any day from June 25 through July 3,
- (b) 8:00 a.m. to 12:00 midnight on July 4, and
- (c) 9:00 p.m. on December 31 to 12:30 a.m. on January 1.

(2) All retail fireworks sales sites shall prominently display a sign listing the days and hours for legal discharge of fireworks in the City of Bellevue and that any debris caused by the discharge

of fireworks in the City must be disposed of by the user. Nothing in this article shall be construed to permit the discharge or other use of any fireworks or any other pyrotechnics or pyrotechnic devices in violation of any other law of this City or the State of Nebraska.

(C) No person other than distributors or jobbers or retailers licensed by the City shall store fireworks for retail sale, distribution or delivery in this City. No such storage shall be permitted except between the hours of 8:00 a.m. on June 23 through 12:00 noon on July 7. Such storage shall be allowed only on sites approved for the retail sale of fireworks pursuant to the provisions of section 12-77 in facilities complying with all applicable provisions of law.

(D) Unless the context shall otherwise require, whenever used in sections 12-60 through 12-100, the term:

(1) **COMMUNITY BETTERMENT** shall mean a purpose which generally betters or enhances the community of the City of Bellevue, including:

(a) The acquisition, improvement and maintenance of parks and recreational facilities, public equipment and other items for community use;

(b) The recruitment and attraction of new businesses and jobs to the City of Bellevue;

(c) Athletic programs which serve the city or neighborhoods or other areas of the community;

(d) Scholarships and youth programs; and

(e) Other acquisitions, services or programs which generally benefit the city and its residents.

(2) **FIREWORKS** shall mean and include only those fireworks that are permitted for sale by a retailer under the laws of the state, as amended from time to time.

(3) **FLYING LANTERNS** shall mean any device that requires a flame which produces heated air trapped in a balloon-type covering allowing the device to float in the air. Flying lanterns shall not include hot-air balloons used for transporting persons.

(E) Notwithstanding any other provisions in this section, the possession, use, discharge, retail sale, offer for retail sale, or explosion of flying lanterns in this city is prohibited.

§ 12-61 LOCATION AND MAKE-UP OF FIREWORKS RETAIL OUTLETS.

(A) No fireworks shall be sold or exhibited except from a sales outlet meeting the requirements of this code. All such sales outlets and all facilities used to store fireworks shall be located and set back at least:

(1) 25 feet from the nearest right-of-way line of any public right-of-way,

(2) 100 feet from any residential structure, and

(3) 50 feet from any other structure.

(B) Sale outlets may consist only of the following types of temporary building structure; provided, however, no such structure shall be located within 20 feet of any facility used to store fireworks:

(1) A temporary structure that either has a booth or stand that allows patrons to view and purchase fireworks from the outside of such structure or that allows patrons to enter such structure to view and purchase fireworks;

(2) A temporary structure that consists of an area enclosed by a tent.

(C) All sales outlets enclosing any area intended to be used by patrons in connection with the sale of fireworks shall have a minimum of three doors for patrons, each at least three feet in width and located as remotely as practical from any other door or entryway. Each door shall be able to be opened in the direction of egress. All sales outlets enclosing any other area to be used by any person other than a patron shall have a minimum of one door at least three feet in width that is able to be opened in the direction of egress.

(D) The floor area enclosed by any sales outlet shall be earthen, steel, asphalt or concrete, in all instances free of any vegetation in excess of three inches in height and all flammable or combustible materials.

§ 12-62 PROXIMITY TO CERTAIN BUSINESSES AND HAZARDS.

(A) No sales outlet and no facility used to store fireworks shall be located within: (i) 100 feet from:

(1) Any facility or structure used for the sale, above ground storage or dispensing of any liquefied petroleum gases or any other combustible fuel, including diesel fuel, gasoline or propane; or

(2) Any container used in connection with any liquefied petroleum gases; provided, further, that no organization holding a retail license for sales of fireworks shall permit any motor vehicle to park within 15 feet of the exterior of any fireworks sales outlet or facility used to store fireworks. Such distance shall be measured from the closest point where such motor vehicle may be situated or any hazard or material may be located or is dispensed, vented, or stored above ground.

(B) No vegetation (in excess of three inches in height), flammable or combustible materials shall be allowed within ten feet from the exterior of any sales outlet or any facility used to store fireworks.

§12-63 PERMIT FOR SPECIAL FIREWORKS.

No person shall conduct a public exhibition or display of fireworks without first procuring a display permit from the Nebraska State Fire Marshal and the City Clerk. All applicants for a City of Bellevue permit shall make application to the City Clerk and present the City Clerk with a copy of their permit issued by the Nebraska State Fire Marshal. The City Clerk shall present the application for City Council approval and if approved the City Clerk shall issue the permit.

§ 12-64 FIRE EXTINGUISHER.

At least one multipurpose fire extinguisher shall be furnished and maintained with a current annual inspection tag in all areas used for the sale and storage of fireworks. The extinguisher shall have a rating of at least 4-A for Class A fires. Two stored pressure water extinguishers with a capacity of at least 2-1/2 gallons each may be substituted for multipurpose extinguishers. The travel distance to any extinguisher required by this section shall not exceed 25 feet. At least one person shall be present at the sales outlet during all business hours who has been trained, and is able, to operate the fire extinguishing equipment. Such person shall be required to demonstrate such ability whenever requested by the fire department.

§ 12-65 ELECTRICAL SERVICE.

(A) Any electrical service used in any sales outlet shall comply with all provisions of the National Electrical Code, as then currently adopted by the city.

(B) Any extension cord used in, for or to any sales outlet or fireworks storage facility shall be designated as "heavy-duty" and shall have conductors of at least 14AWG and shall be protected from vehicle and pedestrian traffic at all times.

(C) No electrical cord shall be used in, for or to any sales outlet or fireworks storage facility in a manner that would increase the potential for fire or electric shock.

(D) Any portable generator used to supply power to any sales outlet or fireworks storage facility shall be placed at least ten feet from the sales outlet and storage facility.

(E) Generators and/or fuel supplies shall not be stored in any sales outlet or any fireworks storage facility.

§§ 12-66-12-75 RESERVED.

§ 12-76 LIMITED ISSUANCE OF RETAIL FIREWORKS LICENSES.

The City of Bellevue finds that there has been a proliferation of outlets for the sale of fireworks within the City and that such proliferation has placed an unacceptable burden on the fire marshal, the Bellevue Police Department, and other City departments in regulating the businesses. In addition, an increased use of fireworks within the City limits and surrounding areas has caused additional safety concerns. Therefore, licenses for the retail sale of fireworks may be issued to no more than 25 not-for-profit charitable, community or civic benevolent organizations which operate on a not-for-profit and benevolent basis within the City and meet the criteria set forth in this code.

§ 12-77 CITY CLERK TO ISSUE RETAIL LICENSES; APPLICATION FOR LICENSE.

(A) The City Clerk shall issue a single license to permit the sale of fireworks at retail to those duly organized and existing not-for-profit and benevolent organizations or associations meeting the criteria set forth in section 12-77(C) whose application has been approved for such purposes by the City Administrator. No person issued a retailer's license shall be authorized to purchase, sell, store, hold for sale, offer for sale, or accept delivery of any fireworks other than fireworks sold or distributed by a jobber or distributor that has been licensed by the City for such purposes.

(B) No application of any organization shall be approved by the City Administrator and no license to sell fireworks as a retailer shall be issued except to an organization that:

(1) Is a duly organized not-for-profit and benevolent organization or association that has been operating or doing business on a not-for-profit and benevolent basis within the City for at least one year prior to April 1 of the year in which the application required by this section is submitted and has actually conducted or engaged in community betterment activity during such period;

(2) Has been licensed by the State of Nebraska as a retailer; and

(3) Has made application for such license required by section 12-77(E).

(C) Notwithstanding any other provision of this code, no organization shall be eligible to receive a City retailer's license for the license year following any license year during which the organization:

(1) Failed to satisfactorily evidence the payment of all sales taxes applicable to the sales of fireworks by the organization for such license year or otherwise failed to comply with section 12-64, 12-65, 12-85; or

(2) Had a City retailer's license revoked by the City. Thereafter, an organization that was ineligible to receive a City retailer's license by application of section 12-77(C)(1) shall remain ineligible until such organization has paid the applicable sales tax for the deficient license year and has otherwise satisfactorily complied with section 12-64, 12-65, 12-85 for non-compliant license year to the extent possible.

(D) Application for a retailer's license shall be made to the City Clerk between April 1 and April 30 of each year; provided that in the event such date shall fall on a weekend or a day that is a holiday recognized by the City, such application shall be submitted no later than the close of business on the first business day of the City following such date. The City Clerk shall promptly forward each application to the City Administrator. No application shall be accepted unless the full application and supporting documentation is completed and submitted to the City Clerk at the time of submission. Applications shall only be supplemented if allowed by the City Administrator and only for good cause shown. Examples of good cause shall include, but not be limited to, information that is an applicant is waiting on from the State Fire Marshal, bond approval, or other state requirement that may be delayed. The application and any supplemental information shall be maintained in the office of the City Clerk.

(E) Application shall be made on a form provided by the City Clerk for such purposes and shall include the following:

(1) The identity, address and telephone number of a contact person for the organization, together with a copy of the retailer's license issued by the State to the organization.

(2) To the extent that the organization is required by law to register its existence or make some other filing in order to be authorized to lawfully operate or to conduct business in the State of Nebraska and/or the City, a certified copy from such appropriate governmental body or agency showing that at the time of the application the organization is existing, validly organized, in good standing and certified to do business or operate in the State of Nebraska; provided, however, that to the extent the organization is not so required (e.g., lodges, social, civic, fraternal and beneficial entities authorized under Neb. RS § 21-608), the organization shall include such information as may be necessary or appropriate to evidence to the City that it is validly organized, in good standing and able to do business in the City;

(3) Documentation evidencing that the organization is currently operating as a not-for-profit and benevolent organization or association within the City and otherwise meet the eligibility requirements set forth in section 12-77(B)(1);

(4) A verified statement identifying (by name and state license number) all distributors or jobbers with whom such organization will do business as a retailer during the year of application if the license is issued, with appropriate documentation from the distributor or jobber supporting such statement;

(5) Documentation evidencing the organization's due payment of all sales taxes applicable to the sales of fireworks by the organization in the preceding year;

(6) A verified statement that, as a condition of the license, the organization:

(a) Agrees to purchase fireworks only from those distributors or jobbers that are identified in the statement submitted pursuant to section 12-77(E)(4) to whom a license for such purposes has been issued by the City;

(b) Agrees to comply with and abide by all provisions of this code, including any directive from the City in respect to this code or to the laws, rules or regulations of the State;

(c) Agrees to sell fireworks only from a single sales outlet meeting the requirement of this code at the approved location identified in its application by address or other suitable area description;

(d) Understands that any such license issued to the organization is personal to the organization and the organization agrees that it will not assign or transfer or attempt to assign or transfer the license in any manner; and

(e) Understands and agrees that the City is authorized and entitled, in its discretion, to revoke or suspend the organization's City retail license (and upon demand the organization shall immediately surrender its license to the city and cease selling any fireworks) upon the occurrence of any act, error or omission of the organization (including any of its members, officers, directors or agents) that results in:

1. A violation of any of the agreements or understandings set forth in this subsection 12-77(E)(6);

2. A violation of the laws, rules or regulation of the State pertaining to the sale or storing of fireworks that may, or does, result in the revocation or suspension of its State retailers license; or

3. A violation of sections 12-60 through 12-100 that constitutes an immediate threat, in the opinion of the fire inspector, to public health, safety or welfare;

(7) A verified statement that the organization understands that, in addition to the eligibility criteria otherwise set forth in this code, as a condition of being permitted to apply for a license, the organization shall:

(a) Have made the timely payment of all applicable sales and other taxes resulting from the retail sale of fireworks, including any related reporting obligations, under any similar license issued by the City in the preceding year; and

(b) Have made a timely and true and correct filing of any statement required by section 12-85;

(8) Any other information request on such form as may be appropriate in order that the City may ascertain that the organization shall have complied with any applicable provisions of this code.

(F) In any year, if more than 25 duly completed applications from eligible organizations are received by the City Clerk and have been approved by the City Administrator, then the City Clerk shall issue licenses from among such approved organizations as follows:

(1) Those organizations that were issued a similar license by the City in the immediately preceding license year shall be issued a license;

(2) In the event that after expiration of the appeal time as outlined in section (G) below for all organizations whose applications were not approved by the City Administrator (other than by application of section 12-77(B) or 12-77(C)), there are less than 25 organizations that have been issued a license by application of 12-77(F)(1), and there remain organizations whose applications were approved by the City Administrator, the City Clerk shall issue licenses to a number of approved organizations equal to a number that when added to the total of licenses issued for that year pursuant to section 12-77(F)(1) does not exceed 25 provided that the organization who received a license in the preceding year and whose appeal has been successful shall be accorded the same priority as if approved by the City Administrator. The organization to be issued a license pursuant to section 12-77(F)(2) shall be determined by lot in a manner the City Administrator finds to be appropriate.

(G) The City Administrator shall approve or deny all the applications of all organizations by no later than the second Monday in May in the year of the application. Any denial shall be made in writing personally delivered or sent by regular mail addressed to the person designated in the application specifying the reasons for the denial. Any denial may be appealed to the City Council by written notice made to the City Administrator within ten (10) calendar days of the date of the denial; provided, however, no appeal shall be permitted because denial was the result of the application of sections 12-77(B) or 12-77(C) and no appeal shall be allowed to any organization denied a license by the application of section 12-77(F)(2). The city administrator shall schedule a hearing before the city council at the next available and regularly scheduled city council meeting that is at least five business days after receipt of such notice of appeal.

(H) Whenever an organization has been approved by the City Administrator or by a successful appeal to the City Council, no license shall be issued.

(1) Unless the organization shall first:

(a) Pay the City a license fee in the amount stated in the Master Fee Schedule in cash or by check representing then good funds;

(b) Furnish the bond required by section 12-79;

(c) File a copy of its State retail license with the City Clerk; and

(2) The inspection contemplated by section 12-81 has been successfully completed.

§ 12-78 RESERVED.

§ 12-79 BOND.

(A) No license may be issued to an organization for the retail sale of fireworks, unless the organization shall first furnish to the City a cash bond in the amount of \$1,000.00.

(B) Such bond shall be conditioned so that:

(1) The organization shall abide by any laws and regulations pertaining to the sale of fireworks, including all applicable provisions of sections 12-60 through 12-100, and

(2) That the organization shall thoroughly clean the location identified in its application where fireworks are to be stored or sold and remove any outlet, stand, booth or other facility and all debris from such location by 12:00 noon on July 7 of each year, unless July 7th falls on a weekend, then clean-up shall be completed by 12:00 noon on the following Monday.

(C) The bond shall be forfeited to the City in its entirety whenever the license issued to the organization is revoked by the City for any reason contemplated by section 12-77(E)(6) or whenever the organization shall not comply with the condition set forth in section 12-79(B)(2).

§ 12-80 LICENSING OF DISTRIBUTORS AND JOBBERS; FEES AND TAXES; REVOCATION OF LICENSE.

(A) No person shall sell, hold for sale, offer for sale, or distribute or deliver fireworks in the City as a distributor or jobber unless such person is licensed as a distributor or jobber by the State of Nebraska and the City. No person shall be licensed as a distributor or jobber by the City unless such person shall register its State license with the City on a form provided by the City Clerk for such purposes on or before April 1 in the calendar year in which such activity is to be conducted and shall first pay the license fee imposed by section 12-80(D); provided however the registration shall not be permitted to any distributor or jobber (including any affiliate, subsidiary or other organization that is, directly or indirectly, owned, operated or controlled by any such distributor or jobber or by any person or individual owning, operating or controlling such distributor or jobber) if a jobber's or distributor's license previously issued by the City has been revoked.

(B) In the event such date shall fall on a weekend or a day that is a holiday recognized by the City, registration shall be made by no later than the close of business on the first business day of the City following such date.

(C) A City jobber's or distributor's license shall be valid only for the calendar year during which the State license is issued and the registration is made.

(D) Registration shall be made on a form provided by the City Clerk for such purposes and shall include:

(1) Identification of the license number and the pertinent nature of the license issued by the State, and

(2) All other information requested by the City as may be appropriate in order that the City may ascertain that such distributor or jobber is in compliance with the applicable provisions of this code; provided that such information shall be considered the confidential proprietary information of the organization and of the applicant/distributor/jobber and not subject to disclosure to the extent permitted by law. Such registration shall be accompanied by payment, by certified check, of a license fee in the amount stated in the Master Fee Schedule.

(E) Nothing in this section 12-80 shall be construed to permit any distributor or jobber to engage in the sale of fireworks at retail unless such distributor or jobber has been licensed for such sales in accordance with the provisions of section 12-77.

(F) All information submitted by any distributor or jobber pursuant to this section 12-80 shall be maintained and made available in the City Clerk's office.

(G) Any license issued pursuant to this section 12-80 shall not be construed to allow such distributor or jobber to sell, purchase or distribute any fireworks except to those distributors, jobbers and retailers licensed by the City for such activities.

(H) Each distributor's or jobber's license issued by the City shall be subject to immediate revocation or suspension by the City whenever the distributor or jobber shall sell, purchase or distribute fireworks to or from any retailer, jobber or distributor that is not appropriately licensed by the City at the time of the purchase, sale or distribution.

§ 12-81 INSPECTION REQUIRED; DUTY OF LICENSEE.

(A) No retail license may be issued to an organization whose application has been approved for the retail sale of fireworks, unless an inspection conducted by the fire inspector and any other appropriate inspector of the City of its sales outlet and storage facilities has determined the organization's conformity to and compliance with the code, including any land use regulations.

(8) The organization shall request the City in writing addressed to the City Clerk no later than 4:00 p.m. on June 23 of the appropriate calendar year to make such inspection. The City shall attempt to conduct such inspection within 24 hours after the request has been made. The inspector(s) shall advise the City Clerk at such time as the inspection has determined that such organization is in compliance with the requirements of the code.

(C) Nothing in this shall preclude the City from subsequently revoking, suspending or demanding the surrender of the organization's retail license.

§ 12-82 DISPLAY OF RETAIL LICENSE.

Any retail license issued by the City shall be prominently displayed at all times at the sales outlet.

§ 12-83 DURATION.

Any retail license issued by the City shall be valid only for the calendar year in which issued.

§ 12-84 AGE OF SELLERS AND PURCHASERS.

(A) Any person actually selling or offering for sale any fireworks in the City shall be at least 14 years of age, and no licensee shall allow or permit any person to sell or offer to sell any fireworks who is not 14 years of age, provided however that someone over the age of 16 shall be present at all times.

(B) No person actually selling or offering for sale any fireworks in the City shall sell or offer to sell fireworks to any person who is under 16 years of age, and no licensee shall allow or permit any person to sell or offer to sell any fireworks to any person who is under 16 years of age.

§ 12-85 STATEMENT OF PROFITS AND EXPENSES.

(A) Each organization that has received a retail license pursuant to section 12-77 shall file with the City Clerk on or before September 30, a detailed verified statement providing the following information:

(1) The total dollar amount paid by all patrons for fireworks at the sales outlet during the license period, including, separately stated, the amount of sales tax collected by the organization and to be paid in connection with such sales, including the manner and means of calculating the same; and

(2) Such other information as the City shall consider appropriate.

(B) Such statement shall be filed on a form that the City Clerk has prepared for such purposes.

(C) The form shall be maintained and made available in the office of the City Clerk.

§ 12-86 VIOLATIONS.

Any person or any licensee who violates any of the provisions of sections 12-59, 12-60, 12-61, 12-64, 12-82 or 12-84 shall be deemed guilty of a misdemeanor in addition to any fine or penalty for such violation as may otherwise be provided in sections 12-60 through 12-100.

§§ 12-87-12-100 RESERVED.

Section 2. This Ordinance shall take effect and be in full force on the ____ day of _____ 2021.

ADOPTED by the Mayor and City Council this ____ day of _____ 2021.

ATTEST:

City Clerk

Mayor, Rusty Hike

APPROVED AS TO FORM:

City Attorney

First Reading: 08/17/2021

Second Reading: _____

Third Reading: _____

**CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET**

**14a.
08/17/2021**

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Susan Kluthe, City Clerk		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LICQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Application from Premier Sports Village to host an Outdoor Family Festival with live music on Sunday, August 29, 2021 from 2:00 p.m. to 8:30 p.m., at 14405 Harlan Lewis Road, Bellevue.

SYNOPSIS/BACKGROUND:

This event was approved at the 8/3/2021 City Council Meeting. The event had to be postponed due to inclement weather on Saturday, August 7th and are now rescheduling. Premier Sports Village Outdoor Family Festival will include a Bounce House, Music, and Fireworks along with various other activities and/or games at 14405 Harlan Lewis Road. The rescheduled event will be held on Sunday, August 29, 2021 from 2:00 p.m.. to 8:30 p.m..

FISCAL IMPACT: \$50	BUDGETED FUNDS?: NO	GRANT/MATCHING FUNDS?: NO
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TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO	COUNTER-PARTY:	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION:		
CONTRACT EFFECTIVE DATE:	CONTRACT TERM:	CONTRACT END DATE:
PROJECT NAME:		
START DATE:	END DATE:	PAYMENT DATE:
		INSURANCE REQUIRED: NO
CIP PROJECT NAME:	CIP PROJECT NUMBER:	
STREET DISTRICT NAME (S):	STREET DISTRICT NUMBER (S):	
ACCOUNTING DISTRUBUTION CODE:	ACCOUNT NUMBER:	

RECOMMENDATION:

Recommend approval of application for Premier Sports Village to reschedule and host an Outdoor Family Festival with live music on Sunday, August 29, 2021 from 2:00 p.m. to 8:30 p.m., at 14405 Harlan Lewis Road, Bellevue.

ATTACHMENTS:


- | | | |
|----------------------------------|-----------------------------|---------------------------------------|
| 1. Application for Event License | 2. Certificate of Insurance | 3. Comments from PD, Streets, & Parks |
| 4. | 5. | 6. |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:





CITY OF BELLEVUE

APPLICATION FOR EVENT LICENSE

The undersigned hereby makes application to conduct or operate a carnival, show, temporary amusement park, or music concert in the City of Bellevue, Nebraska, under the provisions of City Code Sections 5-36 thru 5-40, and hereby submits the following facts in support thereof:

Date: 8/10/2021

APPLICANT NAME: Sean Johnston ADDRESS: 7001 N 153rd St. Bennington NE 68007

PHONE #: 4023198413 EMAIL ADDRESS: premiersportsvillagene@gmail.com

CORPORATION (Name/Address): Premier Sports Village 7001 N 153rd St. Bennington NE 68007

CORPORATION OFFICERS: Brandon Schuur and Sean Johnston

PROPOSED ACTIVITY: Outdoor Concert

DAY/DATE OF PROPOSED ACTIVITY: Sunday August 29th

LOCATION OF PROPOSED ACTIVITY: 14202 Harlan Lewis Rd Bellevue NE 68005

HOURS OF OPERATION: 2:00 PM - 8:30 PM

WHAT PROVISIONS, IF APPLICABLE, HAVE BEEN MADE FOR THE FOLLOWING:

- 1. Sanitary Facilities: Portable Bathrooms
- 2. Running Water: City Water
- 3. Power: OPPD
- 4. Parking: On Site
- 5. Insurance: Griffin Underwriting

(Please provide Certificate of Insurance Naming City of Bellevue as Additional Insured)

Please address any specific requests of the Police/Parks/Streets Departments on the 2nd page.

I guarantee to the City of Bellevue that the premises will be cleaned and inspected following the above listed event on the day(s) indicated and, after inspection by the City, we will meet any additional responsible requests of the City of Bellevue as to the cleaning of the premises. For equal opportunity enjoyment for all individuals, I guarantee that all events will meet the legal requirements outlined in the American with Disabilities Act (ADA) and its amendments to prevent discrimination and enable individuals with disabilities to participate fully in all aspects of the event. **I understand the \$50.00 event fee is a NON-REFUNDABLE APPLICATION FEE.**

Signature of Applicant: 

FOR CITY OFFICE USE ONLY:

Notice of Hearing published in a legal newspaper on _____, _____.

City Council hearing date: _____

Previous



CITY OF BELLEVUE

APPLICATION FOR EVENT LICENSE

The undersigned hereby makes application to conduct or operate a carnival, show, temporary amusement park, or music concert in the City of Bellevue, Nebraska, under the provisions of City Code Sections 5-36 thru 5-40, and hereby submits the following facts in support thereof:

APPLICANT NAME: Sean Johnston ADDRESS: 14405 Harlan Lewis Rd Bellevue NE 68007 Date: 7/22/2021
PHONE #: 402-319-5413 EMAIL ADDRESS: premier@sportsvillage.com
CORPORATION (Name/Address): Premier Sports Village 7001 N 153rd St Blennington NE 68007
CORPORATION OFFICERS: Sean Johnston

PROPOSED ACTIVITY: Outdoor Family Festival (Bonne Hour, Music, Firework)
DAY/DATE OF PROPOSED ACTIVITY: 8/7/2021
LOCATION OF PROPOSED ACTIVITY: Premier Sports Village 14405 Harlan Lewis Rd
HOURS OF OPERATION: 4:00 - 11:00 PM

WHAT PROVISIONS, IF APPLICABLE, HAVE BEEN MADE FOR THE FOLLOWING:

- 1. Sanitary Facilities: Portable Bathrooms
2. Running Water: City water
3. Power: OPAD
4. Parking: On site
5. Insurance: Griffin Insurance

(Please provide Certificate of Insurance Naming City of Bellevue as Additional Insured)

Please address any specific requests of the Police/Parks/Streets Departments on the 2nd page.

I guarantee to the City of Bellevue that the premises will be cleaned and inspected following the above listed event on the day(s) indicated and, after inspection by the City, we will meet any additional responsible requests of the City of Bellevue as to the cleaning of the premises. For equal opportunity enjoyment for all individuals, I guarantee that all events will meet the legal requirements outlined in the American with Disabilities Act (ADA) and its amendments to prevent discrimination and enable individuals with disabilities to participate fully in all aspects of the event.

Signature of Applicant: [Handwritten Signature]

FOR CITY OFFICE USE ONLY:

Notice of Hearing published in a legal newspaper on 7-28, 2021
City Council hearing date: 8/3/21
License Fee of \$50 paid on: 7/22/2021 Receipt #: 18 3456

RECEIVED
JUL 22 2021
CITY CLERK

Police Department Requests: Invite families

Parks Department Requests: Invite families

Street Department Requests: N/A Invite families

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14a1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: City Clerk		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LICOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Recommendation to approve Special Fireworks Display

SYNOPSIS/BACKGROUND:

Application was approved on 8/3/21 for a Special Fireworks Application for Subby Anzalore to provide a special fireworks display for the Premier Sports Village Outdoor Family Festival. Due to the inclement weather on Saturday 8/7/21 the event was postponed. A new Special Fireworks Application is attached for the rescheduled date and time.

FISCAL IMPACT: None BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: N/A

CONTRACT EFFECTIVE DATE: CONTRACT TERM: N/A CONTRACT END DATE:

PROJECT NAME: N/A

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: YES

CIP PROJECT NAME: N/A CIP PROJECT NUMBER: N/A

STREET DISTRICT NAME (S): N/A STREET DISTRICT NUMBER (S): N/A

ACCOUNTING DISTRIBUTION CODE: N/A ACCOUNT NUMBER: N/A


RECOMMENDATION:


Recommendation to approve a Special Fireworks Application for Subby Anzalore to provide a special fireworks display for the rescheduled Premier Sports Village Outdoor Family Festival on Sunday, 8/29/2021, from approximately 8:00 p.m. to 8:15 p.m.


ATTACHMENTS:

- Application
-
-
-
-
-

SIGNATURES:

LEGAL APPROVAL AS TO FORM: 

FINANCE APPROVAL AS TO FORM: 

ADMINISTRATOR APPROVAL AS TO FORM: 



City of Bellevue
Office of the City Clerk
1500 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3007

SPECIAL FIREWORKS EVENT
APPLICATION

Application must be filled out completely and returned to the City Clerk, a minimum of 7 day, prior to the City Council Meeting so item can be added to the City Council Agenda.

(Please Print Legibly)

Special Fireworks Event: Premier Sports Village August Fest

Date of Event: Aug 29 2021

Time and Duration of Fireworks Display: 8:00 - 8:15 PM

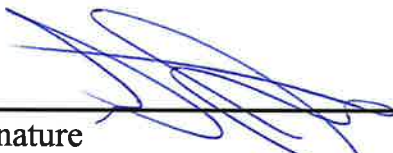
Name of Contact Person: Sobby Anzalone

Contact Person E-mail: sobbyanzalone@cox.net

Contact Person Phone #: 402-290-2291

Distributor License: Yes No

If so, Name of Distributor: _____


Signature

~~8/2~~ 8/10/2021
Date

Previous



City of Bellevue
Office of the City Clerk
1500 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3007

SPECIAL FIREWORKS EVENT
APPLICATION

Application must be filled out completely and returned to the City Clerk, a minimum of 7 day, prior to the City Council Meeting so item can be added to the City Council Agenda.

(Please Print Legibly)

Special Fireworks Event: Premier Sports Village Outdoor Family Festival

Date of Event: 8/7/2021

Time and Duration of Fireworks Display: APRX. 10:00 PM - 10-12 minutes

Name of Contact Person: Subby Anzalone

Contact Person E-mail: SUBBYANZALONE@COX.NET

Contact Person Phone #: 402-290-2391

Distributor License: Yes No

If so, Name of Distributor: _____

[Signature]
Signature

7/26/21
Date

RECEIVED
JUL 27 2021
CITY CLERK

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14b.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Susan Kluthe, City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Application from Premier Sports Village to host a Music Concert on Friday, September 17, 2021 from 4:00 p.m. to 10:00 p.m., at 14405 Harlan Lewis Road, Bellevue.

SYNOPSIS/BACKGROUND:

This event is being held by the Premier Sports Village which includes a music concert 14405 Harlan Lewis Road. The event will be held on Friday, September 17, 2021 from 4:00 p.m. to 10:00 p.m.

FISCAL IMPACT: \$50 BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: _____

CONTRACT EFFECTIVE DATE: _____ CONTRACT TERM: _____ CONTRACT END DATE: _____

PROJECT NAME: _____

START DATE: _____ END DATE: _____ PAYMENT DATE: _____ INSURANCE REQUIRED: NO

CIP PROJECT NAME: _____ CIP PROJECT NUMBER: _____

STREET DISTRICT NAME (S): _____ STREET DISTRICT NUMBER (S): _____

ACCOUNTING DISTRIBUTION CODE: _____ ACCOUNT NUMBER: _____

RECOMMENDATION:

Recommend approval of application from Premier Sports Village to host a Music Concert on Friday, September 17, 2021 from 4:00 p.m. to 10:00 p.m., at 14405 Harlan Lewis Road, Bellevue.

ATTACHMENTS:

- | | | |
|----------------------------------|-----------------------------|---------------------------------------|
| 1. Application for Event License | 2. Certificate of Insurance | 3. Comments from PD, Streets, & Parks |
| 4. _____ | 5. _____ | 6. _____ |

SIGNATURES:

LEGAL APPROVAL AS TO FORM: _____

FINANCE APPROVAL AS TO FORM: _____

ADMINISTRATOR APPROVAL AS TO FORM: _____

A. Bree Rollins

[Signature]

[Signature]



CITY OF BELLEVUE

APPLICATION FOR EVENT LICENSE

The undersigned hereby makes application to conduct or operate a carnival, show, temporary amusement park, or music concert in the City of Bellevue, Nebraska, under the provisions of City Code Sections 5-36 thru 5-40, and hereby submits the following facts in support thereof:

Date: 8/3/2021

APPLICANT NAME: Sean Johnston ADDRESS: 14202 Harlan Lewis Rd

PHONE #: 402-319-8413 EMAIL ADDRESS: premiersportsvillagene@gmail.com

CORPORATION (Name/Address): Premier Sports Village LLC
7001 N 153rd st. Bennington NE 68007

CORPORATION OFFICERS: Sean Johnston and Brandon Schuur

PROPOSED ACTIVITY: Music Concert

DAY/DATE OF PROPOSED ACTIVITY: Friday Sept. 17th 2021

LOCATION OF PROPOSED ACTIVITY: 14202 Harlan Lewis Rd Bellevue Nebraska 68005

HOURS OF OPERATION: 4:00-10:00

WHAT PROVISIONS, IF APPLICABLE, HAVE BEEN MADE FOR THE FOLLOWING:

1. Sanitary Facilities: Portable Bathrooms
2. Running Water: City Water
3. Power: OPPD
4. Parking: On Site
5. Insurance: Griffin Underwriting

(Please provide Certificate of Insurance Naming City of Bellevue as Additional Insured)

Please address any specific requests of the Police/Parks/Streets Departments on the 2nd page.

I guarantee to the City of Bellevue that the premises will be cleaned and inspected following the above listed event on the day(s) indicated and, after inspection by the City, we will meet any additional responsible requests of the City of Bellevue as to the cleaning of the premises. For equal opportunity enjoyment for all individuals, I guarantee that all events will meet the legal requirements outlined in the American with Disabilities Act (ADA) and its amendments to prevent discrimination and enable individuals with disabilities to participate fully in all aspects of the event. **I understand the \$50.00 event fee is a NON-REFUNDABLE APPLICATION FEE.**

Signature of Applicant: 

FOR CITY OFFICE USE ONLY:

Notice of Hearing published in a legal newspaper on _____, _____.
City Council hearing date: _____

RECEIVED
AUG 02 2021
CITY CLERK

License Fee of \$50 paid on: 8/3/2021 Receipt #: 183459 \$50 CK #1037

Police Department Requests: _____

Parks Department Requests: _____

Street Department Requests: _____



17

NEBRASKAFREEDOM.ORG @NEBRASKAFREEDOM

FRIDAY, SEPTEMBER 17, 2021 AT 4 PM CDT - 10 PM CDT

Freedom Festival '21

14202 Harlan Lewis Rd, Bellevue, NE 68005, United States

Events

Search Events

Home

Your Events

Birthdays

Notifications

Create New Event

Your Upcoming Events

You don't have any events coming up

Categories

- Art
- Causes
- Comedy
- Crafts
- Dance
- Drinks
- Film
- Fitness
- Food
- Games
- Gardening
- Health

About Discussion Interested Going Invite

Details

Event by Tim Davis, Nebraskans Against Government Overreach and Tim Davis

14202 Harlan Lewis Rd, Bellevue, NE 68005, United States

Tickets www.eventbrite.com/e/freedom-festival-21-tickets-163711305923

Public · Anyone on or off Facebook

This is an end of the year event like a Freedom Festival event. Freedom Rally USA, Nebraskans Against Government Overreach and Nebraska Freedom Coalition invite you to a Freedom F... See More

Music

Tickets

Find Tickets

Notice of Public Hearing
Premier Sports Village

Pursuant to Sec. 5-36 through 5-40 of the Bellevue City Code, on Tuesday, August 17, 2021, at 6:00 p.m., the Bellevue City Council will hold a public hearing on the request of Premier Sports Village to hold a Music Concert on Friday, September 17, 2021 from 4:00 p.m. to 10:00 p.m. at the Premier Sports Village, 14202 Harlan Lewis Road, Bellevue, NE.

The meeting is open to the public and the public is encouraged to attend. Requests for special accommodations must be placed with the City Clerk at least forty-eight hours prior to the meeting.

Susan Kluthe
City Clerk

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14c. and 14c1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager		
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>		
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>		
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Request to approve the Redevelopment Plan for Lot 7, Tiller's 4th Addition. Applicant: Freedom Village, LLC General Location: 1811 Hillcrest Drive.

SYNOPSIS/BACKGROUND:

Freedom Village, LLC is requesting approval of a redevelopment plan for Lot 7, Tiller's 4th Addition. The 6.18 acres site is located at the northeast corner of Hillcrest Drive and Highway 370. The plan proposes redevelopment of the existing property by rezoning the lot to be developed into a 55 and older senior living community. The community will consist of seven 4-plex single family garden homes between 1,050 to 1,287 square feet each with a garage; and a four-story apartment building with 28 units, each unit between 850 and 990 square feet. As part of the redevelopment plan, the applicant is requesting approval of \$4,401,173 in Tax Increment Financing.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO	COUNTER-PARTY: <input type="text"/>	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION: <input type="text"/>		
CONTRACT EFFECTIVE DATE: <input type="text"/>	CONTRACT TERM: <input type="text"/>	CONTRACT END DATE: <input type="text"/>
PROJECT NAME: <input type="text"/>		
START DATE: <input type="text"/>	END DATE: <input type="text"/>	PAYMENT DATE: <input type="text"/> INSURANCE REQUIRED: NO
CIP PROJECT NAME: <input type="text"/>	CIP PROJECT NUMBER: <input type="text"/>	
STREET DISTRICT NAME (S): <input type="text"/>	STREET DISTRICT NUMBER (S): <input type="text"/>	
ACCOUNTING DISTRIBUTION CODE: <input type="text"/>	ACCOUNT NUMBER: <input type="text"/>	

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this Redevelopment Plan.

ATTACHMENTS:

- | | | |
|-------------------------|-------------------------|-------------------------|
| 1. PC Recommendation | 2. Staff Memo | 3. Resolution 2021-26 |
| 4. <input type="text"/> | 5. <input type="text"/> | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM: _____

FINANCE APPROVAL AS TO FORM: _____

ADMINISTRATOR APPROVAL AS TO FORM: _____

A. Bue Roblin
[Signature]
[Signature]



City of Bellevue
Planning Department

1510 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3026

MEMORANDUM

To: City Council Members
Mayor Rusty Hike
City Administrator Jim Ristow

FROM: Angela Curry, Assistant Planning Manager

DATE: July 26, 2021

RE: Proposed Redevelopment Plan for 1811 Hillcrest Drive

Attached for your review and recommendation is the Redevelopment Plan for Freedom Village, LLC. This plan proposes the redevelopment of the vacant property of Lot 7, Tiller's 4th Addition. This area was previously designated as blighted and substandard by Resolution 2007-09, which was approved by the City Council on March 12, 2007. Approval of the Redevelopment Plan is the next step in the redevelopment process.

The site is approximately 6.18 acres in size and consists of one lot located on the northeast corner of Hillcrest Drive and Highway 370. The lot is undeveloped with concrete parking areas, along the west side of the property along Hillcrest Drive and along the south side abutting Highway 370. The property lacks improvements and has been vacant for many years.

The applicant is proposing redevelopment of the property by rezoning the existing lot to be developed into a 55 and older senior living community. The community will consist of seven 4-plex single family garden homes between 1,050 to 1,287 square feet each with a garage; and a four-story apartment building with 28-units, each unit between 850 and 990 square feet.

The applicant indicates a large retaining wall will be repaired, a broken parking lot will be removed to install new off-street parking, and the access from Harlan Drive will be closed off.

The applicant is estimating the property's valuation to be \$12,500,000 upon completion.

The Redevelopment Plan states there is approximately \$4,401,173 of Tax Increment Financing (TIF) eligible redevelopment costs associated with the project. The applicant is proposing the use of TIF to fund \$2,609,077 of the expenses. The breakdown of costs and data supporting the payback of TIF expenditures is attached to the Redevelopment Plan for your review.

The Planning Department believes this project will be a benefit to the city through the improvement of a blighted and substandard area that has remained vacant and underutilized.

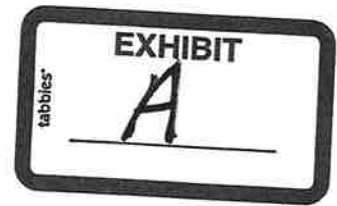
The Redevelopment Plan meets the requirements of Section 18-2111 of Nebraska State Statutes with respect to required plan contents. As required by Nebraska State Statutes, the Planning Department advertised the public hearing on this application twice in local publications and sent notification to the governing bodies of Sarpy County, the Papio-Missouri River NRD, Metropolitan Community College, ESU #3, and the Bellevue Public School District.

PLANNING DEPARTMENT RECOMMENDATION:

The Planning Department recommends approval of the Freedom Village, LLC Redevelopment Plan based on the elimination of a blighted and substandard area, conformance with the requirements of the State Statutes, and the opportunity for redevelopment along the Harlan Drive corridor.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission recommended approval of the Freedom Village, LLC Redevelopment Plan based on the elimination of a blighted and substandard area, conformance with the requirements of the State Statutes, and the opportunity for redevelopment along the Harlan Drive corridor.



FREEDOM VILLAGE

THE REDEVELOPMENT PLAN FOR AN ADULT ACTIVE COMMUNITY AT 1811 HILLCREST DRIVE, LOT 7, TILLER'S 4TH ADDITION, BELLEVUE, NE

JUNE 18, 2021

SUBMITTED BY:

Applicant:

Freedom Village, LLC

1902 Harlan Drive, Bellevue, NE 68005

Attorney:

Larry A. Jobeun

Fullenkamp Jobeun Johnson & Beller, LLP

11440 West Center Road, Omaha, NE 68144

Introduction:

This redevelopment plan proposes to develop 1811 Hillcrest Drive in Bellevue Nebraska, Sarpy County, legally described in **Exhibit A** attached hereto, into an age 55 and older, active adult community. The redevelopment site is immediately to the east of Hillcrest Health and Rehabilitation (post-acute rehab and long-term care of 151 occupants) and south of Harmony Court (independent living for over 100 aging adult occupants) and east of Hillcrest Home Care and Hospice and Innovate Rehab and Wellness. This redevelopment compliments the existing neighborhood of housing and services for aging adults 55 years and older.

The new Freedom Village can be described as a small community of people who desire to live in a 'lock and leave' homestyle environment. Freedom Village consists of two living options. The first is designed as a 4-plex single family garden home (28 homes total). Each ranch style home size is 1050 SF to 1287 SF. Each home has a garage, two bedrooms or bedroom with den, two bathrooms, kitchen, living room, laundry and storage space. The homes face a large green community space that will feature a fire pit area, gazebo reading/conversation area, and BBQ grill with outdoor covered dining area. In addition, Freedom Village will feature a fenced-in dog park and designated garden plots.

The second living option entails a small apartment building featuring 28 individual apartments. Apartments will range in size from 850 SF to 990 SF and have one bedroom with bath, or one bedroom with den, laundry, kitchen, storage, and a balcony/patio. The entry level of the intimate apartment building faces the large open courtyard space and offers a clubhouse for Freedom Village residents. Within the clubhouse is a fireplace room, large group gathering area with a kitchen, and a fitness center. The onsite property manager will have a sales office near the clubhouse. Refer to **Exhibit B** for the Site Plan and apartment renderings.

Site History:

The redevelopment site contains approximately 6.1 acres of vacant land. It was originally farm ground until the early 1970's when a local family developed it into a hotel. The hotel had a number of owners over the years, and in 2008 the then-owner tried to expand the hotel into a water park. That project was ultimately unsuccessful, leaving the ground with a closed and outdated hotel. The Applicant bought the property in 2000 with the understanding that the site was TIF eligible.

The site does pose certain challenges. There is a large elevation change from the property to the east on the northern end on the site. Additionally, an installed retaining wall was customized and designed around the water park that was to be built and is in need of rehabilitation. Finally, the site will need to have an access from Harlan Drive closed off, several yards of broken parking lot removed, new off-street parking installed, all new landscaping, and total re-grading. All utilities will have to be brought from the street.

Site Zoning and Land Use:

The redevelopment site is currently zoned BG – Business General. The Applicant plans to rezone the site as RG-20–PS General Residential, which permits high density multifamily

housing. As previously described, the Applicant plans to develop the existing site into 28 independent adult living conjoined garden homes and a four-story, 28-unit apartment building on the south side of the campus along Harlan Drive. The development will also feature numerous community amenities, including, but not limited to, fire pit, picnic area with grill, dog park, covered reading and relaxation area, and extensive community green space.

Utilities and Infrastructure:

Currently, utility services are located within the public rights-of-way adjacent to the property. However, the Applicant will be incurring costs to improve the entryway to the site and parking along Hillcrest Drive per the Site Plan attached hereto as **Exhibit B**. Additional utility services and public facilities will be added as required by the redevelopment plans and as required by the City.

The Applicant will use TIF to fund the eligible acquisition, site preparation, and public improvement costs as outlined in **Exhibit C** (collectively, the “TIF Eligible Expenses”).

TIF Compliance:

The Applicant’s request meets the necessary requirements for consideration under the Nebraska Community Redevelopment Act. The project will provide attractive new housing for individuals aged 55 and older in the community. The TIF proceeds will be used to cover TIF Eligible Expenses. Additionally, the project will add positive economic growth to the City of Bellevue through new construction jobs. Furthermore, as set forth in the financial proforma attached hereto as **Exhibit D**, the up-front costs associated with the acquisition and development of the proposed site would be prohibitively high without the use of TIF. Therefore, the Applicant requests TIF to help offset the costs in order to make this redevelopment viable.

Substandard and Blighted:

The Nebraska Community Redevelopment Law requires that the site be “Substandard” as defined under Neb. Rev. Stat. Section 18-2103(31) and “Blighted” as defined under Neb. Rev. Stat. 18-2103(3), subsections (a) and (b). The area meets the requirements of the Community Development Law to be declared blighted and substandard by the City of Bellevue and the City declared the same pursuant to Resolution No. 2010-37 dated November 23, 2010, and Resolution NO. 2013-22 dated July 8, 2013.

The cost of the acquisition, public improvements and other TIF eligible expenses are estimated to be \$4,401,173. The itemized cost-breakdown of the TIF eligible expenses is attached hereto as **Exhibit C**. The approval of this redevelopment plan will facilitate the rehabilitation of the proposed site by creating the opportunity for TIF to be used as a financing method to cover some of the TIF eligible expenses.

The Sarpy County assessor shall determine the redevelopment project valuation based upon the fair market valuation of the parcel(s) as of January 1 of the year prior to the year that

the ad valorem taxes are to be divided. The proposed valuation upon full build-out of the site is expected to be approximately \$12,500,000, based upon the site plan attached hereto as **Exhibit B**.

Financing:

The estimated assessed value of the project upon completion is estimated to be \$12,500,000. Consequently, the project will support the TIF request in the maximum principal amount of \$2,609,077, with interest accruing at the rate of 4.50% per annum. The amortization schedule is attached hereto as **Exhibit E**. The remaining project costs will be paid through equity and debt financing.

TIF Cost Benefit Analysis:

The proposed multi-family project provides for development in the area of the City that has remained relatively undeveloped and underutilized. Because of the high cost associated with the development of the project, the rate of return to the Applicant in developing this property is marginal and unacceptable to the Applicant without the use of TIF to defray the TIF Eligible Expenses. It is necessary to implement innovative financing approaches to be used to encourage redevelopment and to support the potential growth that will occur as a result of this and other improvements that are likely to follow within the surrounding area. The following are a list of benefits from the redevelopment of this area through the use of TIF:

- 1) No community public service needs will be generated as a result of this project. The proposed TIF will be used, in part, to offset infrastructure and building improvement costs that are eligible for TIF.
- 2) The use of TIF will not result in tax shifts. The current level of taxes will continue to flow to the current taxing authorities and only the increased value of revenues resulting from the improvements will be applied to the cost of the improvements through the use of TIF
- 3) The development of this site will have a positive impact on employers and employees in the immediate area outside of the site. The architecture and material choices of the project will be aesthetically pleasing, which will result in a positive impact to the traffic in the surrounding area.
- 4) The development of this site will provide additional rental housing in the part of the City.
- 5) The development project would not be economically feasible and would not occur within the proposed site without the use of TIF.
- 6) The project site is to be re-zoned for housing (RG-20-PS) and meets the requirements of the City's Comprehensive Development Plan and City Ordinances as well as the Nebraska Community Redevelopment Law that establishes the process and requirements for the approval of this plan.

Based upon the abovementioned, the applicant respectfully requests TIF in the principal amount of \$2,609,077.

Respectfully Submitted,

Freedom Village, LLC

Exhibit A

LEGAL DESCRIPTION

Lot 7, Tiller's 4th Addition, a Subdivision as surveyed, platted and recorded in Sarpy County,
Nebraska.

Parcel Number: 010449779

Exhibit B
SITE PLAN AND
PROJECT RENDERINGS

(Attached Hereto)



2021-05-14

SCHEMATIC DESIGN
FREEDOM VILLAGE



2021-05-14

VIEW 1 - LOOKING EAST TO READING STRUCTURE AND NEIGHBORHOOD GREEN
FREEDOM VILLAGE



2021-05-14

VIEW 3 - LOOKING SOUTHWEST TO APARTMENT BUILDING
FREEDOM VILLAGE

15

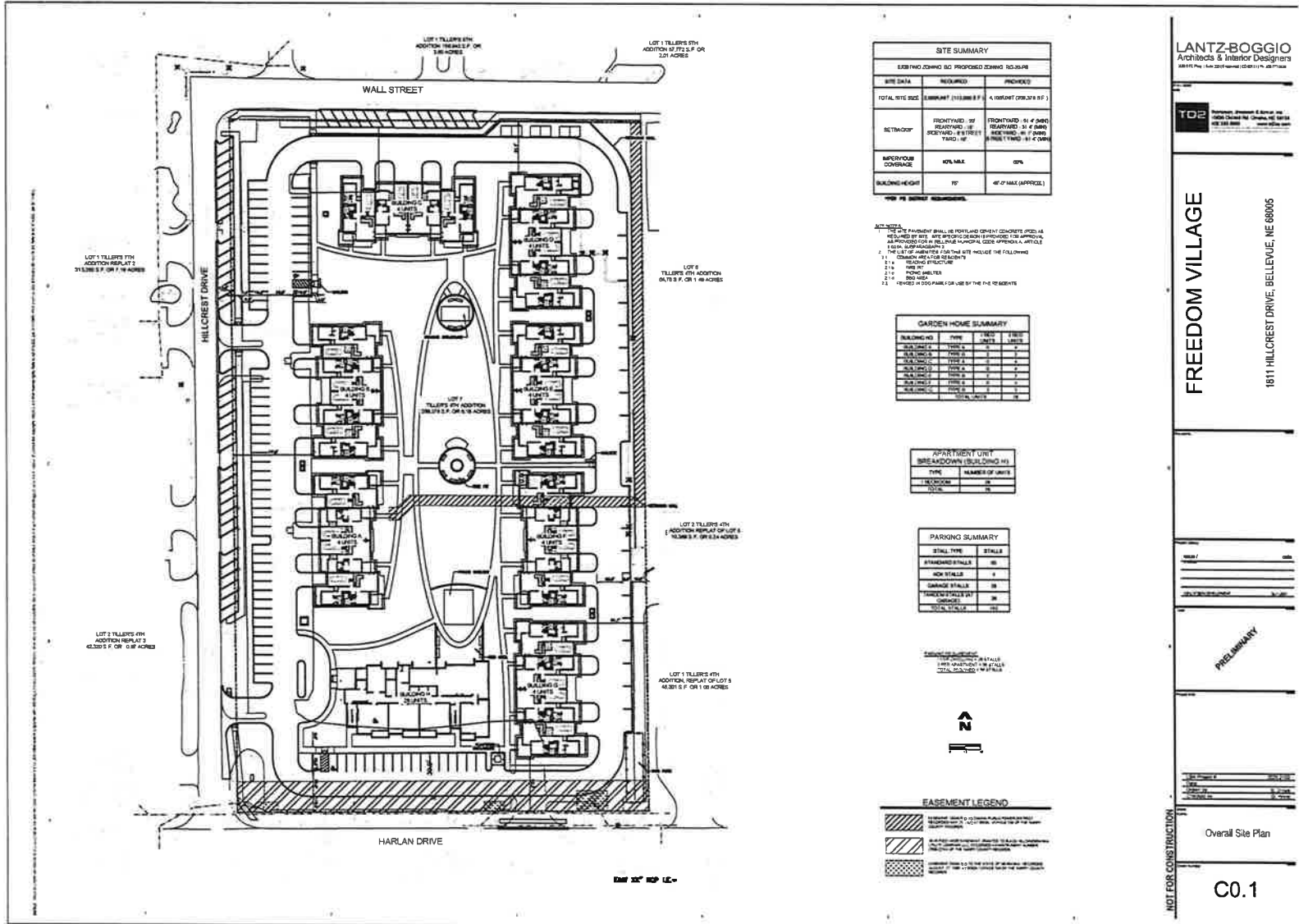


2021-05-14

VIEW 4 - APARTMENT BUILDING ENTRY
FREEDOM VILLAGE

19





SITE SUMMARY			
SUBMITTED DRAWING NO. PROPOSED DRAWING NO. 20-20-108			
SITE DATA	REQUIRED	PROVIDED	
TOTAL SITE SIZE	2,888,817 (113.888 ± AC)	4,168,807 (298.274 ± AC)	
RETRACTOR	FRONT YARD: 30' REAR YARD: 30' SIDE YARD: 5' (STREET) TRAIL: 10'	FRONT YARD: 41' (200') REAR YARD: 31' (200') SIDE YARD: 6' (200') TRAIL: 10' (200')	
MINIMUM CONCERNANCE	0%	0%	
BUILDING HEIGHT	10'	40'-0" MAX (APPROX)	

NOTES:
 1. THE 2" FINISH FLOOR SHALL BE PORTLAND CEMENT CONCRETE (PCC) AS REQUIRED BY SITE. SITE WORKING DESIGN (PROVIDED FOR APPROVAL) AS PROVIDED FOR BY THE LOCAL MUNICIPAL CODE (PERIODICALLY ARTICLE 16.0100 - CONSTRUCTION).
 2. THE LIST OF MATERIALS FOR THIS SITE INCLUDE THE FOLLOWING:
 2.1. CONCRETE FOR CONCRETE
 2.1.1. FINISH FLOOR
 2.1.2. FLOOR SLABS
 2.1.3. FLOOR JOISTS
 2.2. FINISH FLOOR SHALL BE PORTLAND CEMENT CONCRETE (PCC) AS REQUIRED BY SITE.

GARDEN HOME SUMMARY				
BUILDING NO.	TYPE	TOTAL UNITS	REAR YARD UNITS	FRONT YARD UNITS
BUILDING 1	TOWNHOMES	12	0	12
BUILDING 2	TOWNHOMES	12	0	12
BUILDING 3	TOWNHOMES	12	0	12
BUILDING 4	TOWNHOMES	12	0	12
BUILDING 5	TOWNHOMES	12	0	12
BUILDING 6	TOWNHOMES	12	0	12
BUILDING 7	TOWNHOMES	12	0	12
BUILDING 8	TOWNHOMES	12	0	12
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BUILDING 11	TOWNHOMES	12	0	12
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BUILDING 98	TOWNHOMES	12	0	12
BUILDING 99	TOWNHOMES	12	0	12
BUILDING 100	TOWNHOMES	12	0	12

APARTMENT UNIT BREAKDOWN (BUILDING #)		
TYPE	NUMBER OF UNITS	
STUDIO	0	
1-BED	0	
2-BED	0	
3-BED	0	
TOTAL	0	

PARKING SUMMARY	
STALL TYPE	STALLS
STANDARD STALLS	0
ADA STALLS	0
GARAGE STALLS	0
GARDEN STALLS BY OWNER	0
TOTAL STALLS	0

STANDARD STALLS: 18 FT x 10 FT
 ADA STALLS: 18 FT x 10 FT
 GARAGE STALLS: 18 FT x 10 FT
 GARDEN STALLS BY OWNER: 18 FT x 10 FT



EASEMENT LEGEND	
[Symbol]	CONCRETE DRIVEWAY (MINIMUM 12" WIDE) TO BE PROVIDED BY THE OWNER.
[Symbol]	CONCRETE DRIVEWAY (MINIMUM 12" WIDE) TO BE PROVIDED BY THE OWNER.
[Symbol]	CONCRETE DRIVEWAY (MINIMUM 12" WIDE) TO BE PROVIDED BY THE OWNER.
[Symbol]	CONCRETE DRIVEWAY (MINIMUM 12" WIDE) TO BE PROVIDED BY THE OWNER.

LANTZ-BOGGIO
 Architects & Interior Designers
 1811 HILLCREST DRIVE, BELLEVUE, NE 68005

TDB Professional Services Agreement
 1811 Hillcrest Drive, Bellevue, NE 68005
 Tel: 402.476.1111 Fax: 402.476.1112

FREEDOM VILLAGE
 1811 HILLCREST DRIVE, BELLEVUE, NE 68005

PRELIMINARY

Overall Site Plan

C0.1

NOT FOR CONSTRUCTION

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR INSURANCE.

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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/2024
2	REVISIONS	
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LANTZ-BOGGIO
 ARCHITECTS & INTERIORS
 1811 HILLCREST DRIVE, BELLEVUE, NE 68005
 TEL: (405) 233-1111 FAX: (405) 233-1112
 WWW.LANTZ-BOGGIO.COM



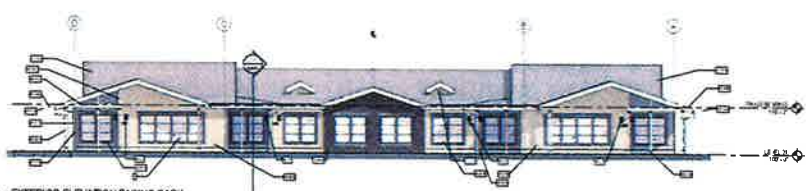
D1 EXTERIOR ELEVATION - SIDE
 10/15/2024



C1 EXTERIOR ELEVATION - SIDE
 10/15/2024



B1 EXTERIOR ELEVATION - GARAGE SIDE
 10/15/2024



A1 EXTERIOR ELEVATION FACING PARK
 10/15/2024

**FREEDOM VILLAGE -
 GARDEN HOME A**

1811 HILLCREST DRIVE, BELLEVUE, NE 68005

NO.	DATE	DESCRIPTION

SHEET NO. 10/15/2024
 PROJECT NO. 24-001
 DATE: 10/15/2024

PRELIMINARY

NOT FOR CONSTRUCTION

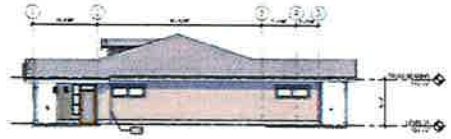
EXTERIOR ELEVATIONS

A-401.A

PROJECT: 181 HILLCREST DRIVE, BELLEVUE, NE 68005
DATE: 03/20/21 10:00 AM
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]
SCALE: AS SHOWN
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	03/20/21
2	ISSUED FOR CONSTRUCTION	03/20/21
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	
11	REVISIONS	
12	REVISIONS	
13	REVISIONS	
14	REVISIONS	
15	REVISIONS	
16	REVISIONS	
17	REVISIONS	
18	REVISIONS	
19	REVISIONS	
20	REVISIONS	

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS IN FEET AND INCHES
3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED



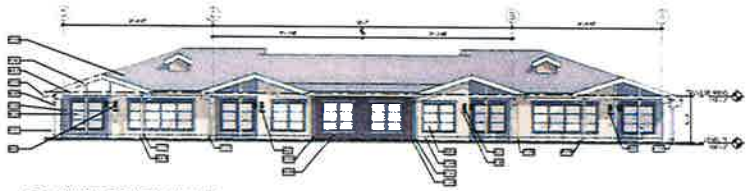
D1 OVERALL WEST ELEVATION
1/4" = 1'-0"



D4 OVERALL EAST ELEVATION
1/4" = 1'-0"



B1 EXTERIOR ELEVATION GARAGE SIDE
1/4" = 1'-0"



A1 EXTERIOR ELEVATIONS PARK SIDE
1/4" = 1'-0"

LANTZ-BOGGIO
ARCHITECTS & INTERIORS
1818 HILLCREST DRIVE, BELLEVUE, NE 68005
TEL: 402.234.1111 FAX: 402.234.1112
WWW.LANTZBOGGIO.COM

**HILLCREST FREEDOM
VILLAGE - GARDEN
HOME B**
1181 HILLCREST DRIVE, BELLEVUE, NE 68005

NO.	DATE	DESCRIPTION

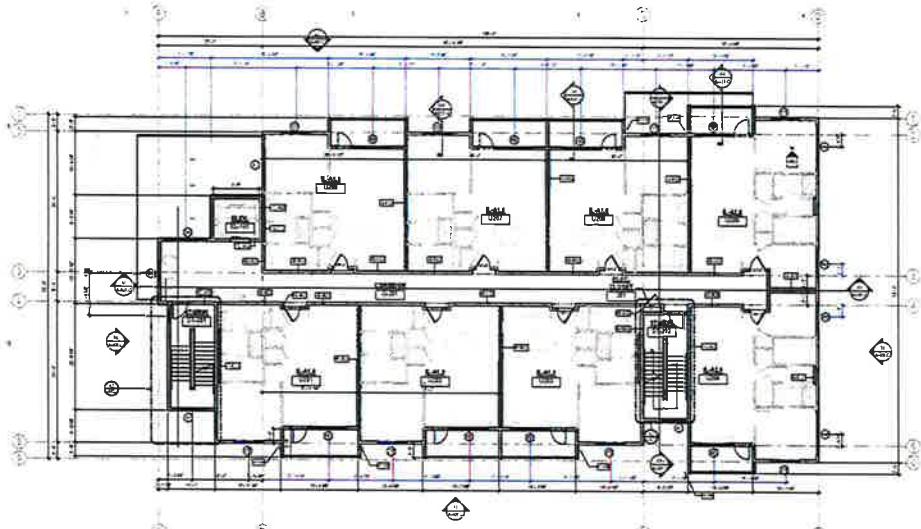
DATE: 03/20/21
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]

PRELIMINARY

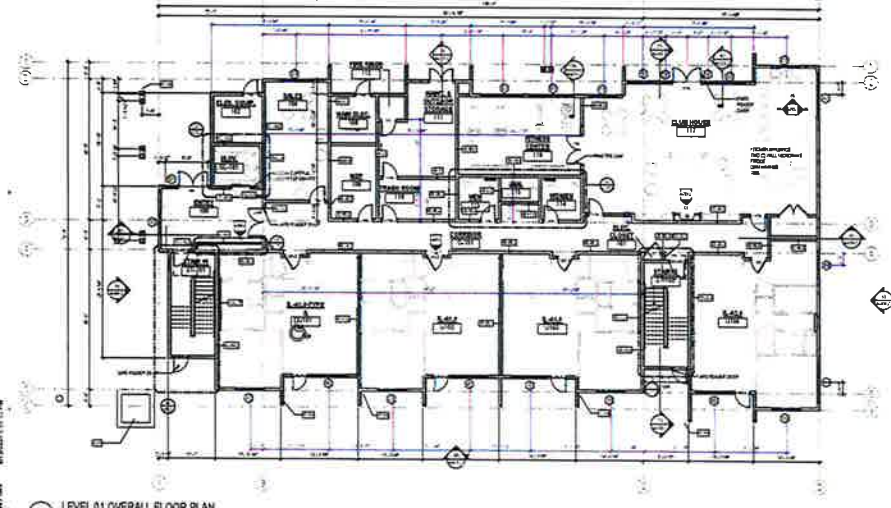
DATE: 03/20/21
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]

EXTERIOR ELEVATIONS

A-401.B



21 LEVEL 02 OVERALL FLOOR PLAN



A1 LEVEL 01 OVERALL FLOOR PLAN

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

DATE	DESCRIPTION

LANTZ BOGGIO
ARCHITECTS & INTERIORS, LLP
1811 HILLCREST DRIVE, BELLEVUE, NE 68005
TEL: 402.476.1100
WWW.LANTZBOGGIO.COM

**FREEDOM VILLAGE
BUILDING C**
1811 HILLCREST DRIVE, BELLEVUE, NE 68005

Rev.	Date	Description

DATE	DESCRIPTION

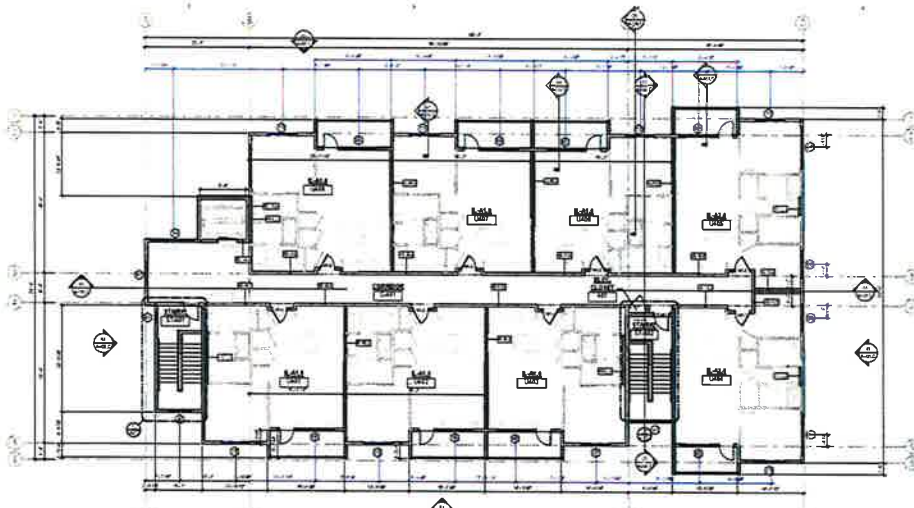
PRELIMINARY

DATE	DESCRIPTION

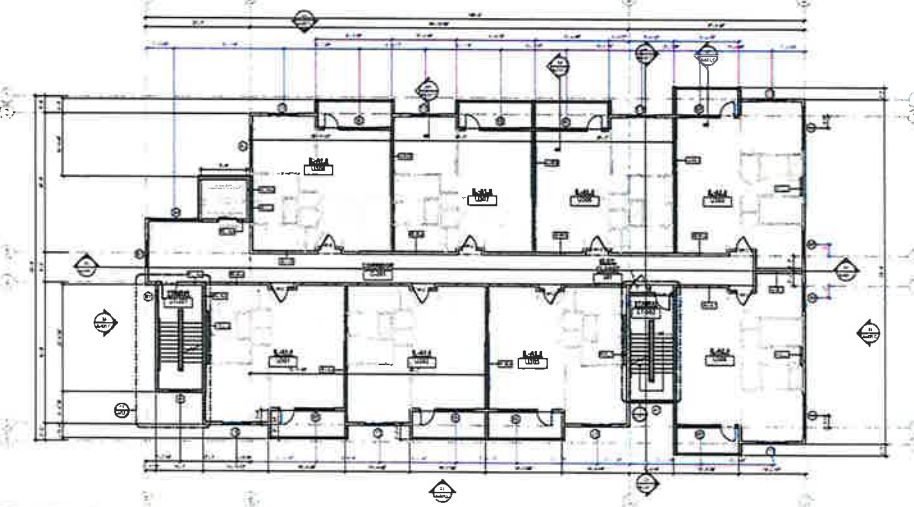
OVERALL FLOOR PLAN - LEVEL 1 & 2

A-210.C

NOT FOR CONSTRUCTION



C1 LEVEL 04 OVERALL FLOOR PLAN



A1 LEVEL 03 OVERALL FLOOR PLAN

- FLOOR PLAN GENERAL NOTES**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
 3. OVERALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
 4. REFER TO THE GENERAL NOTES FOR ALL OTHER NOTES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
 7. REFER TO THE GENERAL NOTES FOR ALL OTHER NOTES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
 9. REFER TO THE GENERAL NOTES FOR ALL OTHER NOTES.

LANTZ-BOGGIO
 ARCHITECTS & INTERIORS
 1811 HILLCREST DRIVE, BELLEVUE, NE 68005

**FREEDOM VILLAGE
 BUILDING C**

1811 HILLCREST DRIVE, BELLEVUE, NE 68005

NO.	DATE	DESCRIPTION

DATE: 10/12/2011
 DRAWN BY: J. BOGGIO
 CHECKED BY: J. BOGGIO

PRELIMINARY

SCALE: AS SHOWN
 PROJECT NO. 10-00000000-0000
 SHEET NO. A-220.C

OVERALL FLOOR PLAN -
 LEVEL 3 & 4

A-220.C

NOT FOR CONSTRUCTION

Exhibit C

TIF ELIGIBLE EXPENSES

(Attached Hereto)

SUMMARY OF TIF ELIGIBLE EXPENSES

The Project: FREEDOM VILLAGE

<u>Description</u>	<u>Costs</u>
Earthwork & Erosion Control	\$245,750
Site Paving	\$416,037
Site Improvements	\$190,753
Landscaping, Irrigation, & Sod	\$181,000
Site Utilities	\$424,500
Architectural Fees	\$501,068
TIF Application Costs/ Legal Fees	\$30,000
Engineering Fees	\$120,000
Construction Contingency	\$331,865
<i>Land Acquisition</i>	\$1,960,200
TOTAL:	\$4,401,173

Exhibit D

PRO-FORMA

(Attached Hereto)



Freedom Village

Exhibit D

Financial Pro Forma

Investment Return

	With TIF	Without TIF
Stabilized Excess Cash	\$ 138,085	\$ 28,826
Equity Investment	2,980,353	2,980,353
Return on Equity	4.6%	1.0%

Financial Pro Forma

Operating Assumptions

Apartment Unit Mix

	# of Units	Mix %	Unit Square Footage	Rent Per Unit	Rent PSF
Garden Home - 2BD/2BA	14	25%	1,250	\$ 2,042	1.63
Garden Home - 1BD/1BA	8	14%	1,287	\$ 2,101	1.63
Apartment - 1BD/1BA	6	11%	1,050	\$ 1,721	1.64
Apartment - 1BD/1BA	21	38%	860	\$ 1,371	1.59
Apartment - 1BD/1BA (888)	7	13%	888	\$ 1,459	1.64
Total/Average	56	100%			

Other Income

Pet Rent Per Unit	\$ 500	18.9%	Growth and Occupancy	
Move In Deposit	\$ 500	100.0%	Rent Growth	3.5%
			Expense Growth	0.2%
			Stabilized Occupancy	96.4%

Expenses:

	Per Unit		
Payroll	\$ 216	Property Taxes	
Administrative	436	Current Taxes	\$ 15,333
Repairs and Maintenance	1,209	Stabilized Taxes	\$ 288,460
Insurance	325	Fees	
Real Estate Taxes	5,169	Management Fee (% of Income)	2.00%
Utilities	158		
Management Fees	417		
Total	\$ 7,929		

Lease Up, Concessions

Pet Fee Income	\$ 500
Move In Fee	\$ 500

**Freedom Village
Statement of Revenues
and Expenses**

	<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>	<u>Year 5</u>
REVENUE					
Independent Living	\$ 867,965	\$ 1,128,516	\$ 1,162,740	\$ 1,203,436	\$ 1,245,556
Other Income	31,500	3,500	3,500	3,500	3,500
TOTAL REVENUE	\$ 899,465	\$ 1,132,016	\$ 1,166,240	\$ 1,206,936	\$ 1,249,056
EXPENSE					
Salaries and Wages	-	-	-	-	-
Employee Benefits	-	-	-	-	-
Supplies and Other Operating	108,910	109,999	110,034	112,235	114,480
Utilities	3,000	3,030	3,031	3,092	3,153
Lease Cost	-	-	-	-	-
Insurance	18,000	18,180	18,186	18,640	19,107
Real Estate Taxes	286,513	289,378	289,471	296,708	304,125
Management Fees	17,989	22,640	23,325	36,208	37,472
Depreciation	418,277	418,277	418,277	418,277	418,277
Interest Expense	317,484	308,826	299,887	290,657	281,127
Amortization Expense	46,282	46,282	46,282	46,282	46,282
Total Expenses	1,216,455	1,216,612	1,208,492	1,222,099	1,224,023
Net Income/(Loss)	\$ (316,990)	\$ (84,596)	\$ (42,252)	\$ (15,163)	\$ 25,033
Net Operating Income	\$ 465,053	\$ 688,789	\$ 722,193	\$ 740,053	\$ 770,719
Debt Service	\$ 584,109	\$ 584,109	\$ 584,109	\$ 584,109	\$ 584,109
Debt Service Coverage		1.18	1.24	1.27	1.32
Rent Per Unit	\$ 1,695	\$ 1,742	\$ 1,794	\$ 1,863	\$ 1,928
Operating Expense Ratio	83.6%	66.4%	63.8%	62.8%	60.8%
Expense Growth Rate		0.0%	-0.7%	1.1%	0.2%

Exhibit E

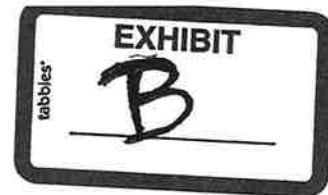
AMORTIZATION SCHEDULE

(Attached Hereto)

LOT 1 TIF LOAN

Year	Period	Year	TIF Pay Out	Interest	Pay Down	Balance	Capitalized Interest
2022	1	0.5	-	50	50	(\$2,380,836)	\$53,705
2022.5	2	1	-	50	50	(\$2,440,632)	\$54,514
2023	3	1.5	-	50	50	(\$2,501,684)	\$55,349
2023.5	4	2	-	50	50	(\$2,603,077)	\$57,419
2024	5	2.5	(133,840)	558,704	\$74,936	(\$2,534,141)	\$0
	6	3	(133,840)	557,318	\$75,822	(\$2,471,518)	\$0
	7	3.5	(133,840)	555,294	\$78,346	(\$2,379,720)	\$0
	8	4	(133,840)	551,551	\$80,109	(\$2,291,053)	\$0
	9	4.5	(133,840)	551,729	\$81,811	(\$2,217,152)	\$0
	10	5	(133,840)	549,886	\$83,754	(\$2,133,397)	\$0
	11	5.5	(133,840)	548,701	\$85,639	(\$2,047,758)	\$0
	12	6	(133,840)	546,373	\$87,566	(\$1,960,193)	\$0
	13	6.5	(133,840)	544,104	\$89,536	(\$1,870,656)	\$0
	14	7	(133,840)	542,090	\$91,551	(\$1,779,105)	\$0
	15	7.5	(133,840)	540,350	\$93,611	(\$1,685,435)	\$0
	16	8	(133,840)	537,824	\$95,717	(\$1,589,728)	\$0
	17	8.5	(133,840)	535,570	\$97,870	(\$1,492,938)	\$0
	18	9	(133,840)	533,568	\$100,072	(\$1,395,835)	\$0
	19	9.5	(133,840)	531,816	\$102,324	(\$1,298,511)	\$0
	20	10	(133,840)	529,314	\$104,626	(\$1,194,885)	\$0
	21	10.5	(133,840)	526,960	\$106,980	(\$1,077,924)	\$0
	22	11	(133,840)	524,753	\$109,388	(\$968,517)	\$0
	23	11.5	(133,840)	521,792	\$111,849	(\$856,668)	\$0
	24	12	(133,840)	518,975	\$14,363	(\$742,303)	\$0
	25	12.5	(133,840)	516,302	\$16,702	(\$625,354)	\$0
	26	13	(133,840)	514,071	\$19,570	(\$505,784)	\$0
	27	13.5	(133,840)	511,380	\$122,260	(\$383,534)	\$0
	28	14	(133,840)	\$8,530	\$125,011	(\$139,533)	\$0
	29	14.5	(133,840)	\$5,817	\$127,824	(\$130,750)	\$0
	30	15	(133,840)	\$2,341	\$130,700	\$0	\$0
			(3,474,651)	\$3,474,651			

PV of TIF Payments (\$2,389,896)



City of Bellevue

PLANNING COMMISSION RECOMMENDATION

APPLICANT: Freedom Village, LLC

CASE #: ECD-50

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: for redevelopment of Lot 7, Tiller's 4th Addition.

On July 22, 2021, the City of Bellevue Planning Commission voted five yes, zero no, two absent and one abstained:

APPROVAL of the Freedom Village, LLC Redevelopment Plan based on the elimination of a blighted and substandard area, conformance with the requirements of the State Statutes, and the opportunity for redevelopment along the Harlan Drive corridor

VOTE:

Yes:	Five:	No:	Zero:	Abstain:	One:	Absent:	Two:
	Casey				Aerni		Perrin
	Ritz						Cutsforth
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14c. and 14c1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager		
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>		
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>		
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Request to approve the Redevelopment Plan for Lot 7, Tiller's 4th Addition. Applicant: Freedom Village, LLC General Location: 1811 Hillcrest Drive.

SYNOPSIS/BACKGROUND:

Freedom Village, LLC is requesting approval of a redevelopment plan for Lot 7, Tiller's 4th Addition. The 6.18 acres site is located at the northeast corner of Hillcrest Drive and Highway 370. The plan proposes redevelopment of the existing property by rezoning the lot to be developed into a 55 and older senior living community. The community will consist of seven 4-plex single family garden homes between 1,050 to 1,287 square feet each with a garage; and a four-story apartment building with 28 units, each unit between 850 and 990 square feet. As part of the redevelopment plan, the applicant is requesting approval of \$4,401,173 in Tax Increment Financing.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO <input type="text"/>	COUNTER-PARTY: <input type="text"/>	INTERLOCAL AGREEMENT: NO <input type="text"/>
CONTRACT DESCRIPTION: <input type="text"/>		
CONTRACT EFFECTIVE DATE: <input type="text"/>	CONTRACT TERM: <input type="text"/>	CONTRACT END DATE: <input type="text"/>
PROJECT NAME: <input type="text"/>		
START DATE: <input type="text"/>	END DATE: <input type="text"/>	PAYMENT DATE: <input type="text"/>
		INSURANCE REQUIRED: NO <input type="text"/>
CIP PROJECT NAME: <input type="text"/>	CIP PROJECT NUMBER: <input type="text"/>	
STREET DISTRICT NAME (S): <input type="text"/>	STREET DISTRICT NUMBER (S): <input type="text"/>	
ACCOUNTING DISTRIBUTION CODE: <input type="text"/>	ACCOUNT NUMBER: <input type="text"/>	

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this Redevelopment Plan.

ATTACHMENTS:

- | | | |
|-------------------------|-------------------------|-------------------------|
| 1. PC Recommendation | 2. Staff Memo | 3. Resolution 2021-26 |
| 4. <input type="text"/> | 5. <input type="text"/> | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM: _____

FINANCE APPROVAL AS TO FORM: _____

ADMINISTRATOR APPROVAL AS TO FORM: _____

A. Bue Roblin
[Signature]
[Signature]

RESOLUTION 2021-26

WHEREAS, Freedom Village, LLC, is the developer of certain real property currently situated within the corporate limits of the City of Bellevue ("City"), legally described as Lot 7 Tiller's 4th Addition, Sarpy County, Nebraska ("Redevelopment Project Area"); and

WHEREAS, the Redevelopment Project Area is situated within an area previously designated by the Bellevue City Council as blighted and substandard and in need of redevelopment as such terms are defined and contemplated by the Nebraska Community Development Law (Sections 18-2103(3) and 18-2103(31) et seq., R.R.S. Neb.) (the "Act"); and

WHEREAS, Freedom Village, LLC has submitted the Redevelopment Project Plan for the Redevelopment Project Area ("Redevelopment Plan") to the Council for its approval as the authority and the governing body of the City (as such terms are contemplated by the Act) for the redevelopment of the Redevelopment Project Area; and

WHEREAS, the Redevelopment Plan is attached to this Resolution as Exhibit "A"; and

WHEREAS, the Redevelopment Plan anticipates the redevelopment of land with new residential units to be used for multi-family residential use, and other property improvements as shown in Exhibit "A" (the "Redevelopment Project"); and

WHEREAS, the Redevelopment Plan contemplates that the Redevelopment Project shall be the sole responsibility of, and shall be undertaken and completed at the sole cost and expense of Freedom Village, LLC.; and

WHEREAS, it is further anticipated that, when completed, the Redevelopment Project will result in an approximately \$11,820,000 increase in the current assessed valuation of the Redevelopment Project Area, and will also enhance the potential for increases in commercial and other desired development within the surrounding vicinity of the Redevelopment Project Area; and

WHEREAS, the Redevelopment Plan contemplates that pursuant to the covenants, terms and conditions of a redevelopment agreement among the City, Freedom Village, LLC and such other parties as shall be appropriate, the City will issue such appropriate tax increment financing instruments as City shall deem to be appropriate, at the cost of Freedom Village, LLC., in an amount not to exceed the principal sum of \$4,401,173 which, if fully paid, will reimburse Freedom Village, LLC for costs incurred in furtherance of those eligible Project improvements that are identified in the Plan and the Redevelopment Agreement from the increase in ad valorem real estate taxes levied upon the Redevelopment Project Area over a period of not more than fifteen (15) years from the effective date of the Redevelopment Plan as contemplated by the Act; and

WHEREAS, the Redevelopment Plan contemplates that the tax increment financing instruments to be issued in furtherance of the Redevelopment Project will be fully retired within fifteen (15) years from the effective date of the Redevelopment Plan as a result of the anticipated increase in the assessed value of the Redevelopment Project Area alone (by the payment of the corresponding increase in ad valorem real estate taxes to be levied upon Redevelopment Project Area); and

WHEREAS, following a public hearing convened by the Bellevue Planning Commission pursuant to and in accordance with Section 18-2115 of the Act, the Bellevue Planning Commission concluded that the Redevelopment Plan was in conformity with the general plan for the development of the City and otherwise in conformity with the Act and recommended that this Council approve the Redevelopment Plan, such recommendation being attached to this Resolution in the form of Exhibit "B"; and

WHEREAS, following a public hearing convened in accordance with the requirements of Section 18-2115 of the Act, and in consideration of all information therein presented together with such other information as this Council has determined to be appropriate, this Council finds:

- (a) The Redevelopment Plan is in conformity with the general plan for the development of the City and otherwise in conformity with the legislative declarations and determinations of the Act;
- (b) The Redevelopment Project would not be economically feasible without the use of tax-increment financing;
- (c) The Redevelopment Project would not occur in the Redevelopment Project Area without the use of tax-increment financing;
- (d) The costs and benefits of the Redevelopment Project, including costs and benefits to other affected political subdivisions, the economy of the City, and the demand for public and private services are in the long-term interest of the City, its residents and taxpayers and the Redevelopment Project Area; and
- (e) The cost-benefit analysis for the Redevelopment Project, including that analysis identified and discussed in the Redevelopment Plan, i.e.
 - (i) Tax shifts resulting from the approval of the use of funds pursuant to Section 18-2147 of the Act;
 - (ii) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the Redevelopment Project;
 - (iii) Impacts on employers and employees of firms locating or expanding within the boundaries of the Redevelopment Project Area;
 - (iv) Impacts on other employers and employees within the City and the immediate areas that are located outside the Redevelopment Project Area; and
 - (v) Such other impacts determined by this Council, as the Redevelopment Authority and governing body of the City to be relevant to the consideration of costs and benefits arising from the Redevelopment Project,

sufficiently demonstrates to this Council that approval of the Redevelopment Project as outlined in the Redevelopment Plan is in the best interest of the City, its residents and taxpayers, subject to the execution and delivery of a Redevelopment Agreement (and other related agreements) among the Freedom Village, LLC and such other appropriate parties, containing covenants, terms and conditions as shall be necessary or appropriate.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL of the City of Bellevue as follows:

1. That the Redevelopment Plan should be and hereby is approved subject to the due execution and delivery of a Redevelopment Agreement and other appropriate agreements by and among the City, Freedom Village, LLC, and such other parties as shall be appropriate, to be first approved by this City Council, which agreement(s) shall implement the Redevelopment Plan and set forth the covenants, terms, conditions and other appropriate provisions by which any tax increment financing instruments shall be issued and by which the Redevelopment Project shall be effected.
2. That, subject to the due execution and delivery of a Redevelopment Agreement and other appropriate agreements by and among the City, Freedom Village, LLC, and such other parties as

shall be appropriate, to be first approved by this City Council, the appropriate City officers, employees and agents shall undertake all such acts as shall be necessary or appropriate to implement the Redevelopment Plan or to otherwise allow for the Redevelopment Project.

PASSED AND ADOPTED THIS 17TH DAY OF August, 2021.

Rusty Hike, Mayor

ATTEST:

Susan Kluthe, City Clerk

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14d. and 14d1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request to approve the 2021 Comprehensive Plan update.

SYNOPSIS/BACKGROUND:

The Planning Department periodically reviews and updates the Comprehensive Plan to keep up-to-date with development in the City's zoning jurisdiction. The attached memo details the proposed updates.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this Comprehensive Plan update.

ATTACHMENTS:

1. PC Recommendation	2. Staff Report	3. Proposed Resolution 2021-27
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

A. Breyer
Tammi Palm
Tammi Palm

City of Bellevue

PLANNING COMMISSION RECOMMENDATION

APPLICANT: City of Bellevue

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to amend the Comprehensive Plan to include the Growth Management Plan of the Sarpy County and Cities Wastewater Agency.

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

APPROVAL based upon adoption of Resolutions 2021-13 and 2021-016.

VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Perrin
	Aerni						Cutsforth
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021



City of Bellevue

Planning Department

1510 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3026

MEMORANDUM

To: City Council
Mayor Rusty Hike
City Administrator Jim Ristow

FROM: Tammi Palm, Planning Manager

DATE: July 26, 2021

RE: Comprehensive Plan Amendment

The Sarpy County and Cities Wastewater Agency was created on September 19, 2017. The city adopted the Agency's Growth Management Plan on May 18, 2021. In doing so, the city agreed to incorporate the Growth Management Plan into our Comprehensive Plan.

Staff is proposing to incorporate new language into Section 3.2 Preferred Development Concept under "Papillion Creek Drainage Basin" to address this requirement. The new language would read as follows:

The Sarpy County and Cities Wastewater Agency ("Agency") was created on September 19, 2017. The city adopted the Agency's Growth Management Plan in May 2021. An interlocal agreement between the Agency and the City of Bellevue for the operation of Bellevue sewer services located within the agency's jurisdiction has also been approved. As a result, the Growth Management Plan set forth by the Agency will be incorporated as part of this plan.

Attached Exhibit "A" is the proposed updated language in Section 3.2. Exhibit "B" is the Growth Management Plan for reference.

PLANNING DEPARTMENT RECOMMENDATION:

APPROVAL based upon adoption of Resolutions 2021-13 and 2021-016.

PLANNING COMMISSION RECOMMENDATION:

APPROVAL based upon adoption of Resolutions 2021-13 and 2021-016



opportunities are needed. Bellevue's Preferred Development Concept was designed to achieve these goals.

Papillion Creek Drainage Basin

Bellevue and its ETJ area is contained almost entirely within the Papillion Creek Basin. The natural contour and topography of the Papillion Creek Basin gradually slopes toward the Missouri River. Growth boundaries flow gradually in the same direction as the basin boundaries and ridgelines. Developed areas must have infrastructure and services (i.e., sewer and water). Pumping wastewater uphill or across a ridgeline into another drainage basin can be expensive. Therefore, a basin that already has sewer and water service should be completely developed before developing an adjacent basin. Eventually, Bellevue's growing population base, in tandem with market forces, will require the development of land that is located southwest of the ridgeline, within the Platte River Basin. The Bellevue Preferred Development Concept acknowledges these trends and, therefore, includes land-use development suggestions for this area. However, Bellevue should first maximize development potential within the existing Papillion Creek Basin before extending development into the Platte River Basin. Future Platte River Basin development will require pump stations to carry wastewater back to the Papillion Creek Basin or to new wastewater treatment plants.

Available Land for Infill Development

Land Use Type	Area Inside City Limits	% of Area Inside City
Open Space	511.5	6.9%
Vacant Lots	294.7	3.9%
Agriculture	315.9	4.2%
Sub Total	1,122.1	15.0%
Total	7,382.4	

Table 3-2: Available Land for Infill Development

A thorough wastewater study of Sarpy County was recently completed, and the report includes both short-term and long-term recommendations. The preferred development concept abides by the recommendations and suggestions contained in that report.

The Sarpy County and Cities Wastewater Agency ("Agency") was created on September 19, 2017. The city adopted the Agency's Growth Management Plan in May 2021. An interlocal agreement

between the Agency and the City of Bellevue for the operation of Bellevue sewer services located within the agency's jurisdiction has also been approved. As a result, the Growth Management Plan set forth by the Agency will be incorporated as part of this plan.

Infill Development

Bellevue has not grown in a consistently concentric manner. Natural growth impediments like the Missouri River and the Papio Creek floodplain, along with Offutt's AICUZ, have contributed to an amorphous growth pattern. Generally speaking, Olde Towne and the Bellevue Boulevard area developed first. Northwest Bellevue and south Omaha represented the next growth tier. Most of the recent growth has occurred to the west and to the south. The development pattern is logical when looking at Bellevue's growth constraints. However, Bellevue is somewhat unique because large swaths of undeveloped land remain within the city limits. Developers, in response to market forces, built on virgin land outside the city limits instead of developing all or most of the available land within the city. The large number of vacant parcels within Bellevue's city limits has impacted Bellevue's community character, tax base, transportation corridors, and the continuity of development.

The land-use survey indicated that 15 percent of the land within Bellevue's city limits is either vacant, open space, or used for agriculture. This land use is not wrong, but this high percentage of undeveloped land within the city limits affects the tax base. Developing land within Bellevue's city limits, before developing the ETJ area, offers various benefits, including a larger tax base, efficient use of existing infrastructure, and a more compact development pattern.

The results of the Bellevue Comprehensive Plan survey indicated that Bellevue residents are frustrated with Bellevue's current tax rate. Question three of the survey asked, "What are the top three things you like least about Bellevue?" The most prevalent response was "Taxes." Additional development within the city limits will increase the City of Bellevue's tax base and can improve its fiscal status. Although lower taxes are not a guarantee, infill development within Bellevue could have a beneficial effect on the city's tax rate.

The results also indicate that Bellevue residents support development that uses existing infrastructure and public services. Nearly 85 percent of respondents "Strongly agreed" or "Agreed" with the statement, "I believe that the redevelopment of land served by existing infrastructure and public services is important." Additionally, strong support was found for efficient development patterns that



SARPY COUNTY AND CITIES WASTEWATER AGENCY
GROWTH MANAGEMENT PLAN

Effective June 26, 2019

Adopted by Sarpy County and Cities Wastewater Agency on June 26, 2019 Pursuant to Resolution No. 2019-004

Amended on February 26, 2020 Pursuant to Resolution No. 2020-004

Overview

This Growth Management Plan (the "Plan") provides an overall framework for the suburban/urban development of a portion of southern Sarpy County (the "County") to be served by a unified sanitary sewer system owned and operated under the auspices of the Sarpy County and Cities Wastewater Agency (the "System"). The Plan identifies areas intended to be served by the System as well as growth zones intended to manage development in phases.

The Agency and its Individual Members agree that the System's design, phasing and operation are intended to achieve the following objectives:

- Enable future development while limiting it to areas that can be served by sanitary wastewater facilities and other necessary public infrastructure, facilities and services.
- Encourage economic development in the County through targeted public infrastructure development.
- Provide support for the Future Land Use plans and related infrastructure and service plans of each Agency Member.
- Consider market demand while providing predictability for private investment.
- Support projects that provide County-wide benefit.
- Reflect holistic public infrastructure, facility and service needs and impacts.
- Ensure that those who benefit from the System contribute to its development, operation and maintenance.

To achieve these objectives, the Agency and its Members intend to adopt this Plan and, separately, the policies and procedures required to implement it. The Agency may periodically update this Plan, the Growth Zones (as defined below) and the implementing policies and procedures.

Growth Management Area

The Service Area map (Figure 1) depicts the "Service Area" covered by the Growth Management Plan. Land within this area (the "Growth Management Area") is intended to be

developed to a suburban/urban density, defined as development that requires municipal water and sanitary sewer service. Land outside of the Growth Management Area and outside of the Papillion Creek Watershed is restricted to lower-density development that can be accommodated through individual or small-scale well and septic systems.

Growth Zones

The Growth Management Area comprises two “Growth Zones” that manage where and how new development occurs within the Growth Management Area: (1) the Urban Reserve Zone (“URZ”), which limits growth in areas not currently served with sanitary sewer and other public utilities but which can be served in the future; and (2) the Urban Development Zone (“UDZ”), which provides opportunity for immediate investment and development and which best supports urban and suburban-scale densities with corresponding infrastructure extensions.

The URZ’s purpose is to ensure that sufficient land is available to accommodate projected demand for future urban development. Further, given the cost of the infrastructure needed to support such development, it is critical that enough land is reserved within the URZ to accommodate the density of development needed to pay for the sewers, streets, utilities and other infrastructure required to serve the new urban development. As urban scale infrastructure (sanitary sewer, roads, etc.) becomes available on the periphery of the URZ, the Agency should assess the phased transition of watersheds to the UDZ.

The Growth Zone map (Figure 2) depicts the boundaries of each Growth Zone. Boundary adjustments will be made in accordance with policies and procedures set forth by the Agency and will support the Agency’s objective of ensuring any development occurring within the URZ is consistent with infrastructure development plans and availability within the UDZ. Criteria considered by the Agency in evaluating boundary adjustment requests to include portions of the URZ in the UDZ may include:

- Will the property in question be served by sanitary interceptor sewers and other infrastructure necessary to support urban-scale development?
- Can the property be served by industry-standard depth gravity flow to an existing municipal sanitary sewer line in the UDZ?
- Is there a factual error in the delineation of the URZ boundary?

If a boundary adjustment request meets one or more of the criteria set forth above, the Agency should consider adjusting the URZ boundary to incorporate the property in question into the UDZ and update the Growth Zone map accordingly.

This Growth Management Plan does not supersede each Member’s planning approval jurisdiction.

GROWTH MANAGEMENT PLAN IMPLEMENTING POLICIES AND PROCEDURES

Effective August 26, 2020

Adopted by Sarpy County and Cities Wastewater Agency on August 26, 2020 Pursuant to Resolution No. 2020-013

I. Purpose

The policies and procedures set forth herein (collectively, these "Policies") are intended to and do effectuate the Growth Management Plan adopted by the Sarpy County and Cities Wastewater Agency (the "Agency") on June 26, 2019 pursuant to Resolution No. 2019-004 and amended on February 26, 2020 pursuant to Resolution No. 2020-004 (as amended, the "Growth Management Plan") to guide suburban and urban development within the Agency's jurisdiction in southern Sarpy County depicted as the "Service Area" on Figure 1 attached hereto (the "Agency's Jurisdiction") to be served by a unified sanitary sewer system owned and operated under the Agency (the "System"). The Growth Management Plan is incorporated herein by this reference.

II. Amendments

The Agency Board may establish and adopt such additional procedures as it deems necessary and appropriate to effectuate these policies and procedures.

III. Policies

The following policies, as adopted by the Agency and its individual members (individually, a "Member"; collectively, "Members"), applies to property within the designated Urban Reserve Zone ("URZ") and Urban Development Zone ("UDZ"), as depicted on the Growth Zone map attached hereto as Figure 2.

A. URZ Policies:

1. Standard suburban/urban/industrial development requiring municipal water and/or sewage treatment services will not be allowed in the URZ until individual watersheds are included within the UDZ and "opened" for development as part of the phased extension of sanitary sewer service from the UDZ, unless otherwise provided in these Policies.
2. New development in this zone will be limited except as may be allowed by the applicable Member's large acreage and build-through or similar type of zoning and/or subdivision regulations. For Members that do not have a large acreage, build-through or similar type zoning and/or subdivision regulations, developments in those Members' zoning and planning jurisdiction shall adhere to Sarpy County's corresponding regulations.

3. **New developments in this zone must provide for arterial street connections and through-street connections and adequate easements for future utility extensions. Such future extensions cannot be altered, blocked or denied. The applicable Members shall follow their respective street connection plans or similar type policies. For Members that do not have such plans or policies, those Members shall follow Sarpy County's street connection plan.**
4. **Prior to a Member's approval of a final plat for any tract, parcel or lot within the URZ, there must be a Member Agreement for such tract, parcel or lot.**
5. **If development is permitted in these areas it should be designed in a way that minimizes impact on surrounding uses and allows for future suburban/urban/industrial development, i.e. cluster development.**
6. **The URZ should be periodically monitored/evaluated for adjustment by the Agency. As urban scale infrastructure (sanitary sewer, roadways, and other improvements) becomes available on the periphery of the URZ, the Agency may assess the phased transition of watersheds located in the URZ to the UDZ.**
7. **If a Member determines that standard suburban/urban/industrial development should occur within a portion of the URZ located within that Member's planning and zoning jurisdiction, that Member may allow such standard suburban/urban/industrial development consistent with the following procedure, unless waived or otherwise agreed to by the Agency Board in writing:**
 - (a) **Such Member must notify the Agency Administrator in writing that it desires to pursue a Member Agreement (defined below) to allow standard suburban/urban/industrial development in the URZ;**
 - (b) **The Agency pays for and commissions from its financial advisor(s) a new study of the potential adverse impact of such development within the URZ to the System's anticipated capacity, function and connection fees if such development were to occur. The Member shall provide the Agency's financial advisor(s) with all pertinent information reasonably requested by said advisor(s) related to the proposed standard suburban/urban/industrial development in order for the advisor(s) to conduct such a study;**
 - (c) **Prior to such impact study being conducted, (i) a preliminary plat of such proposed standard suburban/urban/industrial development must have previously been submitted to the Member's planning and zoning board, and (ii) the Member requesting the Agency impact study must pay to the Agency one-half of the cost for the same;**

- (d) In the event the Member disagrees with the results of the Agency's impact study, such Member may, at the Member's sole cost and expense, obtain a separate study on the potential adverse impact of such development in the URZ. If the Member elects to obtain a separate impact study, it shall provide a copy of the same to the Agency Administrator. The Agency is under no obligation to accept, consider, adopt or incorporate any portion of such Member's impact study, and the Agency Board retains the authority to determine the adverse impact of such development in the URZ in its sole and absolute discretion; and
- (e) The Agency and such Member enter into a written agreement (a "Member Agreement") pursuant to which such Member agrees to compensate the Agency for and make other accommodations necessary to eliminate any adverse impact as determined by the Agency's impact study. If the Member agrees to compensate the Agency for and otherwise eliminate the potential impacts to the System capacity, function and connection fees as determined by the impact study, then the Agency cannot deny or delay approval of the Member Agreement.

- 8. To the extent feasible and agreed to by the Agency and the applicable Member, the Member Agreement may include provisions permitting the developer of such land to be reimbursed by such Member or other future developments in connection with the developer's pioneering of the construction and payment of non-interceptor sewer infrastructure.

B. *UDZ Policies:*

- 1. Development in these areas must be served with public infrastructure, facilities, utilities and services in a manner that is coordinated with the appropriate Member jurisdictions.
- 2. Development must follow the Agency's technical advisor's sewer flow and revenue assumptions for the land within the UDZ and the Agency's Growth Management Plan. In general, it is assumed that the future land use pattern in the Agency's Jurisdiction will be urban, suburban, or industrial in character and density.
- 3. If a Member approves a development within the UDZ that is not urban, suburban or industrial in character and density, such development shall be subject to a connection fee on a per acre basis as set forth in the Agency's rate and fee schedule then in effect. If, however, such Member does not want to assess a connection fee on a per acre basis, the procedure set forth in Section III(A)(7) above shall be followed to determine the adverse impact of such development and the Member's agreement to compensate the Agency for the same.

- C. *Policies Applicable to Unique Developments:* If a Member notifies the Agency of a development in its zoning and planning jurisdiction that such Member does not otherwise support pursuant to subsections (B) or (C) above, and only after such Member used good faith efforts to reach an agreement with the applicable developer with respect to connection fees, user rates and other considerations applicable to such development not otherwise addressed in this Section III or set forth in the Growth Management Plan, the Agency agrees to waive the connection fees otherwise payable to the Agency applicable to such development in accordance with the Agency's rate and fee schedules then in effect.

IV. Boundary Adjustment Procedures and Criteria

Although it is not encouraged, a limited amount of development may be allowed within the URZ prior to the installation of infrastructure necessary to support urban development. However, it is important that any such interim development provides for future sewer and utility easements and follows applicable Agency and Member policies for arterial and internal street connections.

In addition, it is important that any such development reserves sufficient land for future urban development. Such steps will ensure that future urban development can be supported and fit seamlessly with earlier development. To ensure that sufficient land is set aside and that proper connections and easements are provided, any development approved by the Agency in the URZ in accordance with the Agency's policies and procedures shall adhere to build-through regulations comparable to those of Sarpy County with respect to the level of sewer flows and revenue generated by such development or the applicable Member's similar type regulations, whichever is more restrictive and promotes the most dense development.

A. *Agency Boundary Updates:*

1. Following the initial adoption of the Growth Management Plan and establishment of the URZ and UZ boundaries by the Agency, the Agency shall set aside a portion of the fees collected from development for future updates to the Growth Management Plan. This update shall occur every 4-5 years or sooner if market conditions require. The update shall follow the same process as the initial adoption of the plan, as follows:
 - (a) Document and review historic development data and trends in the Agency's Jurisdiction and the surrounding metropolitan area
 - (b) Review all plans for the area and ensure that those plans and the new growth management plan are compatible.
 - (c) Analyze current market conditions and estimate future development needs.

- (d) Review actual revenue from various sources and estimate revenue based on future development patterns and trends.
- (e) Review potential watersheds for a shift from the URZ to the UDZ and estimate costs.
- (f) Consider not only the sewer costs but also the cost of other needed public infrastructure, utility, facility and service costs.
- (g) Based on this analysis identify preferred watershed(s), if any, that are needed to accommodate new development, to be included in the UDZ. Calculate the revenue adjustments needed to pay for the necessary improvements.
- (h) Meet with the Member jurisdictions, development community, business community and public, to develop the proposed changes, costs and financing plan.
- (i) Based on input from these interested parties prepare a final boundary plan for approval by the Agency Board and adoption by the applicable Member jurisdictions.

B. *Boundary Adjustment Requests:* The following section outlines the process and criteria for adjusting the Urban Reserve Zone and Urban Development Zone boundaries following a special request by an Agency Member.

1. Requests for boundary adjustments by an Agency Member should be made in writing to the Agency Administrator stating the reason or reasons for the adjustment. The Agency Administrator will transmit the request to the Board as a Growth Management Plan amendment for appropriate action.
2. In considering the request for a boundary adjustment, the Agency Board should inquire whether the following criteria can be met:
 - (a) The applicable Member and/or developer must have taken the necessary steps to ensure that a portion of the URZ will be served by municipal sanitary interceptor sewers and other infrastructure necessary to support urban development.
 - (b) The applicant can show that there is a factual defect in the delineation of the Urban Reserve Zone boundary line.
 - (c) A developer can show that after the proposed grading of a portion of its plat that is within the URZ, the property can be served by industry standard depth gravity flow to an existing municipal sanitary sewer line in the Urban Development Zone (UDZ).
 - (d) Any other criteria not now anticipated that follows the objectives outlined in the Growth Management Plan.

If it is determined by the Agency Board that at least one of the above criteria has been met and upon execution of agreements and/or adoption of an Agency Board resolution

effectuating the above, the development area will be added into the UDZ and the Growth Zone map(s) will be adjusted accordingly unless the Agency determines that such modification would: (i) adversely impact the System, the Agency, or any Member jurisdiction; (ii) cause the Agency to violate any agreements to which it is a party; or (iii) otherwise violate Agency policies and/or procedures then in effect.

V. Exception Requests Procedures and Criteria

A. The following provides the process and criteria for evaluating specific requests by an applicant or Agency Member for an exception (an "Exception") from the Growth Management Plan and/or these Policies:

- 1. Requests for Exception should be made in writing to the Agency Administrator stating the reason or reasons why the guidelines should be waived.**
- 2. The Agency Administrator will transmit the request to the Board for appropriate action as a Growth Management Plan Exception.**
- 3. In considering the request for Exception, the Board shall determine whether one or more of the following criteria can be met:**
 - (a) The applicant can show that it made a bona fide application for subdivision approval and/or rezoning prior to the effective date of the 2019 Growth Management Plan and, therefore, should be entitled to have its plat considered in accordance with the regulations prevailing at the time they submitted their plat.**
 - (b) The applicant can show that approval of the request would further another important Member Comprehensive Plan objective which might offset any detrimental impact of granting an Exception from the URZ requirements.**
 - (c) The applicant can show that the approval will allow division of property for settlement of an estate between family members so that ownership will be continued uninterrupted within the family and that they have followed the County's guidelines for utility and drainage easements and roadway access and connections.**
 - (d) The applicant can show that it is requesting to create a single additional lot for sale or transfer to a member of their immediate family for construction of a home for that family member and that they have followed the County's guidelines for utility and drainage easements and roadway access and connections.**
 - (e) The applicant agrees to pay sewer connection and usage fees established by the Agency and to set aside any necessary sewer easements as may be necessary to ensure the future extension of sewer service within the Agency's Jurisdiction.**

- B. Exceptions shall not be granted if the subdivision is proposed for land that has previously been set aside as an "outlot" through the Build-Through Overlay Zoning District process.
- C. Exceptions related to 3b above should not be granted unless supported by the applicable Member jurisdiction within which the exception is located and only after appropriate physical and financial adjustments and possible compensations are provided to ensure that the exception will not adversely affect the Agency's objectives, policies, procedures or finances. In addition, such an exception should not be granted if the small lot subdivision can be achieved through a Build-Through Overlay Zoning District process.
- D. In the event the Agency grants conditional approval of an Exception request, such Agency conditions shall be satisfied before the applicable Agency Member approves the applicable preliminary plat and/or rezoning approval.

VI. **Administrative Changes/Approvals.** Requests for an Exception and/or Agency approval of developments within the Agency's Jurisdiction that are determined to be, as determined by the Agency's planning and land use advisor(s), (a) non-material or administrative in nature, or (b) in conformance with, or otherwise satisfy, the criteria set forth in the Growth Management Plan and these Policies may be approved by the Agency Administrator without Agency Board approval. Such approval by the Agency Administrator must be in writing and accompanied by a written recommendation by the applicable Agency planning and land use advisor(s) and approved by Agency legal counsel.

VII. **Fees and Rates**

- A. Prior to the connection to the Agency's System of any development or land located within the Agency's Service Area, such development or land shall be subject to the payment of applicable connection, usage, and other rates and fees established by the Agency from time to time. Each Member having zoning jurisdiction over such developments shall be responsible for collecting and paying to the Agency such rates and fees in accordance with applicable Agency resolutions, policies and procedures then in effect.
- B. Except as otherwise set forth in the Agency's then applicable rate and fee schedules, single-family lots of three (3) acres or less, or single-family lots of twenty (20) acres or more located in the URZ and as allowed by the applicable Member's large acreage and build-through or similar type of zoning and/or subdivision regulations that are approved and developed in accordance with the Growth Management Plan (as amended) and these Policies (as amended), shall be assessed a connection fee equal to one (1) equivalent dwelling unit (EDU) as

defined and set forth in the applicable Agency rate and fee schedules then in effect.

- VIII. **Connection Agreements.** Prior to a Member's approval of a final plat for any development or land located within the Agency's Service Area, the Agency, the Member having zoning and planning jurisdiction, and such owner, developer or sub-divider shall enter into a three-party connection agreement that authorizes the connection of such development or land to the Agency's System and incorporates the Agency's Growth Management Plan, these Policies, and the sewer connection fees and user rates schedules and policies then in effect. Each Member shall include this provision as a condition to each preliminary plat approval. Provided however, that no such three-party connection agreement is required for any final plat for any development or land that is (a) within the Gretna Sewer Service Area, Springfield Sewer Service Area, Sarpy Sewer Service Area, or Papillion Sewer Service Area, respectively, pursuant to the separate interlocal agreements by the Agency and Gretna and Springfield and as otherwise set forth in Agency Resolution 2019-004 dated June 26, 2019, and (b) not connecting to the Agency's System.

Agency Growth Management Plan and Implementing Policies and Procedures Adopted by:

Agency Board:	August 26, 2020
Sarpy County Governing Body:	[], 2020
Bellevue Governing Body:	[], 2020
Gretna Governing Body:	[], 2020
La Vista Governing Body:	[], 2020
Papillion Governing Body:	[], 2020
Springfield Governing Body:	[], 2020

FIGURE 1

**Agency's Jurisdiction
Established by Agency Pursuant to Resolution 2019-004 on June 26, 2019**

[Attached]

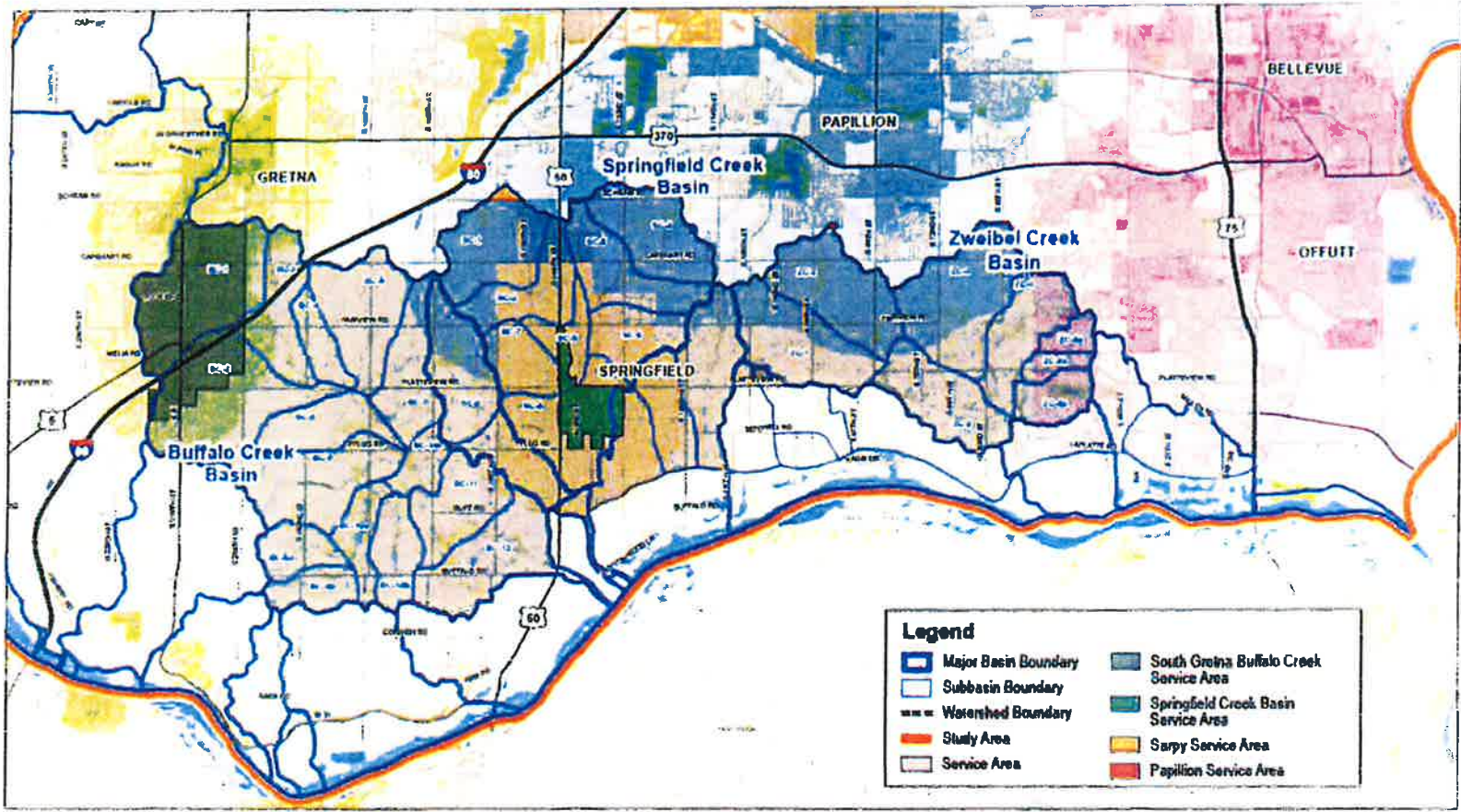


FIGURE 1
Growth Management Plan



SOUTHERN SARPY COUNTY



June 2019

Service Area

FIGURE 2

Growth Zones

**Initially Established by Agency on June 26, 2019 Pursuant to Resolution 2019-004
Amended by the Agency on February 26, 2020 Pursuant to Resolution 2020-004**

[Attached]

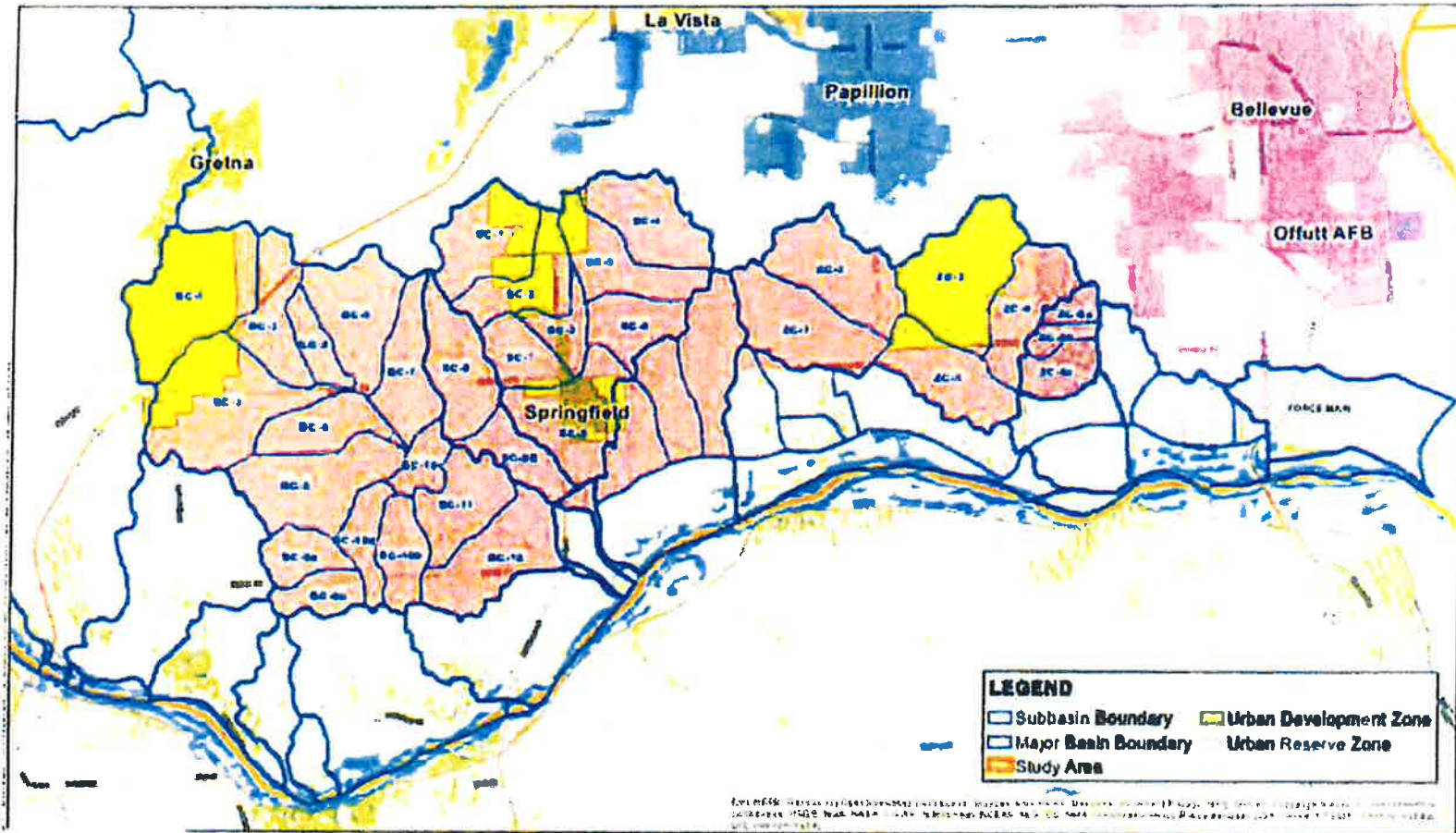


EXHIBIT A-GZ2020



**SOUTHERN SARPY COUNTY
UPDATED URBAN DEVELOPMENT ZONE**



2016
FEBRUARY 2020

FIGURE
Figure 2

MINUTE RECORD

Bellevue City Council Meeting, March 2, 2021, Page 1

A regular meeting of the Mayor and Council of the City of Bellevue was called to order by Mayor Rusty Hike at the Bellevue City Hall on the 2nd day of March 2021, at 6:00 p.m.

Pursuant to the Governor's Executive Order 20-36 and 21-02, on Tuesday, March 2, 2021 at 6:00 p.m. the regular City Council meeting was held via video conference in the Bellevue City Council Chambers. No members of the City Council attended in person. Upon roll call, via video conference, were City Council Members Bob Stinson, Paul Cook, Jerry McCaw, Thomas Burns, Don Preister, and Kathy Welch. Absent: None.

Pursuant to the Governor's Executive Order 20-36 and 21-02, said meeting was held via videoconference, telephone conference, or by conferencing by other electronic means. As such, said meeting was held by a virtual meeting and the public participated via GoToMeeting. Said meeting, could be viewed via Facebook live by visiting the City of Bellevue's Facebook page, but no public participation was allowed or considered via Facebook live. Any evidence or other documentation could be presented to the Mayor and City Council by providing to the City Clerk by March 1, 2021, by 4:00 p.m.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide, "Daily Record" and posting in two public places, the designated method for giving notice and was also given to the Mayor and all members of the City Council. A copy of the affidavit of publication, the certificate of posting, and the council's acknowledgment of receipt of notice are hereby attached to these minutes. All proceedings shown hereafter were taken while the convened meeting was open to the public.

Mayor Hike announced a copy of the Open Meetings Act is posted by the entry in the City Council Chambers and can also be found online under Nebraska Revised Statutes 84-1407 through 84-1414 as well as the Governor's Executive Order 20-36 and 21-02.

Due to the Council Meeting being held virtually, Mayor Hike announced the Pledge of Allegiance and Invocation would not be held for this meeting.

APPROVAL OF THE AGENDA:

Motion was made by Burns, seconded by Cook, to approve the agenda. Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

APPROVAL OF THE CONSENT AGENDA:

Councilman Burns requested to pull Item. 8b., recommendation to approve Matt McKinney to the Bellevue Marina Corporation.

Motion was made by Stinson, seconded by McCaw, to approve the consent agenda, consisting of the following items: Approval of February 16, 2021 City Council Minutes; Acknowledge receipt of the 2020 Tree Board Report; and Approve Trapping Permit Application requesting a Trapping Permit.

Roll call vote to approve the consent agenda was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

SPECIAL PRESENTATIONS: None

ORGANIZATIONAL MATTERS:

Recommendation to appoint John James and Matt McKinney to the Bellevue City Marina Corporation. (Mayor)

Motion by Cook, seconded by Welch, to recommend to appoint John James and Matt McKinney to the Bellevue City Marina Corporation.

Councilman Burns mentioned he feels there is potential conflict having the Mayor appoint Mr. McKinney to the Bellevue City Municipal Corporation. Mr. McKinney is Mayor Hike's Political Committee Treasurer. The Mayor and Mr. McKinney are business partners currently working on a project. Councilman Burns requested clarification this is not a conflict of interest. Mayor Hike advised any partnerships he is involved with Mr. McKinney in are not working on any projects associated with Bellevue Municipal Building Corporation or Bellevue City Marina Corporation. Ms. Bree Robbins, City Attorney, advised she is aware of the items Councilman Burns addressed. She explained there is no conflict of interest with the Accountability Disclosure Commission. There is no financial gain or profit on the Mayor's behalf with this appointment. Conversation ensued.

Roll call vote to approve the recommendation to appoint John James and Matt McKinney to the Bellevue City Marina Corporation was as follows: Stinson, Cook, McCaw, Preister, and Welch voted yes; voting no: Burns; absent: none. Motion carried.

APPROVED CITIZEN COMMUNICATION: None

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14d. and 14d1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request to approve the 2021 Comprehensive Plan update.

SYNOPSIS/BACKGROUND:

The Planning Department periodically reviews and updates the Comprehensive Plan to keep up-to-date with development in the City's zoning jurisdiction. The attached memo details the proposed updates.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this Comprehensive Plan update.

ATTACHMENTS:

1. PC Recommendation	2. Staff Report	3. Proposed Resolution 2021-27
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

A. Bruce Roblin
[Signature]
[Signature]

RESOLUTION 2021-27

WHEREAS, the City of Bellevue is required to adopt a Comprehensive Development Plan in order to enact zoning regulations; and

WHEREAS, the City of Bellevue adopted the 2018 Comprehensive Development Plan on October 22, 2018 with Resolution 2018-33; and

WHEREAS, the City of Bellevue Planning Department periodically reviews the Comprehensive Development Plan and makes recommendations for updates which are attached to this Resolution as Exhibit "A"; and

WHEREAS, the City of Bellevue Planning Commission has held a public hearing and has recommended that the City Council adopt the 2021 Comprehensive Development Plan update; and

WHEREAS, the City of Bellevue City Council has held a public hearing regarding the 2021 Comprehensive Development Plan update.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL of the City of Bellevue that the 2021 Comprehensive Development Plan update is hereby adopted as the guide for future growth and development within the City of Bellevue and its extra-territorial zoning jurisdiction.

PASSED AND ADOPTED THIS ____ DAY OF _____, 2021

Rusty Hike, Mayor

ATTEST:

Susan Kluthe, City Clerk



opportunities are needed. Bellevue's Preferred Development Concept was designed to achieve these goals.

Papillion Creek Drainage Basin

Bellevue and its ETJ area is contained almost entirely within the Papillion Creek Basin. The natural contour and topography of the Papillion Creek Basin gradually slopes toward the Missouri River. Growth boundaries flow gradually in the same direction as the basin boundaries and ridgelines. Developed areas must have infrastructure and services (i.e., sewer and water). Pumping wastewater uphill or across a ridgeline into another drainage basin can be expensive. Therefore, a basin that already has sewer and water service should be completely developed before developing an adjacent basin. Eventually, Bellevue's growing population base, in tandem with market forces, will require the development of land that is located southwest of the ridgeline, within the Platte River Basin. The Bellevue Preferred Development Concept acknowledges these trends and, therefore, includes land-use development suggestions for this area. However, Bellevue should first maximize development potential within the existing Papillion Creek Basin before extending development into the Platte River Basin. Future Platte River Basin development will require pump stations to carry wastewater back to the Papillion Creek Basin or to new wastewater treatment plants.

A thorough wastewater study of Sarpy County was recently completed, and the report includes both short-term and long-term recommendations. The preferred development concept abides by the recommendations and suggestions contained in that report.

The Sarpy County and Cities Wastewater Agency ("Agency") was created on September 19, 2017. The city adopted the Agency's Growth Management Plan in May 2021. An interlocal agreement

Available Land for Infill Development

Land Use Type	Area Inside City Limits	% of Area Inside City
Open Space	511.5	6.9%
Vacant Lots	294.7	3.9%
Agriculture	315.9	4.2%
Sub Total	1,122.1	15.0%
Total	7,382.4	

Table 3-2: Available Land for Infill Development

between the Agency and the City of Bellevue for the operation of Bellevue sewer services located within the agency's jurisdiction has also been approved. As a result, the Growth Management Plan set forth by the Agency will be incorporated as part of this plan.

Infill Development

Bellevue has not grown in a consistently concentric manner. Natural growth impediments like the Missouri River and the Papio Creek floodplain, along with Offutt's AICUZ, have contributed to an amorphous growth pattern. Generally speaking, Olde Towne and the Bellevue Boulevard area developed first. Northwest Bellevue and south Omaha represented the next growth tier. Most of the recent growth has occurred to the west and to the south. The development pattern is logical when looking at Bellevue's growth constraints. However, Bellevue is somewhat unique because large swaths of undeveloped land remain within the city limits. Developers, in response to market forces, built on virgin land outside the city limits instead of developing all or most of the available land within the city. The large number of vacant parcels within Bellevue's city limits has impacted Bellevue's community character, tax base, transportation corridors, and the continuity of development.

The land-use survey indicated that 15 percent of the land within Bellevue's city limits is either vacant, open space, or used for agriculture. This land use is not wrong, but this high percentage of undeveloped land within the city limits affects the tax base. Developing land within Bellevue's city limits, before developing the ETJ area, offers various benefits, including a larger tax base, efficient use of existing infrastructure, and a more compact development pattern.

The results of the Bellevue Comprehensive Plan survey indicated that Bellevue residents are frustrated with Bellevue's current tax rate. Question three of the survey asked, "What are the top three things you like least about Bellevue?" The most prevalent response was "Taxes." Additional development within the city limits will increase the City of Bellevue's tax base and can improve its fiscal status. Although lower taxes are not a guarantee, infill development within Bellevue could have a beneficial effect on the city's tax rate.

The results also indicate that Bellevue residents support development that uses existing infrastructure and public services. Nearly 85 percent of respondents "Strongly agreed" or "Agreed" with the statement, "I believe that the redevelopment of land served by existing infrastructure and public services is important." Additionally, strong support was found for efficient development patterns that

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14e. and 14e1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request approval to declare blighted and substandard Lots 4 and 5, Edward Warren Addition, and Tax Lot H2.
Applicant: Imperial Homes, LLC. General Location: South 36th Street and Chandler Road West.

SYNOPSIS/BACKGROUND:

Imperial Homes, LLC is requesting approval of a blighted and substandard designation for Lots 4 and 5 Edward Warren Addition, and Tax Lot H2. The area is located near the intersection of West chandler Road and South 36th Street. The combined lots are approximately 10.42 acres in total. The properties at 3421 West Chandler Road and 3501 West chandler Road contain structures that were built in 1947 and 1961; at 60 and 74 years old both properties are showing signs of significant deterioration. Tax Lot H2 is undeveloped and covered in vegetation.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO <input type="text"/>	COUNTER-PARTY: <input type="text"/>	INTERLOCAL AGREEMENT: NO <input type="text"/>
CONTRACT DESCRIPTION: <input type="text"/>		
CONTRACT EFFECTIVE DATE: <input type="text"/>	CONTRACT TERM: <input type="text"/>	CONTRACT END DATE: <input type="text"/>
PROJECT NAME: <input type="text"/>		
START DATE: <input type="text"/>	END DATE: <input type="text"/>	PAYMENT DATE: <input type="text"/> INSURANCE REQUIRED: NO <input type="text"/>
CIP PROJECT NAME: <input type="text"/>	CIP PROJECT NUMBER: <input type="text"/>	
STREET DISTRICT NAME (S): <input type="text"/>	STREET DISTRICT NUMBER (S): <input type="text"/>	
ACCOUNTING DISTRUBUTION CODE: <input type="text"/>	ACCOUNT NUMBER: <input type="text"/>	

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this blighted and substandard request.

ATTACHMENTS:

- | | | |
|---------------------------------------|-------------------------|-------------------------|
| 1. Planning Commission Recommendation | 2. Staff Memo | 3. Resolution 2021-29 |
| 4. <input type="text"/> | 5. <input type="text"/> | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

A. B. Rohn
[Signature]
[Signature]

**SUBSTANDARD AND BLIGHTED DESIGNATION REQUEST
FOR
W. CHANDLER ROAD REDVELOPMENT**

**LOTS 4 AND 5, EDWARD WARRAN ADDITION AND TAX LOT H2
BELLEVUE, NEBRASKA**

SUBMITTED: JUNE 4, 2021

Submitted by:

**Applicant: Imperial Homes, LLC
6648 Park Crest Dr.
Papillion, NE 68133**

**Attorney for Applicant: Elizabeth A. Sevcik
Croker Huck Law Firm
2120 S. 72nd St., Ste. 1200
Omaha, NE 68023
(402) 505-3159
esevcik@crokerlaw.com**

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Substandard and Blighted Standard:

Pursuant to the Community Development Law, an area is blighted when “by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility, or usefulness, insanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions of title, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations, or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use,” and when it also meets at least one of the following additional conditions:

“(i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average;

(ii) the average age of the residential or commercial units in the area is at least forty years;

(iii) more than half of the plotted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or village in which the area is designated; or

(v) the area has had either stable or decreasing population based on the last two decennial censuses. In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a village shall not designate an area larger than one hundred percent of the village as blighted. A redevelopment project involving a formerly used defense site as authorized under section 18-2123.01 shall not count towards the percentage limitations contained in this subdivision.” Neb. Rev. Stat. § 18-2103(3).

A substandard area is one “in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare.” Neb. Rev. Stat. § 18-2103(31).

The Blighted and Substandard Area:

The area requested to be designated as blighted and substandard is approximately 10.42 acres and known as: Lots 4 and 5, Edward Warren Addition, an Addition to the City of Bellevue,

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and Tax Lot H2, Section 16, Township 14, Range 13, in Bellevue, Nebraska, and including the adjacent public rights-of-way of W. Chandler Road (the "Blighted Property"). The acquisition costs are estimated to be \$400,000.00 and the cost of public improvements, demolition of buildings, and other site development costs are estimated to be \$1,100,000.00. Accordingly, the TIF eligible costs are estimated to be approximately \$1,500,000.00.

The Blighted Property is located in an area where there is a significant number of aged and deteriorated houses and which has not seen any development in a number of years. The Blighted Property contains structures that are 60-75 years old and in significant deterioration, including but not limited to a lack of shingles/proper roofing on at least one of the structures. The Blighted Property abuts W. Chandler Road on the south, which has defective and inadequate street layout for the growth of the area it serves. W. Chandler Road, a significant thoroughfare for the area, contains numerous direct access points from driveways of individual residences creating a hazard that endangers life and property. A diversity of ownership, deterioration of residential and accessory structures in the area, and lack of unified planning of safe accessibility to and from W. Chandler Road in and around the Blighted Property substantially impairs and arrests the sound growth of the community, retards the provision of housing accommodations, constitutes an economic liability, and is detrimental to the public health, safety, morals and welfare in its present condition.

The Blighted Property meets numerous of the additional conditions required to be designated as blighted under the Community Development Law. The Blighted Property is within Census Tract 105.01, which has an unemployment rate of 7.1% (Exhibit A), more than 120% of the State unemployment rate of 3.3% (Exhibit B). Further, the average age of the residential structures in and around the Blighted Property is more than 40 years old. Finally, the per capita income for Census Tract 105.01, of which the Blighted Property is a part, is \$27,108 (Exhibit C), which is lower than the average per capita income of Bellevue, which is \$29,822 (Exhibit D).

There is a predominance of aged and obsolescent buildings in and around the Blighted Property, and, particularly, the structures in the Blighted property are dilapidated and/or deteriorating. The dilapidated and deteriorating structures, and numerous direct driveway access points to W. Chandler Road, endanger life and property, are conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime (which cannot be remedied through construction of prisons), and are detrimental to public health, safety, morals, and welfare.

Based upon the foregoing, the Blighted Property is blighted and substandard. We respectfully request that the City of Bellevue designate the Blighted Property as blighted and substandard in accordance with the Community Development Law.

Sincerely,



Elizabeth A. Sevcik

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Exhibit A

SELECTED ECONOMIC CHARACTERISTICS		United States Census Bureau
Note: The table shown may have been modified by user selections. Some information may be missing.		
DATA NOTES		
TABLE ID:	DP03	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDP5Y2019	
PRODUCT:	ACS 5-Year Estimates Data Profiles	
UNIVERSE:	None	
FTP URL:	None	
API URL:	https://api.census.gov/data/2019/acs/acs5/profile	
USER SELECTIONS		
GEOS	Census Tract 105.01, Sarpy County, Nebraska	
EXCLUDED COLUMNS	None	
APPLIED FILTERS	None	
APPLIED SORTS	None	
WEB ADDRESS	https://data.census.gov/cedsci/table?q=unemployment&g=1400000US31153010501&tid=ACSDP5Y2019.DP03&hidePreview=true	
TABLE NOTES		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
	Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.	
	Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
	Employment and unemployment estimates may vary from the official labor force data released by the Bureau of Labor Statistics because of differences in survey design and data collection. For guidance on differences in employment and unemployment estimates from different sources go to Labor Force Guidance.	
	Workers include members of the Armed Forces and civilians who were at work last week.	
	Industry titles and their 4-digit codes are based on the North American Industry Classification System (NAICS). The Census industry codes for 2018 and later years are based on the 2017 revision of the NAICS. To allow for the creation of multiyear tables, industry data in the multiyear files (prior to data year 2018) were recoded to the 2017 Census industry codes. We recommend using caution when comparing data coded using 2017 Census industry codes with data coded using Census industry codes prior to data year 2018. For more information on the Census industry code changes, please visit our website at https://www.census.gov/topics/employment/industry-occupation/guidance/code-lists.html .	

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Table: ACSDP5Y2019.DP03

	<p>Logical coverage edits applying a rules-based assignment of Medicaid, Medicare and military health coverage were added as of 2009 -- please see https://www.census.gov/library/working-papers/2010/demo/coverage_edits_final.html for more details. Select geographies of 2008 data comparable to the 2009 and later tables are available at https://www.census.gov/data/tables/time-series/acs/1-year-re-run-health-insurance.html. The health insurance coverage category names were modified in 2010. See https://www.census.gov/topics/health/health-insurance/about/glossary.html#par_textimage_18 for a list of the insurance type definitions.</p>
	<p>Beginning in 2017, selected variable categories were updated, including age-categories, income-to-poverty ratio (IPR) categories, and the age universe for certain employment and education variables. See user note entitled "Health Insurance Table Updates" for further details.</p>
	<p>2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: Change to Means of Transportation.</p>
	<p>Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see Changes to the Retirement Income Question.</p>
	<p>The categories for relationship to householder were revised in 2019. For more information see Revisions to the Relationship to Household item.</p>
	<p>Beginning in data year 2019, respondents to the Weeks Worked question provided an integer value for the number of weeks worked. For data years 2008 through 2018, respondents selected a category corresponding to the number of weeks worked.</p>
	<p>Occupation titles and their 4-digit codes are based on the Standard Occupational Classification (SOC). The Census occupation codes for 2018 and later years are based on the 2018 revision of the SOC. To allow for the creation of the multiyear tables, occupation data in the multiyear files (prior to data year 2018) were recoded to the 2018 Census occupation codes. We recommend using caution when comparing data coded using 2018 Census occupation codes with data coded using Census occupation codes prior to data year 2018. For more information on the Census occupation code changes, please visit our website at https://www.census.gov/topics/employment/industry-occupation/guidance/code-lists.html.</p>
	<p>In 2019, methodological changes were made to the class of worker question. These changes involved modifications to the question wording, the category wording, and the visual format of the categories on the questionnaire. The format for the class of worker categories are now listed under the headings "Private Sector Employee," "Government Employee," and "Self-Employed or Other." Additionally, the category of Active Duty was added as one of the response categories under the "Government Employee" section for the mail questionnaire. For more detailed information about the 2019 changes, see the 2016 American Community Survey Content Test Report for Class of Worker located at http://www.census.gov/library/working-papers/2017/acs/2017_Martinez_01.html.</p>
	<p>The 2015-2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.</p>
	<p>Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.</p>
	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <ul style="list-style-type: none"> * An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself. * An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution. * An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution. * An "***" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate. * An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate. * An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small. * An "(X)" means that the estimate is not applicable or not available.

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COLUMN NOTES	None
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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
EMPLOYMENT STATUS				
Population 16 years and over	5,789	±437	5,789	(X)
In labor force	4,130	±464	71.3%	±4.7
Civilian labor force	3,936	±471	68.0%	±5.0
Employed	3,657	±399	63.2%	±4.6
Unemployed	279	±152	4.8%	±2.5
Armed Forces	194	±120	3.4%	±2.1
Not in labor force	1,659	±266	28.7%	±4.7
Civilian labor force	3,936	±471	3,936	(X)
Unemployment Rate	(X)	(X)	7.1%	±3.4
Females 16 years and over	2,962	±256	2,962	(X)
In labor force	1,926	±282	65.0%	±6.9
Civilian labor force	1,911	±282	64.5%	±6.9
Employed	1,708	±246	57.7%	±7.3
Own children of the householder under 6 years	581	±193	581	(X)
All parents in family in labor force	388	±194	66.8%	±21.7
Own children of the householder 6 to 17 years	1,079	±305	1,079	(X)
All parents in family in labor force	643	±268	59.6%	±18.6
COMMUTING TO WORK				
Workers 16 years and over	3,732	±421	3,732	(X)
Car, truck, or van -- drove alone	3,290	±422	88.2%	±4.2
Car, truck, or van -- carpooled	270	±136	7.2%	±3.6
Public transportation (excluding taxicab)	10	±19	0.3%	±0.5
Walked	0	±14	0.0%	±0.6
Other means	0	±14	0.0%	±0.6
Worked from home	162	±92	4.3%	±2.5
Mean travel time to work (minutes)	23.1	±3.2	(X)	(X)
OCCUPATION				
Civilian employed population 16 years and over	3,657	±399	3,657	(X)
Management, business, science, and arts occupations	1,254	±264	34.3%	±5.8
Service occupations	720	±244	19.7%	±6.7
Sales and office occupations	794	±214	21.7%	±5.3

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Table: ACSDP5Y2019.DP03

	Census Tract 105.01, Sarpy County, Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Natural resources, construction, and maintenance occupations	375	±131	10.3%	±3.3
Production, transportation, and material moving occupations	514	±181	14.1%	±4.6
INDUSTRY				
Civilian employed population 16 years and over	3,657	±399	3,657	(X)
Agriculture, forestry, fishing and hunting, and mining	25	±28	0.7%	±0.8
Construction	351	±218	9.6%	±5.8
Manufacturing	280	±131	7.7%	±3.6
Wholesale trade	90	±91	2.5%	±2.5
Retail trade	350	±188	9.6%	±4.9
Transportation and warehousing, and utilities	289	±143	7.9%	±3.7
Information	65	±65	1.8%	±1.8
Finance and insurance, and real estate and rental and leasing	443	±183	12.1%	±4.6
Professional, scientific, and management, and administrative and waste management services	317	±165	8.7%	±4.6
Educational services, and health care and social assistance	913	±212	25.0%	±6.1
Arts, entertainment, and recreation, and accommodation and food services	345	±171	9.4%	±4.4
Other services, except public administration	20	±32	0.5%	±0.9
Public administration	169	±78	4.6%	±2.3
CLASS OF WORKER				
Civilian employed population 16 years and over	3,657	±399	3,657	(X)
Private wage and salary workers	2,820	±412	77.1%	±5.4
Government workers	533	±191	14.6%	±5.6

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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Self-employed in own not incorporated business workers	281	±143	7.7%	±3.8
Unpaid family workers	23	±35	0.6%	±1.0
INCOME AND BENEFITS (IN 2019 INFLATION-ADJUSTED DOLLARS)				
Total households	2,473	±121	2,473	(X)
Less than \$10,000	100	±82	4.0%	±3.3
\$10,000 to \$14,999	41	±52	1.7%	±2.1
\$15,000 to \$24,999	113	±74	4.6%	±2.9
\$25,000 to \$34,999	139	±82	5.6%	±3.3
\$35,000 to \$49,999	303	±131	12.3%	±5.3
\$50,000 to \$74,999	567	±168	22.9%	±6.7
\$75,000 to \$99,999	432	±165	17.5%	±6.7
\$100,000 to \$149,999	540	±154	21.8%	±6.1
\$150,000 to \$199,999	188	±86	7.6%	±3.4
\$200,000 or more	50	±49	2.0%	±2.0
Median household income (dollars)	74,570	±6,035	(X)	(X)
Mean household income (dollars)	80,609	±6,343	(X)	(X)
With earnings	2,162	±152	87.4%	±4.5
Mean earnings (dollars)	78,739	±6,735	(X)	(X)
With Social Security	624	±148	25.2%	±5.7
Mean Social Security income (dollars)	19,693	±3,385	(X)	(X)
With retirement income	385	±120	15.6%	±4.9
Mean retirement income (dollars)	19,782	±6,268	(X)	(X)
With Supplemental Security Income	106	±81	4.3%	±3.3
Mean Supplemental Security Income (dollars)	8,626	±3,900	(X)	(X)
With cash public assistance income	50	±67	2.0%	±2.7
Mean cash public assistance income (dollars)	1,920	±1,317	(X)	(X)
With Food Stamp/SNAP benefits in the past 12 months	282	±113	11.4%	±4.6
Families	1,782	±170	1,782	(X)
Less than \$10,000	31	±35	1.7%	±2.0
\$10,000 to \$14,999	0	±14	0.0%	

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Table: ACSDP5Y2019.DP03

	Census Tract 105.01, Sarpy County, Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
\$15,000 to \$24,999	56	±60	3.1%	±3.3
\$25,000 to \$34,999	112	±70	6.3%	±3.8
\$35,000 to \$49,999	193	±116	10.8%	±6.4
\$50,000 to \$74,999	440	±150	24.7%	±8.0
\$75,000 to \$99,999	332	±147	18.6%	±8.1
\$100,000 to \$149,999	432	±145	24.2%	±7.5
\$150,000 to \$199,999	136	±75	7.6%	±4.3
\$200,000 or more	50	±49	2.8%	±2.8
Median family income (dollars)	82,130	±10,938	(X)	(X)
Mean family income (dollars)	87,006	±7,683	(X)	(X)
Per capita income (dollars)	27,108	±2,660	(X)	(X)
Nonfamily households	691	±189	691	(X)
Median nonfamily income (dollars)	52,454	±26,267	(X)	(X)
Mean nonfamily income (dollars)	60,872	±11,337	(X)	(X)
Median earnings for workers (dollars)	38,036	±3,881	(X)	(X)
Median earnings for male full-time, year-round workers (dollars)	52,626	±2,459	(X)	(X)
Median earnings for female full-time, year-round workers (dollars)	37,747	±4,723	(X)	(X)
HEALTH INSURANCE COVERAGE				
Civilian noninstitutionalized population	7,331	±618	7,331	(X)
With health insurance coverage	6,196	±523	84.5%	±6.2
With private health insurance	4,731	±493	64.5%	±6.6
With public coverage	2,036	±388	27.8%	±5.1
No health insurance coverage	1,135	±501	15.5%	±6.2
Civilian noninstitutionalized population under 19 years	1,979	±348	1,979	(X)
No health insurance coverage	184	±206	9.3%	±10.7
Civilian noninstitutionalized population 19 to 64 years	4,464	±442	4,464	(X)
In labor force:	3,647	±463	3,647	(X)
Employed:	3,439	±392	3,439	(X)

Table: ACSDP5Y2019.DP03

	Census Tract 105.01, Sarpy County, Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With health insurance coverage	2,937	±370	85.4%	±8.4
With private health insurance	2,833	±363	82.4%	±8.6
With public coverage	133	±99	3.9%	±2.8
No health insurance coverage	502	±309	14.6%	±8.4
Unemployed:	208	±133	208	(X)
With health insurance coverage	68	±62	32.7%	±32.7
With private health insurance	30	±47	14.4%	±22.6
With public coverage	38	±40	18.3%	±23.4
No health insurance coverage	140	±123	67.3%	±32.7
Not in labor force:	817	±197	817	(X)
With health insurance coverage	520	±176	63.6%	±12.4
With private health insurance	370	±158	45.3%	±15.4
With public coverage	234	±112	28.6%	±11.3
No health insurance coverage	297	±114	36.4%	±12.4
PERCENTAGE OF FAMILIES AND PEOPLE WHOSE INCOME IN THE PAST 12 MONTHS IS BELOW THE POVERTY LEVEL				
All families	(X)	(X)	5.8%	±4.7
With related children of the householder under 18 years	(X)	(X)	10.4%	±9.3
With related children of the householder under 5 years only	(X)	(X)	0.0%	±10.8
Married couple families	(X)	(X)	1.1%	±2.8
With related children of the householder under 18 years	(X)	(X)	2.8%	±6.8
With related children of the householder under 5 years only	(X)	(X)	0.0%	±16.4
Families with female householder, no spouse present	(X)	(X)	33.0%	±27.1

Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With related children of the householder under 18 years	(X)	(X)	29.5%	±28.3
With related children of the householder under 5 years only	(X)	(X)	0.0%	±48.4
All people	(X)	(X)	10.9%	±5.4
Under 18 years	(X)	(X)	13.5%	±12.4
Related children of the householder under 18 years	(X)	(X)	12.4%	±12.4
Related children of the householder under 5 years	(X)	(X)	8.5%	±12.0
Related children of the householder 5 to 17 years	(X)	(X)	13.9%	±13.1
18 years and over	(X)	(X)	10.1%	±4.3
18 to 64 years	(X)	(X)	9.4%	±4.6
65 years and over	(X)	(X)	13.7%	±9.6
People in families	(X)	(X)	7.2%	±6.3
Unrelated individuals 15 years and over	(X)	(X)	28.2%	±14.0

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Exhibit B

SELECTED ECONOMIC CHARACTERISTICS		United States Census Bureau
Note: The table shown may have been modified by user selections. Some information may be missing.		
DATA NOTES		
TABLE ID:	DP03	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDP1Y2019	
PRODUCT:	ACS 1-Year Estimates Data Profiles	
UNIVERSE:	None	
FTP URL:	None	
API URL:	https://api.census.gov/data/2019/acs/acs1/profile	
USER SELECTIONS		
GEOS	Nebraska	
EXCLUDED COLUMNS		
	None	
APPLIED FILTERS		
	None	
APPLIED SORTS		
	None	
WEB ADDRESS		
	https://data.census.gov/cedsci/table?q=unemployment%20nebraska&tid=ACSDP1Y2019.DP03&hidePreview=true	
TABLE NOTES		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
	Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.	
	Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2019 American Community Survey 1-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
	Employment and unemployment estimates may vary from the official labor force data released by the Bureau of Labor Statistics because of differences in survey design and data collection. For guidance on differences in employment and unemployment estimates from different sources go to Labor Force Guidance.	
	Workers include members of the Armed Forces and civilians who were at work last week.	
	Industry titles and their 4-digit codes are based on the 2017 North American Industry Classification System. The Industry categories adhere to the guidelines issued in Clarification Memorandum No. 2, "NAICS Alternate Aggregation Structure for Use By U.S. Statistical Agencies," issued by the Office of Management and Budget.	

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Table: ACSDP1Y2019.DP03

	<p>Logical coverage edits applying a rules-based assignment of Medicaid, Medicare and military health coverage were added as of 2009 -- please see https://www.census.gov/library/working-papers/2010/demo/coverage_edits_final.html for more details. Select geographies of 2008 data comparable to the 2009 and later tables are available at https://www.census.gov/data/tables/time-series/acs/1-year-re-run-health-insurance.html. The health insurance coverage category names were modified in 2010. See https://www.census.gov/topics/health/health-insurance/about/glossary.html#par_textimage_18 for a list of the insurance type definitions.</p>
	<p>Beginning in 2017, selected variable categories were updated, including age-categories, income-to-poverty ratio (IPR) categories, and the age universe for certain employment and education variables. See user note entitled "Health Insurance Table Updates" for further details.</p>
	<p>2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: Change to Means of Transportation.</p>
	<p>Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see Changes to the Retirement Income Question .</p>
	<p>The categories for relationship to householder were revised in 2019. For more information see Revisions to the Relationship to Household item.</p>
	<p>Beginning in data year 2019, respondents to the Weeks Worked question provided an integer value for the number of weeks worked. For data years 2008 through 2018, respondents selected a category corresponding to the number of weeks worked.</p>
	<p>In 2019, methodological changes were made to the class of worker question. These changes involved modifications to the question wording, the category wording, and the visual format of the categories on the questionnaire. The format for the class of worker categories are now listed under the headings "Private Sector Employee," "Government Employee," and "Self-Employed or Other." Additionally, the category of Active Duty was added as one of the response categories under the "Government Employee" section for the mail questionnaire. For more detailed information about the 2019 changes, see the 2016 American Community Survey Content Test Report for Class of Worker located at http://www.census.gov/library/working-papers/2017/acs/2017_Martinez_01.html.</p>
	<p>The 2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineations due to differences in the effective dates of the geographic entities.</p>
	<p>Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.</p>
	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <ul style="list-style-type: none"> * An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself. * An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution. * An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution. * An "***" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate. * An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate. * An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small. * An "(X)" means that the estimate is not applicable or not available.
COLUMN NOTES	None

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
EMPLOYMENT STATUS				
Population 16 years and over	1,509,290	±2,423	1,509,290	(X)
In labor force	1,049,680	±6,750	69.5%	±0.4
Civilian labor force	1,043,090	±6,699	69.1%	±0.4
Employed	1,008,957	±7,438	66.8%	±0.5
Unemployed	34,133	±3,095	2.3%	±0.2
Armed Forces	6,590	±1,298	0.4%	±0.1
Not in labor force	459,610	±6,530	30.5%	±0.4
Civilian labor force	1,043,090	±6,699	1,043,090	(X)
Unemployment Rate	(X)	(X)	3.3%	±0.3
Females 16 years and over	761,559	±2,299	761,559	(X)
In labor force	492,756	±4,997	64.7%	±0.6
Civilian labor force	491,591	±5,080	64.6%	±0.6
Employed	477,147	±5,268	62.7%	±0.7
Own children of the householder under 6 years	149,576	±2,645	149,576	(X)
All parents in family in labor force	114,043	±3,931	76.2%	±2.1
Own children of the householder 6 to 17 years	299,354	±3,366	299,354	(X)
All parents in family in labor force	242,548	±5,188	81.0%	±1.4
COMMUTING TO WORK				
Workers 16 years and over	1,001,268	±7,891	1,001,268	(X)
Car, truck, or van -- drove alone	818,915	±9,121	81.8%	±0.6
Car, truck, or van -- carpooled	89,738	±4,339	9.0%	±0.4
Public transportation (excluding taxicab)	8,159	±1,573	0.8%	±0.2
Walked	27,561	±2,783	2.8%	±0.3
Other means	10,459	±1,866	1.0%	±0.2
Worked from home	46,436	±3,483	4.6%	±0.4
Mean travel time to work (minutes)	19.5	±0.3	(X)	(X)
OCCUPATION				
Civilian employed population 16 years and over	1,008,957	±7,438	1,008,957	(X)
Management, business, science, and arts occupations	404,011	±7,584	40.0%	±0.7
Service occupations	159,127	±6,069	15.8%	±0.6
Sales and office occupations	199,244	±5,797	19.7%	±0.6

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Natural resources, construction, and maintenance occupations	106,521	±3,891	10.6%	±0.4
Production, transportation, and material moving occupations	140,054	±6,131	13.9%	±0.6
INDUSTRY				
Civilian employed population 16 years and over	1,008,957	±7,438	1,008,957	(X)
Agriculture, forestry, fishing and hunting, and mining	46,776	±2,633	4.6%	±0.3
Construction	76,754	±3,757	7.6%	±0.4
Manufacturing	101,861	±5,181	10.1%	±0.5
Wholesale trade	23,839	±1,931	2.4%	±0.2
Retail trade	105,455	±5,597	10.5%	±0.5
Transportation and warehousing, and utilities	55,880	±2,782	5.5%	±0.3
Information	17,449	±2,108	1.7%	±0.2
Finance and insurance, and real estate and rental and leasing	80,285	±3,754	8.0%	±0.4
Professional, scientific, and management, and administrative and waste management services	88,188	±4,626	8.7%	±0.4
Educational services, and health care and social assistance	251,998	±6,212	25.0%	±0.6
Arts, entertainment, and recreation, and accommodation and food services	73,293	±4,110	7.3%	±0.4
Other services, except public administration	46,201	±3,671	4.6%	±0.4
Public administration	40,978	±2,853	4.1%	±0.3
CLASS OF WORKER				
Civilian employed population 16 years and over	1,008,957	±7,438	1,008,957	(X)
Private wage and salary workers	798,155	±8,908	79.1%	±0.6
Government workers	144,803	±4,955	14.4%	±0.5

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Self-employed in own not incorporated business workers	63,559	±3,076	6.3%	±0.3
Unpaid family workers	2,440	±653	0.2%	±0.1
INCOME AND BENEFITS (IN 2019 INFLATION-ADJUSTED DOLLARS)				
Total households	771,444	±4,475	771,444	(X)
Less than \$10,000	37,219	±2,805	4.8%	±0.4
\$10,000 to \$14,999	30,395	±2,679	3.9%	±0.3
\$15,000 to \$24,999	61,627	±3,696	8.0%	±0.5
\$25,000 to \$34,999	67,044	±4,060	8.7%	±0.5
\$35,000 to \$49,999	102,347	±4,017	13.3%	±0.5
\$50,000 to \$74,999	150,357	±5,404	19.5%	±0.7
\$75,000 to \$99,999	111,438	±4,655	14.4%	±0.6
\$100,000 to \$149,999	122,363	±4,428	15.9%	±0.6
\$150,000 to \$199,999	47,279	±2,722	6.1%	±0.4
\$200,000 or more	41,375	±2,731	5.4%	±0.4
Median household income (dollars)	63,229	±936	(X)	(X)
Mean household income (dollars)	82,539	±1,174	(X)	(X)
With earnings	622,504	±6,234	80.7%	±0.5
Mean earnings (dollars)	81,600	±1,223	(X)	(X)
With Social Security	226,518	±3,417	29.4%	±0.4
Mean Social Security income (dollars)	20,271	±321	(X)	(X)
With retirement income	162,009	±4,881	21.0%	±0.6
Mean retirement income (dollars)	23,519	±887	(X)	(X)
With Supplemental Security Income	30,742	±2,706	4.0%	±0.3
Mean Supplemental Security Income (dollars)	9,698	±473	(X)	(X)
With cash public assistance income	12,041	±1,593	1.6%	±0.2
Mean cash public assistance income (dollars)	2,366	±340	(X)	(X)
With Food Stamp/SNAP benefits in the past 12 months	58,895	±3,920	7.6%	±0.5
Families	493,013	±6,118	493,013	(X)
Less than \$10,000	10,881	±1,542	2.2%	±0.3
\$10,000 to \$14,999	8,445	±1,253	1.7%	±0.2

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
\$15,000 to \$24,999	22,620	±2,375	4.6%	±0.5
\$25,000 to \$34,999	30,751	±2,344	6.2%	±0.5
\$35,000 to \$49,999	56,922	±3,374	11.5%	±0.7
\$50,000 to \$74,999	97,882	±4,342	19.9%	±0.8
\$75,000 to \$99,999	84,348	±3,676	17.1%	±0.7
\$100,000 to \$149,999	103,836	±4,029	21.1%	±0.8
\$150,000 to \$199,999	41,948	±2,519	8.5%	±0.5
\$200,000 or more	35,380	±2,468	7.2%	±0.5
Median family income (dollars)	80,062	±1,124	(X)	(X)
Mean family income (dollars)	99,250	±1,724	(X)	(X)
Per capita income (dollars)	33,272	±481	(X)	(X)
Nonfamily households	278,431	±5,467	278,431	(X)
Median nonfamily income (dollars)	37,791	±1,205	(X)	(X)
Mean nonfamily income (dollars)	50,009	±1,405	(X)	(X)
Median earnings for workers (dollars)	36,077	±399	(X)	(X)
Median earnings for male full-time, year-round workers (dollars)	51,412	±412	(X)	(X)
Median earnings for female full-time, year-round workers (dollars)	41,148	±496	(X)	(X)
HEALTH INSURANCE COVERAGE				
Civilian noninstitutionalized population	1,904,211	±1,300	1,904,211	(X)
With health insurance coverage	1,746,288	±7,882	91.7%	±0.4
With private health insurance	1,431,512	±12,995	75.2%	±0.7
With public coverage	538,914	±11,213	28.3%	±0.6
No health insurance coverage	157,923	±7,846	8.3%	±0.4
Civilian noninstitutionalized population under 19 years	502,094	±2,665	502,094	(X)
No health insurance coverage	28,394	±4,008	5.7%	±0.8
Civilian noninstitutionalized population 19 to 64 years	1,101,127	±2,944	1,101,127	(X)
In labor force:	938,320	±6,139	938,320	(X)
Employed:	911,179	±6,615	911,179	(X)

Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With health insurance coverage	825,058	±8,138	90.5%	±0.6
With private health insurance	796,224	±8,361	87.4%	±0.6
With public coverage	51,895	±4,178	5.7%	±0.5
No health insurance coverage	86,121	±5,269	9.5%	±0.6
Unemployed:	27,141	±3,009	27,141	(X)
With health insurance coverage	15,012	±2,302	55.3%	±4.9
With private health insurance	11,324	±1,939	41.7%	±4.7
With public coverage	4,578	±1,268	16.9%	±4.2
No health insurance coverage	12,129	±1,701	44.7%	±4.9
Not in labor force:	162,807	±5,870	162,807	(X)
With health insurance coverage	131,996	±5,122	81.1%	±1.4
With private health insurance	90,131	±4,087	55.4%	±1.7
With public coverage	53,867	±3,809	33.1%	±2.0
No health insurance coverage	30,811	±2,681	18.9%	±1.4
PERCENTAGE OF FAMILIES AND PEOPLE WHOSE INCOME IN THE PAST 12 MONTHS IS BELOW THE POVERTY LEVEL				
All families	(X)	(X)	6.2%	±0.4
With related children of the householder under 18 years	(X)	(X)	9.6%	±0.9
With related children of the householder under 5 years only	(X)	(X)	12.2%	±2.4
Married couple families	(X)	(X)	2.9%	±0.4
With related children of the householder under 18 years	(X)	(X)	3.2%	±0.6
With related children of the householder under 5 years only	(X)	(X)	2.7%	±1.4
Families with female householder, no spouse present	(X)	(X)	22.5%	±2.4

Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With related children of the householder under 18 years	(X)	(X)	29.5%	±3.1
With related children of the householder under 5 years only	(X)	(X)	40.3%	±8.5
All people	(X)	(X)	9.9%	±0.5
Under 18 years	(X)	(X)	11.0%	±1.1
Related children of the householder under 18 years	(X)	(X)	10.5%	±1.0
Related children of the householder under 5 years	(X)	(X)	13.3%	±1.7
Related children of the householder 5 to 17 years	(X)	(X)	9.5%	±1.2
18 years and over	(X)	(X)	9.5%	±0.5
18 to 64 years	(X)	(X)	9.9%	±0.6
65 years and over	(X)	(X)	8.1%	±0.7
People in families	(X)	(X)	6.5%	±0.5
Unrelated individuals 15 years and over	(X)	(X)	23.0%	±1.3

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Exhibit C

PER CAPITA INCOME IN THE PAST 12 MONTHS (IN 2019 INFLATION-ADJUSTED DOLLARS)		United States Census Bureau
Note: The table shown may have been modified by user selections. Some information may be missing.		
DATA NOTES		
TABLE ID:	B19301	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDT5Y2019	
PRODUCT:	ACS 5-Year Estimates Detailed Tables	
UNIVERSE:	Total population	
FTP URL:	None	
API URL:	https://api.census.gov/data/2019/acs/acs5	
USER SELECTIONS		
GEOS	Census Tract 105.01, Sarpy County, Nebraska	
TOPICS	Income (Households, Families, Individuals)	
EXCLUDED COLUMNS		
	None	
APPLIED FILTERS		
	None	
APPLIED SORTS		
	None	
WEB ADDRESS	https://data.census.gov/cedsci/table?q=per%20capita%20income&g=1400000US31153010501&tid=ACSDT5Y2019.B19301&hidePreview=true	
TABLE NOTES		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
	Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.	
	Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
	Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see Changes to the Retirement Income Question .	
	The 2015-2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.	
	Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.	

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Table: ACSDT5Y2019.B19301

	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <p>* An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.</p> <p>* An "-." following a median estimate means the median falls in the lowest interval of an open-ended distribution.</p> <p>* An "+." following a median estimate means the median falls in the upper interval of an open-ended distribution.</p> <p>* An "****" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.</p> <p>* An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.</p> <p>* An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.</p> <p>* An "(X)" means that the estimate is not applicable or not available.</p>
COLUMN NOTES	None

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Table: ACSDT5Y2019.B19301

Census Tract 105.01, Sarpy County, Nebraska		
Label	Estimate	Margin of Error
Per capita income in the past 12 months (in 2019 inflation-adjusted dollars)	27,108	±2,660

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Exhibit D



PER CAPITA INCOME IN THE PAST 12 MONTHS (IN 2019 INFLATION-ADJUSTED DOLLARS)

Note: The table shown may have been modified by user selections. Some information may be missing.

DATA NOTES

TABLE ID:	B19301
SURVEY/PROGRAM:	American Community Survey
VINTAGE:	2019
DATASET:	ACSDT5Y2019
PRODUCT:	ACS 5-Year Estimates Detailed Tables
UNIVERSE:	Total population
FTP URL:	None
API URL:	https://api.census.gov/data/2019/acs/acs5

USER SELECTIONS

TOPICS	Income (Households, Families, Individuals)
GEOS	Bellevue city

EXCLUDED COLUMNS

EXCLUDED COLUMNS	None
------------------	------

APPLIED FILTERS

APPLIED FILTERS	None
-----------------	------

APPLIED SORTS

APPLIED SORTS	None
---------------	------

WEB ADDRESS

<https://data.census.gov/cedsci/table?q=bellevue%20nebraska%20per%20capita%20income&tid=ACSDT5Y2019.B19301&hidePreview=true>

TABLE NOTES

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.

Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see Changes to the Retirement Income Question .

The 2015-2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

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Table: ACSDT5Y2019.B19301

	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <p>* An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.</p> <p>* An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution.</p> <p>* An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution.</p> <p>* An "***" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.</p> <p>* An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.</p> <p>* An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.</p> <p>* An "(X)" means that the estimate is not applicable or not available.</p>
COLUMN NOTES	None

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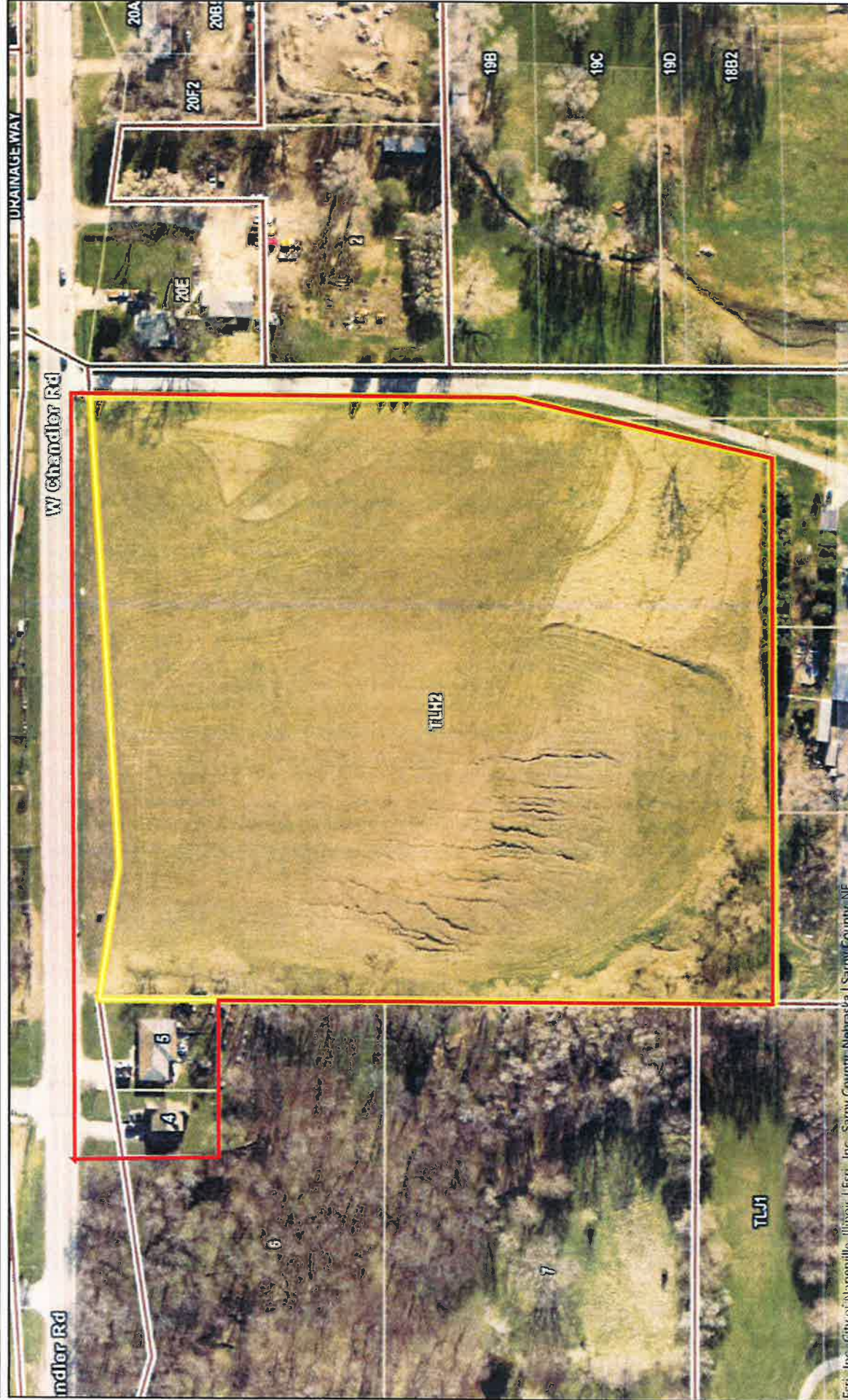
JUN 14 2021

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Table: ACSDT5Y2019.B19301

	Bellevue city, Nebraska	
Label	Estimate	Margin of Error
Per capita income in the past 12 months (in 2019 inflation-adjusted dollars)	29,822	±1,107

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Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.

Notes



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PLANNING DEPT.





Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes





MEMORANDUM

To:

City Council
Mayor Rusty Hike
City Administrator Jim Ristow

From: Angela Curry, Assistant Planning Manager

Date: July 23, 2021

Subject: Blighted and Substandard Designation for Lots 4 and 5, Edward Warren Addition, and Tax Lot H2

Elizabeth Sevcik, on behalf of Imperial Homes, LLC, is requesting Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, be designated as blighted and substandard. Ms. Sevcik's analysis is attached. Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, are located near the intersection of West Chandler Road and South 36th Street. Please refer to the attached map, where the property is outlined in blue. The properties were annexed on May 7, 2019.

The area requested to be designated as blighted and substandard is approximately 10.42 acres in total. The properties at 3421 West Chandler Road and 3501 West Chandler Road contain structures that were built in 1947 and 1961. Tax Lot H2 is undeveloped and covered in vegetation. The blighted property abuts West Chandler Road on the south, a major thoroughfare for the northeastern part of the city.

Section 18-2103 of Nebraska State Statutes provides the following definitions of "substandard" and "blighted" which must be met in order for the City Council to approve a resolution designating an area as blighted and substandard:

(3) Blighted area means an area, which (a) by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility, or usefulness, insanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions of title, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations, or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use and (b) in which there is at least one of the following conditions: (i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average; (ii) the average age of the residential or

commercial units in the area is at least forty years; (iii) more than half of the plotted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or village in which the area is designated; or (v) the area has had either stable or decreasing population based on the last two decennial censuses. In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a village shall not designate an area larger than one hundred percent of the village as blighted.

(31) Substandard area means an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare;

In order for the City Council to declare an area as blighted and substandard, the property must meet the statutory criteria outlined above. The authority of the City in making such a determination "shall be liberally construed" as stated in Section 18-2143 of the State Statutes.

The properties proposed to be designated as blighted and substandard are located along the West Chandler Road corridor. This area is in need of revitalization and improvement and has not been subject to comprehensive, sufficient, growth and development. The structures at 3421 West Chandler Road and 3501 West Chandler Road are 60 and 74 years old and both are showing signs of significant deterioration, including a lack of shingles on one of the homes. Such factors can be conducive to ill health and endangering life. Tax Lot H2 is undeveloped, covered in vegetation, and has remained so for many years. Additionally, the following conditions exist in the area:

The blighted properties are within Census Tract 105.01, which has an unemployment rated of 7.1%, more than 120% of the State unemployment rate of 3.3%. The per capita income is approximately \$27,108.00 which is lower than the average per capita income of Bellevue at approximately \$29,822.00.

Based upon the above analysis, the Planning Department feels that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard.

PLANNING DEPARTMENT RECOMMENDATION:

The Planning Department recommends APPROVAL of this designation based upon the above analysis that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard. This designation supports the overall goal of redevelopment of the West Chandler Road corridor and will not result in more than 35% of the city being designated as blighted and substandard.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission recommends APPROVAL of this request based upon the analysis that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard and the designation supports the overall goal of redevelopment of the West Chandler Road corridor and will not result in more than 35% of the city being designated as blighted and substandard.

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14e. and 14e1.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request approval to declare blighted and substandard Lots 4 and 5, Edward Warren Addition, and Tax Lot H2.
Applicant: Imperial Homes, LLC. General Location: South 36th Street and Chandler Road West.

SYNOPSIS/BACKGROUND:

Imperial Homes, LLC is requesting approval of a blighted and substandard designation for Lots 4 and 5 Edward Warren Addition, and Tax Lot H2. The area is located near the intersection of West chandler Road and South 36th Street. The combined lots are approximately 10.42 acres in total. The properties at 3421 West Chandler Road and 3501 West chandler Road contain structures that were built in 1947 and 1961; at 60 and 74 years old both properties are showing signs of significant deterioration. Tax Lot H2 is undeveloped and covered in vegetation.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO <input type="text"/>	COUNTER-PARTY: <input type="text"/>	INTERLOCAL AGREEMENT: NO <input type="text"/>
CONTRACT DESCRIPTION: <input type="text"/>		
CONTRACT EFFECTIVE DATE: <input type="text"/>	CONTRACT TERM: <input type="text"/>	CONTRACT END DATE: <input type="text"/>
PROJECT NAME: <input type="text"/>		
START DATE: <input type="text"/>	END DATE: <input type="text"/>	PAYMENT DATE: <input type="text"/> INSURANCE REQUIRED: NO <input type="text"/>
CIP PROJECT NAME: <input type="text"/>	CIP PROJECT NUMBER: <input type="text"/>	
STREET DISTRICT NAME (S): <input type="text"/>	STREET DISTRICT NUMBER (S): <input type="text"/>	
ACCOUNTING DISTRIBUTION CODE: <input type="text"/>	ACCOUNT NUMBER: <input type="text"/>	

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this blighted and substandard request.

ATTACHMENTS:

- | | | |
|---------------------------------------|-------------------------|-------------------------|
| 1. Planning Commission Recommendation | 2. Staff Memo | 3. Resolution 2021-29 |
| 4. <input type="text"/> | 5. <input type="text"/> | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

A. B. Rohn
[Signature]
[Signature]

RESOLUTION 2021-29

WHEREAS, certain contiguous real property currently legally described as:

Lots 4 and 5 Edward Warren Addition and Tax Lot H2, located in the Southwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County Nebraska; and

WHEREAS, the Nebraska Community Development Law (Sections 18-2103(3) and 18-2103(31) et seq., R.R.S. Neb.) (the “Act”), provides for Community Development Agencies to declare areas as substandard and blighted, and in need of redevelopment; and

WHEREAS, the Redevelopment Area is a combination of vacant and improved real estate which exhibits blighted and substandard conditions, as such terms and conditions are defined in and contemplated by the Act including, without limitation:

- (i) Conditions which are detrimental to the public health, safety, morals, and welfare of the community;
- (ii) Conditions which impair the sound growth of the community;
- (iii) The presence of one deteriorated structure;
- (iv) Average age of commercial structures in excess of 45 years; and

WHEREAS, these designations will provide for financing alternatives by the redevelopment authority for community purposes.

NOW, THEREFORE, be it resolved by the City Council for the City of Bellevue as follows:

1. That the City Council of the City of Bellevue finds it is in the best interest of the City of Bellevue, its residents and taxpayers that this Council should, and hereby does, find and declare and reaffirm that the Redevelopment Area is blighted and substandard and in need of development as such terms and conditions are defined in and contemplated by the Nebraska Community Development Law.

2. That the officers, employees and agents of the City are authorized and directed to undertake all lawful acts as shall be necessary or appropriate to implement this Resolution.

PASSED AND ADOPTED THIS 17th day of August 2021.

Rusty Hike, Mayor

Susan Kluthe, City Clerk

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

14f.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request to approve the Fiscal Year 2022-2027 Capital Improvement Plan. Applicant: City of Bellevue.

SYNOPSIS/BACKGROUND:

The CIP is being done in conjunction with the current budget. The first year of the CIP corresponds with the proposed annual budget. For FY 2022, the proposed Capital Projects total \$31,512,431 with \$20,842,931 being funded by the City and \$10,669,500 being funded from outside sources. The total cost of all projects shown in the CIP is \$180,350,463 with \$133,359,683 being funded by the City and \$47,081,500 coming from outside sources.

FISCAL IMPACT: BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Planning Department is recommending approval of the CIP. Planning Commission recommended approval of the CIP including amendments.

ATTACHMENTS:

- | | | |
|----------------------------|-----------------------------|---|
| 1. PC Recommendation Sheet | 2. Planning Department Memo | 3. Fiscal Year 2022-2027 Capital Improvement Plan |
| 4. <input type="text"/> | 5. <input type="text"/> | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM: _____

FINANCE APPROVAL AS TO FORM: _____

ADMINISTRATOR APPROVAL AS TO FORM: _____

A. Bryan Roblin
[Signature]
[Signature]

MEMORANDUM

TO: City Council Members
FROM: Angela Curry, Assistant Planning Manager
DATE: July 26, 2021
SUBJECT: Proposed FY 2022-2027 City of Bellevue Capital Improvement Plan

Attached for your review is the proposed City of Bellevue Capital Improvement Plan for Fiscal Years 2022 through 2027.

As with past CIPs, the document lists projects by department for each of the years of the plan. For each project, the total cost is shown along with any outside funding sources and the amount of the funding. The source of City funding is the General Fund, unless otherwise shown. For projects beyond the upcoming annual budget, the funding sources are shown where they have been identified. The total for each department, as well as the yearly total is also included. Following the list of projects and costs is a list of the projects with a brief description.

The first year of the CIP corresponds with the proposed annual budget. For FY 2022 the proposed Capital Projects total \$31,512,431 with \$20,842,931 being funded by the City and \$10,669,500 being funded from outside sources. For FY 2023, the proposed Capital Projects total \$38,787,213 with \$34,019,213 being funded by the City and \$4,768,000 being funded from outside sources. The total cost of all capital projects shown in the CIP is \$180,350,463 with \$133,359,683 being funded by the City and \$47,081,500 coming from outside sources.

The CIP includes several major projects. Major projects include a Library renovation (\$4,000,000), and a Wastewater South Lift Station Flood Recovery improvement (\$2,300,000). Significant road improvement projects within the plan include 36th Street from Highway 370 to Platteview Road, major street resurfacing and reconstruction projects and bridge repairs .

Funding for the upcoming fiscal year includes an allocation of \$750,000 for projects within the designated LB 840 area. This amount is carried over into each year of the plan.

MEMORANDUM

EXPENDITURES BY DEPARTMENT BY YEAR (Amended 7/22/2021)

<u>DEPARTMENT</u>	<u>FY 2021-22</u> ##	<u>FY 2022-23</u>	<u>FY 2023-24</u>	<u>FY 2024-25</u>	<u>FY 2025-26</u>	<u>FY 2026-27</u>	<u>TOTAL</u>
Administrative Services	70,000	-	-	-	-	-	70,000
Building Maintenance	75,000	-	-	-	-	-	75,000
Cemetery	100,000	-	-	-	-	-	100,000
Code Enforcement	61,431	-	-	-	-	-	61,431
Fire	1,065,000	805,000	1,010,000	1,275,000	-	-	4,155,000
Fleet Maintenance	175,000	98,500	-	176,175	104,170	-	553,845
Information Technology(IT)	-	-	-	-	-	-	-
Library	4,000,000	-	-	250,000	-	-	4,250,000
Non Departmental	575,000	-	-	-	-	-	575,000
Parks	1,650,000	13,000,000	-	-	-	-	14,650,000
Permits & Inspections	81,000	-	-	243,000	-	-	324,000
Police	875,000	858,713	727,474	-	-	-	2,461,187
Public Works	-	200,000	200,000	200,000	200,000	200,000	1,000,000
Recreation	-	-	-	-	-	-	-
Streets	18,460,000	21,185,000	17,825,000	43,510,000	37,070,000	5,560,000	143,610,000
Wastewater	3,575,000	1,890,000	-	-	-	-	5,465,000
Economic Development	750,000	750,000	750,000	750,000	-	-	3,000,000
TOTAL	31,512,431	38,787,213	20,512,474	46,404,175	37,374,170	5,760,000	180,350,463
City funding	20,842,931	34,019,213	17,319,194	31,724,175	23,694,170	5,760,000	133,359,683
Funding from others	10,669,500	4,768,000	3,284,000	14,680,000	13,680,000	-	47,081,500

City of Bellevue

PLANNING COMMISSION RECOMMENDATION

APPLICANT: City of Bellevue

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to approve the 2022-2027 Capital Improvement Plan

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

APPROVAL of the 2022-2027 City of Bellevue Capital Improvement Plan including amendments.

VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Perrin
	Aerni						Cutsforth
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021



City of Bellevue
Planning Department
1510 Wall Street • Bellevue, Nebraska 68005
(402) 293-3026

July 26, 2021

To: City Council
Mayor Rusty Hike
City Administrator Jim Ristow
From: Angela Curry, Assistant Planning Manager
Subject: Proposed 2022-2027 Capital Improvement Plan

Attached is the proposed fiscal year 2022-2027 Capital Improvement Plan (CIP) showing current projected expenditures. Please note some changes may occur as the budget process progresses.

Attachments: 2022-2027 Capital Improvement Plan Spreadsheet


Prepared by: _____ Date of Report: 7/26/21

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN
MEMORANDUM
PROJECTS BY YEAR**

FISCAL YEAR 2022				
DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
AS 22(1) Mini-bus replacement	70,000	18,000	52,000	Grant awarded by MAPA
Total	<u>70,000</u>	<u>18,000</u>	<u>52,000</u>	
Building Maintenance				
BM 22(1) Washington Park Gazebo	75,000	75,000	-	
Total	<u>75,000</u>	<u>75,000</u>	<u>-</u>	
Cemetery				
CE 22(1) Columbariums	100,000	100,000	-	
Total	<u>100,000</u>	<u>100,000</u>	<u>-</u>	
Code Enforcement				
CO 22(1) 2021 Ford F150	28,696	28,696	-	
CO 22(2) MDC Computers and Accessories for 5 vehicles	32,735	32,735	-	
Total	<u>61,431</u>	<u>61,431</u>	<u>-</u>	
Economic Development Fund				
ED 22(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
Total	<u>750,000</u>	<u>750,000</u>	<u>-</u>	
Fire				
FI 22(1) Replace Engine 15	625,000	625,000	-	
FI 22(2) Replace Medic 42	275,000	275,000	-	
FI 22(3) Replace Fire Car 7	55,000	55,000	-	
FI 22(4) Add FC 12	55,000	55,000	-	
FI 22(5) Replace FC 9	55,000	55,000	-	
Total	<u>1,065,000</u>	<u>1,065,000</u>	<u>-</u>	
Fleet				
FL 22(1) Vehicles and Equipment	175,000	175,000	-	See Detail Listing
Total	<u>175,000</u>	<u>175,000</u>	<u>-</u>	
Information Technology (IT)				
No capital projects this fiscal year.	-	-	-	
Total	<u>-</u>	<u>-</u>	<u>-</u>	
Library				

LI 22(1) Library renovation project	4,000,000	4,000,000		Financed by Bonds/Loan
Total	4,000,000	4,000,000	-	

Non-Departmental

ND 22 (1) Convention Center Updates	575,000	575,000		Community Betterment
Total	575,000	575,000	-	

Parks

PK 22(1) Faulkland Park Improvements	\$ 100,000	\$ 100,000	-	
PK 22(2) Stonecroft Park Parking Lot Improvements	\$ 220,000	\$ 220,000	-	
PK 22(3) Baldwin Ballfield Lighting	\$ 140,000	\$ 140,000	-	
PK 22(4) American Heroes Park Amphitheater	\$ 600,000	\$ -	600,000	FEMA
PK 22(5) American Heroes Park Restroom	\$ 590,000	\$ -	590,000	FEMA
Total	1,650,000	460,000	1,190,000	

Permits & inspections

PI 22(1-3) 3 - 2021 Chevy Colorado Extended Cab 4x4 Truck	81,000	81,000	-	
Total	81,000	81,000	-	

Police

PO 22(1) Cruiser purchase	260,000	260,000	-	
PO 22(2) Moveable Storage for Evidence Room	25,000	25,000	-	
PO 22(3) Radios	40,000	40,000	-	
PO 22(4) Body Cameras/Cruiser Cameras	550,000	550,000	-	
Total	875,000	875,000	-	

Public Works

	-	-	-	
Total	-	-	-	

Recreation

No capital projects this fiscal year.	-	-	-	
Total	-	-	-	

Streets

ST 22(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	\$ 3,750,000	\$ 3,750,000	\$ -	AC Funding/Bond Funding
ST 22(2) 2022 Concrete Projects	\$ -	\$ -	\$ -	See Detail Listing
ST 22(3) 2022 Overlay Projects	\$ 360,000	\$ 175,000	\$ 175,000	See Detail Listing
ST 22(4) 2022 Reconstruction Projects	\$ 2,935,000	\$ 2,935,000	\$ -	See Detail Listing/Bond Funding
ST 22(5) South 36th Street	\$ 9,050,000	\$ 1,810,000	\$ 7,240,000	NDOT 80% cost share
ST 22(6) Bridge Repairs	\$ 1,770,000	\$ 1,770,000	\$ -	See Detail Listing
ST 22(7) Drainage Improvements	\$ 80,000	\$ 80,000	\$ -	See Detail Listing
ST 22(8) Wall Rehabilitation	\$ -	\$ -	\$ -	See Detail Listing
ST 22(9) Facilities	\$ 75,000	\$ 75,000	\$ -	See Detail Listing
ST 22(10) Road Construction	\$ 80,000	\$ 80,000	\$ -	See Detail Listing
ST 22(11) Signal Improvements	\$ -	\$ -	\$ -	See Detail Listing
ST 22(12) Asset Management	\$ 175,000	\$ 175,000	\$ -	See Detail Listing
ST 22(13) Vehicles and Equipment	\$ 195,000	\$ 195,000	\$ -	See Detail Listing
Total	18,460,000	11,045,000	7,415,000	

Wastewater

WW 22(1) Utility Vehicle	75,000	75,000	-	Wastewater fund
WW 22 (2) QUAIL CREEK LIFT STATION	1,200,000	1,200,000	-	Wastewater fund
WW 22 (3) SOUTH LIFT STATION FLOOD RECOVERY	2,300,000	287,500	2,012,500	FEMA
WW 22(4) SOUTH RIDGELINE IMPROVEMENTS	-	-	-	
Total	3,575,000	1,562,500	2,012,500	
CAPITAL TOTAL ALL DEPARTMENTS	31,512,431	20,842,931	10,669,500	

PROJECT DESCRIPTIONS

AS 22(1) Mini-bus replacement
 AS 22(2) Consulting Fees

BM 22(1) Demo & Reconstruct Gazebo at Washington Park

CE 22(1) Columbariums

CO 22(1) 2021 Ford F150 1/2 Ton Extended Cab 4x4 Truck	\$ 28,696.00	\$ 28,696.00	
CO 22(2) MDC Computers and Accessories for 5 vehicles			
<i>Getac Tablet</i>	\$ 16,000.00	\$ 16,000.00	-
<i>Havis Mounts</i>	\$ 3,615.00	\$ 3,615.00	-
<i>Floor Plate</i>	\$ 645.00	\$ 645.00	-
<i>Getac Docking Station</i>	\$ 3,800.00	\$ 3,800.00	
<i>Keyboard</i>	\$ 1,650.00	\$ 1,650.00	
<i>Unlimited Data Plan per month</i>	\$ 195.00	\$ 195.00	
<i>MACTraCS user accounts per year</i>	\$ 350.00	\$ 350.00	
<i>Printer</i>	\$ 1,550.00	\$ 1,550.00	
<i>Printer Mount (\$300-\$400 depending on type)</i>	\$ 2,000.00	\$ 2,000.00	
<i>Printer Paper (case of 30 rolls)</i>	\$ 1,000.00	\$ 1,000.00	
<i>Scanner</i>	\$ 1,780.00	\$ 1,780.00	
<i>GPS Pucks</i>	\$ 150.00	\$ 150.00	
	\$ 61,431.00	\$ 61,431.00	-

(5 CASES)

ED 22(1) LB 840 Infrastructure improvements

FI 22(1) Replace Engine 15
 FI 22(2) Replace Medic 42
 FI 22(3) Replace Fire Car 7
 FI 22(4) Add FC 12
 FI 22(5) Replace FC 9

FL 22(1) Vehicles and Equipment - FLT-13 1994 Ford L800 Crane truck

LI 22(1) Library renovation project - Facilities Improvements (Bond/Loan financing)

ND 22(1) Convention Center updates

PK 22(1) Faulkland Park - New Playground, Shelter and ADA Parking Lot & Walking Path Renovations
 PK 22(2) Stonecroft Park Parking Lot Renovations-ADA Improvements
 PK 22(3) Baldwin Field - New lights for all three ballfields
 PK 22(4) American Heroes Park Amphitheater & Electrical/Lighting - Construction (FEMA)
 PK 22(5) American Heroes Park Restroom - Design & Construction for north park area (FEMA)

PI 22(1) 2021 Chevy Colorado Extended Cab 4x4 Truck
 PI 22(2) 2021 Chevy Colorado Extended Cab 4x4 Truck
 PI 22(3) 2021 Chevy Colorado Extended Cab 4x4 Truck

PO 22(1) Cruiser purchase—On-going program to replace 15 cruisers
 PO 22(2) Moveable Storage for Evidence Room
 PO 22(3) Radios
 PO 22(4) Body Cameras/Cruiser Cameras

PW 22(1) Project Engineering—Outsourced engineering for various projects

ST 22(1) Major Street Resurfacing (MAPA/NDOT AC Funding)

M146(237B) Jewell Rd; Harvell Dr to Bellevue Blvd S - RESURFACING**	\$ 188,500	\$ 188,500	
M146(239B) Golden Hills Addition - RESURFACING**	\$ 728,000	\$ 728,000	
M146(243C) 25th St; Harrison St to Mose Ave - RESURFACING**	\$ 422,500	\$ 422,500	
M146(244B) 42nd St; Harrison St to Giles Rd - RESURFACING**	\$ 520,000	\$ 520,000	
M146(247) Chandler Rd W; 30th St, High Meadows Lane - RESURFACING**	\$ 348,500	\$ 348,500	
M146(249B) Avery Rd.; Bellevue Blvd N to Ft Crook Rd - RESURFACING**	\$ 292,500	\$ 292,500	
M146(273B) Capehart Rd; Ft Crook Rd to Dow St - RESURFACING**	\$ 1,250,000	\$ 1,250,000	
	<u>\$ 3,750,000</u>	<u>\$ 3,750,000</u>	<u>-</u>

ST 22(2) 2022 Concrete Projects

M146(122D) So 36th St; Hwy 370 to Sheridan Rd - PHASE 1, YR 2 - WIDENING/RECONSTRUCTION	\$ -	\$ -	
	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>

ST 22(3) 2022 Overlay Projects

M146(288A,B) Harrison St; 38th to 48th St - RESURFACING**	\$ 350,000	\$ 175,000	175,000	Cost share with Omaha
	<u>\$ 350,000</u>	<u>\$ 175,000</u>	<u>\$ 175,000</u>	

ST 22(4) 2022 Reconstruction Projects (Bond Funding)

M146(179B) Gregg Rd W, 23rd to 25th St - RECONSTRUCTION	\$ 725,000	\$ 725,000	
M146(194) Gilmore Lake Rd e/ 25th St - RECONSTRUCTION, DRAINAGE IMPROVEMENTS	\$ 75,000	\$ 75,000	
M146(270) Bernadette Ave, Margo St; 48th to 42nd St - REHAB CONCRETE REPAIRS	\$ 220,000	\$ 220,000	
M146(283A) Chandler Rd, Bail Blvd N to 26th St - REHAB ADVANCE CONCRETE REPAIRS, STREETSCAPE	\$ 640,000	\$ 640,000	
M146(324) Cornhusker Rd; Ft Crook to 25th St YR 1 PRELIM ENG/DESIGN → CORRIDOR WIDENING	\$ 500,000	\$ 500,000	
M146(305A) 30th St, Cornhusker to 370 - YR 2 ENG/DESIGN → RECONSTRUCTION	\$ 425,000	\$ 425,000	
M146(307A) Ft Crook Rd, S 13th St to Harlan Dr - ENG/DESIGN → REDEVELOPMENT, RECONSTRUCTION	\$ 125,000	\$ 125,000	
M146(318) Ft Crook Rd; Chandler to Capehart - DRAINAGE STRUCTURE REHAB; YR 1	\$ 100,000	\$ 100,000	
M146(74A) Capehart Rd; 27th to 30th St - YR 2 ENG/DESIGN → RECONSTRUCTION	\$ 125,000	\$ 125,000	
	<u>\$ 2,935,000</u>	<u>\$ 2,935,000</u>	<u>-</u>

ST 22(5) South 36th Street

M146(122D) So 36th St; Hwy 370 to Sheridan Rd - PHASE 1, YR 2 - WIDENING/RECONSTRUCTION	\$ 7,400,000	\$ 1,480,000	5,920,000	Federal Aid Project (80/20)
M146(171A) So 36th St; Sheridan Rd to Plattview - PHASE 2, YR 2 - ENG/DESIGN	\$ 1,650,000	\$ 330,000	1,320,000	
	<u>\$ 9,050,000</u>	<u>\$ 1,810,000</u>	<u>7,240,000</u>	

ST 22(6) Bridge Repairs

M146(252B) Galvin Rd & Hansen Ave - PEDESTRIAN BRIDGE REHAB	\$ 500,000	\$ 500,000	
M146(301B) Schilling Dr; 9th St to 13th St - BRIDGE #U023031235 CONTRACT PLANS, BRIDGE REMOVAL	\$ 250,000	\$ 250,000	
M146(320) Cornhusker Rd e/ 10th St; Bridge #U023000615P EROSION MITIGATION	\$ 295,000	\$ 295,000	
M146(321) Harlan Dr & Ft Crook Rd; Bridge #U023001654 - EXPANSION JOINTS, APPROACH SLABS, DRA	\$ 725,000	\$ 725,000	
	<u>\$ 1,770,000</u>	<u>\$ 1,770,000</u>	<u>-</u>

ST 22(7) Drainage Improvements

M146(157A) Batz Ditch, south of Lloyd St - YR 2, ENG/DESIGN → DRAINAGE IMPROVEMENTS	\$ 80,000	\$ 80,000	
	<u>\$ 80,000</u>	<u>\$ 80,000</u>	<u>-</u>

ST 22(8) Wall Rehabilitation

	\$ -	\$ -	
	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>

ST 22(9) Facilities

M146(325) City of Bellevue Public Works Facility ENG/DESIGN	\$ 75,000	\$ 75,000	
	<u>\$ 75,000</u>	<u>\$ 75,000</u>	<u>-</u>

ST 22(10) Road Construction

M146(334) Fl Crook Rd N; 1200 Block - MEDIAN ACCESS RD	\$ 80,000	\$ 80,000	
	<u>\$ 80,000</u>	<u>\$ 80,000</u>	<u>-</u>
ST 22(11) Signal Improvements			
	\$ -	\$ -	
	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>
ST 22(12) Asset Management			
M146(319) Pavement Manage System - DATA COLLECTION, IMPLEMENTATION; YR 1	\$ 175,000	\$ 175,000	
	<u>\$ 175,000</u>	<u>\$ 175,000</u>	<u>-</u>
ST 22(13) Vehicles and Equipment - Capital Lease			
Pickup Trucks - 3 @ \$65k each	\$ 195,000	\$ 195,000	
	<u>\$ 195,000</u>	<u>\$ 370,000</u>	<u>-</u>
WW 22(1) Utility vehicle is used in our emergency reponse to events. Current vehicle is 30 years old and needs to be replaced	\$ 75,000	\$ 75,000	
WW 22(2) Due to growth in this sanitary basin, this lift station and forcemain will need to be replaced (Quail Creek)	\$ 1,200,000	\$ 1,200,000	
WW 22(3) Project is continued from 2020-2021(South Lift Station Flood Recovery)	\$ 2,300,000	\$ 287,500	\$ 2,012,500
WW 22(4) South Ridgeline Improvements (FEMA)	\$ -	\$ -	
	<u>\$ 3,575,000</u>	<u>\$ 1,562,500</u>	<u>\$ 2,012,500</u>

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN
MEMORANDUM
PROJECTS BY YEAR**

FISCAL YEAR 2023

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Building Maintenance				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Cemetery				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Economic Development Fund				
ED 23(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
Total	750,000	750,000	-	
Fire				

FI 23(1) Replace Engine 41	675,000	675,000	-	Community Betterment
FI 23(2) Replace Fire Car 2	65,000	65,000		
FI 23(3) Replace Fire Car 9	65,000	65,000		

Total	<u>805,000</u>	<u>805,000</u>	<u>-</u>	
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Fleet

FL 23(1) Vehicles and Equipment	98,500	98,500	-	
	-	-	-	
	-	-	-	
Total	<u>98,500</u>	<u>98,500</u>	<u>-</u>	

Information Technology (IT)

No capital projects this fiscal year.	-	-	-	
Total	<u>-</u>	<u>-</u>	<u>-</u>	

Library

No capital projects this fiscal year.	-	-	-	
Total	<u>-</u>	<u>-</u>	<u>-</u>	

Parks

PK 23(1) Aquatic Center-Construction	13,000,000	13,000,000	-	
Total	<u>13,000,000</u>	<u>13,000,000</u>	<u>-</u>	

Police

PO 23(1) Cruiser purchase	500,000	500,000	-
PO 23(2) Tablets for Vehicles with Wi-Fi	331,239	331,239	-
PO 23(3) Pro-Phoenix LRMS	27,474	27,474	-
Total	<u>858,713</u>	<u>858,713</u>	<u>-</u>

Public Works

PW 23(1) Project Engineering	200,000	200,000	-
Total	<u>200,000</u>	<u>200,000</u>	<u>-</u>

Recreation

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

Streets

ST 23(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	1,100,000	1,100,000	-	AC Funding
ST 23(2) Concrete Projects	2,790,000	2,790,000	-	See Detail Listing
ST 23(3) 2023 Overlay Projects	-	-	-	See Detail Listing
ST 23(4) 2023 Reconstruction Projects	4,800,000	4,800,000	-	See Detail Listing
ST 23(5) South 36th Street	5,960,000	1,192,000	4,768,000	NDOT 80% cost share
ST 23(6) Bridge Repairs	-	-	-	See Detail Listing
ST 23(7) Drainage Improvements	2,745,000	2,745,000	-	See Detail Listing
ST 23(8) Wall Rehabilitation	1,115,000	1,115,000	-	See Detail Listing
ST 23(9) Facilities	2,500,000	2,500,000	-	
ST 23(10) Road Construction	-	-	-	
ST 23(11) Signal Improvements	75,000	75,000	-	See Detail Listing
ST 23(12) Asset Management	100,000	100,000	-	See Detail Listing
ST 23(13) Vehicles and Equipment	-	-	-	

Total	<u>21,185,000</u>	<u>16,417,000</u>	<u>4,768,000</u>
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Wastewater

WW 23(1) CIPP Pipeline Rehabilitation	230,000	230,000	-
WW 23(2) Bluff St Force Main replacement	200,000	200,000	-
WW 23 (3) CCTV Van Replacement	260,000	260,000	
WW 24 (4) South Bellevue Sanitary Upgrades	1,200,000	1,200,000	
Total	<u>1,890,000</u>	<u>1,890,000</u>	<u>-</u>

CAPITAL TOTAL ALL DEPARTMENTS	38,787,213	34,019,213	4,768,000
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PROJECT DESCRIPTIONS

ED 23(1) Infrastructure--Funding for LB 840 program, possible projects to be determined

FI 23(1) Replace Pumper 41--1997 Seagrave

FI 23(2) Replace Fire Car 2--Replace 2011 Tahoe

FI 23(3) Replace Fire Car 9--Replace 2010 Tahoe

FL 23(1) Vehicles and Equipment

*FLT-5 2012 Ford F350 crew cab (\$44,500)

*FLT-7 1980 Allis Chalmers 30 Forklift-this will be determined, the type and size, based on the new shop (\$54,000)

PK 23(1) Aquatic Center - Construction

PO 23(1) Cruiser purchase (on-going)

PO 23(2) Tablet for vehicles with Wi-Fi

PO 23(3) Pro-Phoenix LRMS software

PW 23(1) Project Engineering--Outsourced engineering for various projects

ST 23(1) Major Street Resurfacing (MAPA/NDOT AC Funding)

M146(228D) Chandler Rd:Bellevue Blvd N to 2tth St-RESURFACING**

M146(317) Cedar Island Rd: Chandler Rd to Childs Rd -RESURFACING**

ST 23(2) 2023 Concrete Projects

M146(228D) Cit-wide, various locations-CONCRETE PAVEMENT REHAB; YR 4

M146(269A) Hancock St; E Missioni Ave to E 29th Ave - REHAB ADVANCE CONCRETE REPAIRS

M146 (270A) Giles Rd; 42nd to 48th St - REHAB ADVANCE CONCRETE REPAIRS

M146(280A) Fontenelle Hills; Martin Dr and Ridgewood Dr - REHAB ADVANCE CONCRETE REPAIRS

M146(281A) Freeman Dr/Jackson St; Harvell Dr to Mission Ave- REHAB ADVANCE CONCRETE REPAIRS

M146(282A) Cascio Additon - Kings Dr, Casicio Dr- REHAB ADVANCE CONCRETE REPAIRS

M146(284A) Mission Ave; Main St to Lincoln Rd - REHAB ADVANCE CONCRETE REPAIRS

M146(285A) Valleyview, 39th St - REHAB ADVANCE CONCRETE REPAIRS

M146(288C) Harison St, Sarpy Ave to 36th St - REHAB ADVANCE CONCRETE REPAIRS

M146(297A) St Andrews Rd; Lincoln Rd to Birchcrest Rd - REHAB ADVANCE CONCRETE REPAIRS

Galvin Rd/Lincoln Rd; Ludwig Dr to Bellevue Gate - REHAB ADVANCE CONCRETE REPAIRS

ST 23(3) 2023 Overlay Projects

ST 23(4) 2023 Reconstruction Projects

M146(236) 36th & Chandler intersection - INTERSECTION IMPROVEMENTS; DRAINAGE STRUCTURE, SIDEWALKS, PAVING

M146(236) Cornhusker Rd; Ft Crook to 25th St YR 2 - PRELIM ENG/DESIGN--> COORIDOR WIDENING

M146(215) Fontenelle Hills Addition; Ridgewood Ct, Bayberry Dr, Laurel Dr, Laurel Cir - RECONSTRUCTION

M146(21B) Forest Hills Addition; Shagbark Ct, Redbud Ln, Forestview Cir - RECONSTRUCT ASPHALT STREETS

M146(305A) 36th St, Cornhusker to 370 - FINAL ENG/DESIGN WORK--> RECONSTRUCTION

M146(318) Ft Crook Rd; Chandler to Capehart - DRAINAGE STRUCTURE REHAB, YR 2

ST 23(5) South 36th Street

M146(171B) So 36th St - Sheridan Rd to Plattview Rd - PHASE 2; CONSTRUCTION; YR 1

ST 23 (6) Bridge Repairs

ST 23(7) Drainage Improvements

M146(205) Drainage area west of Harlan Lewis Rd, Industrial Dr to Paradise Park - DRAINAGE IMPROVEMENTS, DRAINAGE STRUCTURE

M146(253B) Area 19th to 18th, north of Chandler Rd - DRAINAGE STRUCTURES

M146(274) NE Corner of Harvell Dr & Lincoln, NE for 0.16 Mi toward Lila Ave - GROUT, SLIP-LINE CONCRETE DRAINAGE PIPE

M146(157B) Betz Ditch, south of Lloyd St - DRAINAGE IMPROVEMENTS; YR 1

M146(271A) E/25th St, Lynnwood Dr to Blackhawk Dr - DRAINAGE DITCH REHAB - YR 1

M146(276B) College Heights; 407 MMK (Lot 177B) - EASEMENT, EROSION MITIGATION, DRAINAGE IMPROVEMENTS, YR 1
M146(300B) Area west of 26th St, N of Chandler Rd - DRAINAGE IMPROVEMENTS, STRUCTURES, PAVING YR 1

ST 23(8) Wall Rehabilitation

M146(230B) Lincoln Rd., Ludwig Dr to Mission Ave - WALL, SIDEWALK INSTALLATION, DRAINAGE STRUCTURES
M146(231B) Lincoln Rd., Lorraine Ave to Lorraine Dr - WALL, , PAVING, SIDEWALK INSTALLATION

ST 23(9) Facilities

M146(325) City of Bellevue Public Works Facility YR 2 ENG/DESIGN, LAND, SITE PREP, UTILITIES

ST 23(10) Road Construction

ST 23(11) Signal Improvements

M146(333) 36th & Bline - SIGNAL IMPROVEMENTS

ST 23(12) Asset Management

M146(319) Pavement Manage System - DATA COLLECTION, IMPLEMENTATION; YR 2

ST 23(13) Vehicles and Equipment

WW 23(1) CIPP Pipeline Rehabilitation
WW 23(2) Bluff St Force Main replacement
WW 23(3) TV is at the end of its useful life
WW 23(4) New infrastructure development needs

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN
MEMORANDUM
PROJECTS BY YEAR**

FISCAL YEAR 2024

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Building Maintenance				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Cemetery				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Economic Development Fund				
ED 24(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
Total	750,000	750,000	-	
Fire				

FI 24(1) Replace Engine/Tanker 4	850,000	850,000	-
FI 24(2) Replace Utility 1	65,000	65,000	-
FI 24(3) Replace Brush 33	95,000	95,000	-
Total	<u>1,010,000</u>	<u>1,010,000</u>	<u>-</u>

Fleet

FL 24(1) Vehicles and Equipment	90,720	90,720	-
	-	-	-
	-	-	-
Total	<u>90,720</u>	<u>90,720</u>	<u>-</u>

Information Technology (IT)

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

Library

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

Parks

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

Police

PO 24(1) Cruiser purchase	500,000	500,000	-
PO 24(2) Pro Phoenix LRMS	27,474	27,474	-
PO 24(3) Servers	200,000	200,000	-
Total	<u>727,474</u>	<u>727,474</u>	<u>-</u>

Public Works

PW 24(2) Project Engineering	200,000	200,000	-
Total	<u>200,000</u>	<u>200,000</u>	<u>-</u>

Recreation

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

Streets

ST 24(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	3,220,000	3,220,000	-	
ST 24(2) 2024 Concrete Projects	2,855,000	2,855,000	-	
ST 24(3) 2024 Overlay Projects	2,405,000	2,405,000	-	
ST 24(4) Capehart Rd; Kennedy Freeway to Dow St	1,125,000	225,000	900,000	Sarpy County Cost Share
ST 24(5) Fontenelle Hills Addition; Martin Dr, Ridgewood Ct	2,980,000	596,000	2,384,000	NDOT 80% cost share
ST 24(6) Freeman Dr/Jackson St; Harvell Dr to Mission Ave	-	-	-	
ST 24(7) Cascio Addition; Kings Dr, Cascio Dr	2,090,000	2,090,000	-	
ST 24(8) Chandler Rd; Bellevue Blvd N to 25th St	-	-	-	
ST 24(9) Mission Ave; Main St to Lincoln Rd	2,500,000	2,500,000	-	
ST 24(10) High Meadows Ln, 39th St, Valleyview	-	-	-	
ST 24(11) Ft Crook Rd; Cornhusker Rd to Capehart Rd	650,000	650,000	-	
ST 24(12) Willow Springs Addition; Lewis and Clark	-	-	-	
ST 24(13) Harrison St; Sarpy Ave to 48th St (Yr 1 - 36th to 48th	-	-	-	

	Total	<u>17,825,000</u>	<u>14,541,000</u>	<u>3,284,000</u>
Wastewater				
No capital projects this fiscal year.		-	-	-
	Total	<u>-</u>	<u>-</u>	<u>-</u>
CAPITAL TOTAL ALL DEPARTMENTS		20,603,194	17,319,194	3,284,000

PROJECT DESCRIPTIONS

ED 24(1) Infrastructure--Funding for LB 840 program, possible projects to be determined

FI 24(1) Replace Engine/Tanker 4 --A 2000 Seagrave

FI 24(2) Replace Utility 1--A 2004 F 250 dual wheel pickup

FI 24(3) Replace Brush 33--A 2002 Chevy 3500 pick-up with water tank and pump

FL 24(1) Vehicles and Equipment

FLT-1 2011 Ford F350 Plow truck

FLT-6 2005 Ford F350

PO 24 (1) Cruiser purchase ongoing

PO 24 (2) Pro-Phoenix LRMS software

PO 24 (3) Servers

PW 24(1) Project Engineering--Outsourced engineering for various projects

ST 24(1) Major Street Resurfacing (MAPA/NDOT AC Funding)

M146(245) Kayleen Dr; Gregg Rd E to Harvell Dr - RESURFACING

M146(269B) Hancock St.; E Mission Ave to E 29th Ave - RESURFACING

M146(270B) Giles Rd; 42nd to 48th St - RESURFACING
M146(281B) Freeman Dr/Jackson St; Harvell Dr to Mission Ave - RESURFACING
M146(282B) Cascio Addition – Kings Dr, Cascio Dr – RESURFACING
M146(284B) Mission Ave; Main St to Lincoln Rd - RESURFACING
M146(288D) Harrison St, Sarpy Ave to 36th St - RESURFACING
M146(308B) Galvin Rd/Lincoln Rd; Ludwig Dr to Bellevue Gate - RESURFACING

ST 24(2) 2024 Concrete Projects

M146(238A) Childs Rd E; Camp Gifford Rd to Ft Crook Rd - REHAB ADVANCED CONCRETE REPAIRS
M146(286A) Ft Crook Rd; Cornhusker Rd to Capehart Rd - REHAB ADVANCE CONCRETE REPAIRS
M146(287A) Willow Springs – Lewis and Clark east of 25th St to Kennedy Freeway - REHAB ADVANCE CONCRETE REPAIRS
M146(289A) Blue Ridge Addition; Oak Ridge Dr to 36th St, Sherwood Dr to Cornhusker Rd - REHAB ADVANCED CONCRETE REPAIRS
M146(292A) AREA OF: Borman to Harrison, 45th to 48th St - REHAB ADVANCE CONCRETE REPAIRS
M146(293A) Birchcrest Rd/Lloyd St; Harvell Dr to Betz Rd - REHAB ADVANCE CONCRETE REPAIRS
M146(296A) S 36th St; Harrison to Chandler - REHAB ADVANCED CONCRETE REPAIRS
M146(298A) Fairfax Rd; Harvell Dr to Wilroy Rd - REHAB ADVANCE CONCRETE REPAIRS
M146(316A) 25th St, 625' N/ Sautter Ave to Cornhusker Rd - REHAB ADVANCE CONCRETE REPAIRS
M146(322A) Harvell Dr; Birchcrest Rd to Ft Crook Rd - REHAB ADVANCE CONCRETE REPAIRS/STREET-SCAPE

ST 24(3) 2024 Overlay Projects

M146(233) Electri-City, Dietz Meadows, Buller's First Addition - RESURFACING
M146(241) Kasper St; City limits to Ft Crook Frontage Rd - RESURFACING
M146(242) Twin Ridge II Addition; Bryan Ave, Victoria Ave - RESURFACING
M146(280B) Fontenelle Hills; Martin Dr and Ridgewood Dr – RESURFACING
M146(285B) Valleyview , 39th St - RESURFACING
M146(297B) St Andrews Rd; Lincoln Rd to Birchcrest Rd - RESURFACING

ST 24(4) 2024 Reconstruction Projects

M146(305B) 36th St, Cornhusker to 370 - ROW, UTILITIES

ST 24(5) South 36th Street

M146(171C) So 36th St - Sheridan Rd to Platteview Rd - PHASE 2; CONSTRUCTION, YR 2

ST 24(6) Bridge Repairs

ST 24(7) Drainage Improvements

M146(253B) Area 19th to 18th, north of Chandler Rd - DRAINAGE STRUCTURES
M146(157B) Betz Ditch, south of Lloyd St - DRAINAGE IMPROVEMENTS, YR 2
M146(271B) E/25th St, Lynnwood Dr to Blackhawk Dr - DRAINAGE DITCH REHAB, YR 2

M146(276B) College Heights; 407 MMK (Lot 177B) - EASEMENT, EROSION MITIGATION, DRAINAGE IMPROVEMENTS, YR 2

M146(300B) Area west of 26th St, N of Chandler Rd - DRAINAGE IMPROVEMENTS, STRUCTURES, PAVING YR 2

ST 24(8) Wall Rehabilitation

ST 24(9) Facilities

M146(325) City of Bellevue Public Works Facility SITE PREP, UTILITIES

ST 24(10) Road Construction

ST 24(11) Signal Improvements

M146(232) City-wide Traffic Signal Communication Upgrades (controllers, signal heads, office communication capability, pre-empt upgrades, intersection cameras)

ST 24(12) Asset Management

ST 24(13) Vehicles and Equipment

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN
MEMORANDUM
PROJECTS BY YEAR**

FISCAL YEAR 2025

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Building Maintenance				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Cemetery				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
Economic Development Fund				
ED 25(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
Total	750,000	750,000	-	
Fleet				
FL 25(1) Vehicles and Equipment	176,175	176,175	-	
Total	176,175	176,175	-	
Fire				
FI 25 (1) Replace Medic 31	425,000	425,000	-	
FI 25 (2) Replace Engine 41	850,000	850,000	-	
Total	1,275,000	1,275,000	-	

Total	<u>1,275,000</u>	<u>1,275,000</u>	<u>-</u>
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Information Technology (IT)

No capital projects this fiscal year.

Total	<u>-</u>	<u>-</u>	<u>-</u>
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Library

LI 25 (1) RFID System	200,000	200,000	
LI 25(2)Public Lockers	50,000	50,000	
Total	<u>250,000</u>	<u>250,000</u>	<u>-</u>

Parks

No capital projects this fiscal year.

Total	<u>-</u>	<u>-</u>	<u>-</u>
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Permits and Inspectoins

P&I 25 (3) Chevy Colorado Pickup Trucks	243,000	243,000	
Total	<u>243,000</u>	<u>243,000</u>	<u>-</u>

Public Works

PW 25(1) Project Engineering/Surveying	200,000	200,000	
Total	<u>200,000</u>	<u>200,000</u>	<u>-</u>

Recreation

No capital projects this fiscal year.

Total	<u>-</u>	<u>-</u>	<u>-</u>
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Streets

ST 25(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	6,235,000	6,235,000	-	AC Funding
ST 25(2) 2025 Concrete Projects	2,710,000	2,710,000	-	
ST 25(3) 2025 Overlay Projects	2,550,000	2,550,000	-	
ST 23(4) 2023 Reconstruction Projects	17,285,000	3,605,000	13,680,000	
ST 23(5) South 36th Street	0	0	-	
ST 23(6) Bridge Repairs	0	0	-	
ST 23(7) Drainage Improvements	1,445,000	445,000	1,000,000	
ST 23(8) Wall Rehabilitation	0	0	-	

ST 23(9) Facilities	10,000,000	10,000,000	-
ST 23(10) Road Construction	3,000,000	3,000,000	-
ST 23(11) Signal Improvements	285,000	285,000	-
ST 23(12) Asset Management			
ST 23(13) Vehicles and Equipment			
Total	43,510,000	28,830,000	14,680,000
Wastewater			
No capital projects this fiscal year.	-	-	-
Total	-	-	-
CAPITAL TOTAL ALL DEPARTMENTS	46,404,175	31,724,175	14,680,000

PROJECT DESCRIPTIONS

ED 25(1) Infrastructure—Funding for LB 840 program, possible projects to be determined

FI 25(1) Replace Medic 31—A 2006 International Medic Unit

FI 25(2) Replace Engine 41—A 1997 Seagrave Pumper

FL 25(1) Vehicles and Equipment

FLT-4 2018 Ford Transit Van Parts Pickup

Above Ground Truck Lifts

P&I 25(1) 3 Chevy Colorado Trucks

PO 25(1) Land Purchase for Impound Lot/K-9 Complex

PO 25(2) Range Outbuilding

LI 25(1) Implement RFID (Radio Identification) System

LI 25(2) Public Lockers

PW 25(1) Project Engineering/Surveying

ST 25(1) Major Street Resurfacing (MAPA/NDOT AC Funding)

M146(238B) Childs Rd E; Camp Gifford Rd to Ft Crook Rd - RESURFACING

M146(286B) Ft Crook Rd; Cornhusker Rd to Capehart Rd - RESURFACING

M146(293B) Birchcrest Rd/Lloyd St; Harvell Dr to Betz Rd - RESURFACING

M146(296B) S 36th St; Harrison to Chandler - RESURFACING

M146(316B) 25th St, 625' N/ Sautter Ave to Cornhusker Rd- RESURFACING*

M146(322B) Harvell Dr; Birchcrest Rd to Ft Crook Rd - RESURFACING*

ST 25(2) 2025 Concrete Projects

M146(277A) S 28th Ave; Capehart Rd to Leawood Dr - REHAB ADVANCED CONCRETE REPAIRS

M146(278A) S 29th Ave; Capehart Rd to Southdale Plaza - REHAB ADVANCED CONCRETE REPAIRS

M146(286C) Ft Crook Rd, 13th St; Harrison to Cornhusker Rd - REHAB ADVANCE CONCRETE REPAIRS

M146(287A) Willow Springs—Lewis and Clark east of 25th St to Kennedy Freeway - REHAB ADVANCE CONCRETE REPAIRS

M146(290A) BBN; Prairie Ave to Gregg Rd - REHAB ADVANCE CONCRETE REPAIRS

M146(291A) BBS, Lord Blvd; Lincoln Rd to Franklin St - REHAB ADVANCE CONCRETE REPAIRS
M146(309A) Gregg Rd, Bellevue Blvd N to Galvin Rd - REHAB ADVANCE CONCRETE REPAIRS
M146(310A) Harlan Dr, Galvin Rd to Ft Crook Rd - REHAB ADVANCE CONCRETE REPAIRS
M146(311A) 25th St, Lynnwood Dr to Fairview Rd - REHAB ADVANCE CONCRETE REPAIRS

ST 25(3) 2025 Overlay Projects

M146(227) Kirby Addition; Garden Ave, Westridge Ave - RESURFACING
M146(246) Marian Ave.; Bellevue Blvd S to Lincoln Rd - RESURFACING
M146(250) Area Sarpy Ave to 30th St, Harrison St to Chandler Rd - RESURFACING
M146(257) Southern Valley Addition; 45th-48th St, Suburban Dr to Greene Ave - RESURFACING
M146(263) Bellaire Heights Addition; Crestridge Dr, Hillside Dr, Valleyview Dr - RESURFACING
M146(289B) Blue Ridge Addition; Oak Ridge Dr to 36th St, Sherwood Dr to Cornhusker Rd - RESURFACING
M146(292B) AREA OF: Borman to Harrison, 45th to 48th St - RESURFACING
M146(298B) Fairfax Rd; Harvell Dr to Wilroy Rd - RESURFACING

ST 25(4) 2025 Reconstruction Projects

M146(74B) Capehart Rd; 27th to 36th St - RECONSTRUCTION YR1
M146(235) Bellevue Blvd North; Prairie Ave TO 13th St - BRICK PAVER REHAB
M146(305B) 36th St, Cornhusker to 370 - YR 1 RECONSTRUCTION

ST 25(5) South 36th Street

ST 25(6) Bridge Repairs

ST 25(7) Drainage Improvements

M146(258) Willow Springs Addition; s/Hogantown Dr, b/t Lots 198,40 - DRAINAGE IMPROVEMENTS
M146(266B) Fontenelle Hills Addition near 502 Edgewood Ct - STORM SEWER REPAIRS AND DRAINAGE IMPROVEMENT
M146(268B) Quail Creek; Outlot 2 Twin Creek Plaza, Parcel ID #011317434 - DRAINAGE IMPROVEMENTS

ST 25(8) Wall Rehabilitation

ST 25(9) Facilities

M146(325) City of Bellevue Public Works Facility YR 1 CONSTRUCTION

ST 25(10) Road Construction

M146(2948) Willow Springs; s/15th St, west to 25th St - ACCESS ROAD

ST 25(11) Signal Improvements

M146(243A) 25th & Chandler Rd - SIGNAL REPLACEMENT

ST 25(12) Asset Management

ST 25(13) Vehicles and Equipment

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN
MEMORANDUM
PROJECTS BY YEAR**

FISCAL YEAR 2026

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
Total	-	-	-	
Building Maintenance				
Total	-	-	-	
Cemetery				
Total	-	-	-	
Code				
Total	-	-	-	
Economic Development Fund				
Total	-	-	-	
Fire				

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Fleet

FL 26(1) Vehicles and Equipment	104,170	104,170	-
	-	-	-
	-	-	-
Total	104,170	104,170	-

Information Technology (IT)

	-	-	-
Total	-	-	-

Library

	-	-	-
Total	-	-	-

Parks

	-	-	-
	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Permits and Inspections

Total	-	-	-
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Police

-	-	-
-	-	-
-	-	-

Total	-	-	-
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Public Works

PW 26(1) Project Engineering	200,000	200,000	-
	-	-	-

Total	200,000	200,000	-
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Recreation

Total	-	-	-
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Streets

ST 26(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	\$ 6,180,000	\$ 6,180,000	\$ -
ST 26(2) 2026 Concrete Projects	\$ -	\$ -	\$ -
ST 26(3) 2026 Overlay Projects	\$ 390,000	\$ 390,000	\$ -
ST 26(4) 2026 Reconstruction Projects	\$ 20,500,000	\$ 6,820,000	\$ 13,680,000
ST 26(5) South 36th Street	\$ -	\$ -	\$ -
ST 26(6) Bridge Repairs	\$ -	\$ -	\$ -
ST 26(7) Drainage Improvements	\$ -	\$ -	\$ -
ST 26(8) Wall Rehabilitation	\$ -	\$ -	\$ -
ST 26(9) Facilities	\$ 10,000,000	\$ 10,000,000	\$ -
ST 26(10) Road Construction	\$ -	\$ -	\$ -
ST 26(11) Signal Improvements	\$ -	\$ -	\$ -
ST 26(12) Asset Management	\$ -	\$ -	\$ -
ST 26(13) Vehicles and Equipment	\$ -	\$ -	\$ -
	<u>\$ 37,070,000</u>	<u>\$ 23,390,000</u>	<u>\$ 13,680,000</u>

AC Funding
 See Detail Listing
 See Detail Listing
 See Detail Listing
 NDOT 80% cost share
 See Detail Listing
 See Detail Listing
 See Detail Listing
 See Detail Listing
 See Detail Listing
 See Detail Listing
 See Detail Listing

M146(74C) Capehart Rd; 27th to 36th St - RECONSTRUCTION YR2
M146(215) Fontenelle Hills Addition; Ridgewood Ct, Bayberry Dr, Laurel Dr, Laurel Cir - RECONSTRUCTION
M146(312A) S 32nd St, south of Chandler to City Limits - ENG/DESIGN --> RECONSTRUCTION
M146(313A) S 42nd St, south of Giles to City Limits - ENG/DESIGN --> RECONSTRUCTION
M146(314A) Area 19th to 25th St, Cornelia St to Childs Rd - ENG/DESIGN --> RECONSTRUCTION
M146(315A) Area west fo 36th St, Giles Rd to Marie St - ENG/DESIGN --> RECONSTRUCTION
M146(328) Bellevue Blvd N; 13th St to n/Prairie Ave - ENG/DESIGN --> COOORDOR REHAB
M146(216B) Forest Hills Addition; Shagbark Ct, Redbud Ln, Forestview Cir - RECONSTRUCT ASPHALT STREETS
M146(305B) 36th St, Cornhusker to 370 - YR 2 RECONSTRUCTION

ST 26(5) South 36th Street

ST 26(6) Bridge Repairs

ST 26(7) Drainage Improvements

ST 26(8) Wall Rehabilitation

ST 26(9) Facilities

M146(325) City of Bellevue Public Works Facility YR 2 CONSTRUCTION

ST 26(10) Road Construction

ST 26(11) Signal Improvements

ST 26(12) Asset Management

ST 26(13) Vehicles and Equipment

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN
MEMORANDUM
PROJECTS BY YEAR**

FISCAL YEAR 2027

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
Total	-	-	-	
Building Maintenance				
Total	-	-	-	
Cemetery				
Total	-	-	-	
Code				
Total	-	-	-	
Economic Development Fund				
Total	-	-	-	
Fire				

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Information Technology (IT)

	-	-	-
	-	-	-
Total	-	-	-

Library

	-	-	-
	-	-	-
Total	-	-	-

Parks

	-	-	-
	-	-	-
	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Permits and Inspections

	-	-	-
	-	-	-
Total	-	-	-

Police

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

0

Public Works

PW 27(1) Project Engineering	200,000	200,000	-
	-	-	-
Total	200,000	200,000	-

Recreation

Total	-	-	-
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Streets

ST 27(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	\$ 820,000	820,000	-	AC Funding
ST 27(2) 2027 Concrete Projects	\$ 1,225,000	1,225,000	-	See Detail Listing
ST 27(3) 2027 Overlay Projects	\$ 325,000	325,000	-	See Detail Listing
ST 27(4) 2027 Reconstruction Projects	\$ 2,965,000	2,965,000	-	See Detail Listing
ST 27(5) South 36th Street	\$ -	-	-	NDOT 80% cost share
ST 27(6) Bridge Repairs	\$ 225,000	225,000	-	See Detail Listing
ST 27(7) Drainage Improvements	\$ -	-	-	See Detail Listing
ST 27(8) Wall Rehabilitation	\$ -	-	-	See Detail Listing
ST 27(9) Facilities	\$ -	-	-	See Detail Listing
ST 27(10) Road Construction	\$ -	-	-	See Detail Listing
ST 27(11) Signal Improvements	\$ -	-	-	See Detail Listing
ST 27(12) Asset Management	\$ -	-	-	See Detail Listing
ST 27(13) Vehicles and Equipment	\$ -	-	-	See Detail Listing
			-	
Total	5,560,000	5,560,000	-	

Wastewater

			-
			-
			-
			-
Total	-	-	-

CAPITAL TOTAL ALL DEPARTMENTS

5,760,000

5,760,000

PROJECT DESCRIPTIONS

PW 27(1) Project Engineering--Outsourced engineering for various projects

ST 27(1) Major Street Resurfacing (MAPA/NDOT AC Funding)

M146(326) Childs Rd W; 19th to 25th St - RESURFACING

M146(331) Harlan Lewis Rd ; 29th & Hancock to City Limits s/Cunningham Rd - RESURFACING

ST 27(2) 2027 Concrete Projects

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

15a.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021	SUBMITTED BY: Jim Ristow		
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Resolution No. 2021-30 to authorize the Mayor to sign the Lobbying Agreement between the United Cities of Sarpy County and Kissel, Kohout Es Associates LLC for lobbying services before the Nebraska State Legislature and Governor.

SYNOPSIS/BACKGROUND:

The UNITED CITIES OF SARPY COUNTY desire to promote the common legislative interest of the five cities which make up the "United Cities of Sarpy County and agree it is in their best interest to hire a joint lobbyist to lobby the Nebraska legislative and executive branches with regard to Nebraska legislation.

FISCAL IMPACT: BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Approve and authorize the Mayor to sign Resolution 2021-30.

ATTACHMENTS:

1. Resolution	2. Lobbying Agreement	3. <input type="text"/>
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM: _____

FINANCE APPROVAL AS TO FORM: _____

ADMINISTRATOR APPROVAL AS TO FORM: _____

A. Brent Robbins
[Signature]

RESOLUTION NO. 2021-30

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA AUTHORIZING THE MAYOR TO EXECUTE A LOBBYING AGREEMENT BETWEEN THE UNITED CITIES OF SARPY COUNTY AND KISSEL, KOHOUT, ES ASSOCIATES L.L.C. FOR LOBBYING SERVICES BEFORE THE NEBRASKA STATE LEGISLATURE AND GOVERNOR.

WHEREAS, the cities of Bellevue, Gretna, La Vista, Papillion and Springfield (UNITED CITIES OF SARPY COUNTY) desire to promote the common legislative interest of the five cities which make up the "United Cities of Sarpy County" and

WHEREAS, the cities have agreed that it is in their best interest to hire a joint lobbyist to lobby the Nebraska legislative and executive branches with regard to Nebraska legislation; and

WHEREAS, the Mayor and City Council have identified the need for a lobbyist as a strategic initiative and did appropriate funds in the FY21/FY22 biennial municipal budget for the hiring of a lobbyist; and

WHEREAS, the mayors of the United Cities of Sarpy County have recommended Joe Kohout with Kissel, Kohout, ES Associates L.L.C. to continue serve as their joint lobbyist.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Bellevue, Nebraska, that the Mayor is hereby authorized to execute a lobbying agreement between the United Cities of Sarpy County and Kissel, Kohout, ES Associates L.L.C. for lobbying services before the Nebraska State Legislature and Governor.

PASSED AND APPROVED THIS 17TH DAY OF AUGUST, 2021.

CITY OF BELLEVUE

Rusty Hike, Mayor

ATTEST:

Susan Kluthe
City Clerk

LOBBYING AGREEMENT

THIS AGREEMENT is entered into by and between,

THE City of Bellevue, City of Gretna, City of La Vista, City of Papillion and City of Springfield (“UNITED CITIES OF SARPY COUNTY”), pursuant to, an Interlocal Agreement dated _____ and entered into under the Interlocal Corporation Act of the State of Nebraska, (together hereinafter “Client)

and

KISSEL, KOHOUT, ES ASSOCIATES L.L.C. (hereinafter "Firm" or “lobbyist”).

WHEREAS, the Client is interested in securing the professional services of the Firm, specifically including the services of JOSEPH D. KOHOUT (“Principal Lobbyist”), to provide lobbying services before the Nebraska State Legislature and Governor, in order that the Client's interests and concerns can be best attended, represented and advanced before the Legislature and Governor, and in legislation that is proposed and/or adopted; and,

WHEREAS, it is the purpose of this Agreement to delineate the terms and conditions, including compensation, related to the retention of the services of the Firm in that capacity.

NOW, THEREFORE, in consideration of these premises, it is agreed by and between the parties as follows:

1. Duties: The Firm shall be responsible for monitoring, proposing and advocating on behalf of Client with respect to legislative activity during this Agreement, as such activity may impact or otherwise affect, directly or indirectly, the interests of the Client. In that regard, the Firm shall be responsible for familiarizing itself with the operations and circumstances of the Client to the extent necessary, including legal and political factors and considerations; provided, however, that the Client shall fully cooperate with the Firm in that endeavor. For purposes of this section, proposing shall mean working with the Client and in conjunction with a member of the Legislature for the purposes of introducing legislation during either a regular or special session of the Nebraska Legislature.

Except for additional services specified herein, lobbying services shall include those services ordinarily provided by a professional lobbyist representing the legislative interests of a coalition of cities and shall specifically include but not be limited to regular reports (and special reports advisable under the circumstances) to a person designated by the Client on all matters affected hereunder:

The Firm shall appoint a place or person of contact by which the Firm may be contacted at all times when the Legislature is in session.

The Client shall appoint a place or person of contact by which the Client may be contacted at all times when the Legislature is in session.

The Firm shall supply copies of all bills or other materials on any matters of potential interest or impact to the Client within twenty-four (24) hours following their availability.

The Firm shall provide regular written reports (and special reports advisable under the circumstances) to the Client on any bill or other matter of potential interest or impact to the Client that is introduced

before the Legislature or which may otherwise be a subject of discussion by the Legislature, including progress reports on the advancement thereof.

The Firm shall be responsible for the preparation of a legislative package for the current Legislative Session in accordance with the direction of the Client.

The Firm shall be responsible for initiating, drafting, coordinating and/or advocating the introduction and/or and passage of legislation for Client.

The Firm shall be responsive and address matters raised by the Client within specified timeframes, and provide professional counsel and advice to the Client concerning any matter recommended, proposed or actually before the Legislature that may affect the interests of the Client and such other services as are reasonably necessary to properly represent the Client's interests. It is specifically agreed that the Firm shall provide all time and effort and resources reasonably necessary in order to effectively meet the concerns and interests of the Client.

It is further understood and agreed that in performance of its responsibilities hereunder, the status of the Firm shall be that of an independent contractor. The Firm shall be free to act in accordance with its own judgment and discretion; provided, however, that the Firm shall have no authority to bind or act on behalf of the Client except as specifically approved in advance by the Client. It is specifically agreed that no person employed by the Firm for related or incidental services shall be construed to be an employee or agent of the Client. Responsibility therefor shall be that of the Firm, including responsibility for any errors, actions or omissions thereof. Performance of its responsibilities hereunder shall be in strict compliance with all applicable state, federal and local laws, rules and regulations, as well as applicable ethical requirements.

The Firm will prepare and submit in a timely manner any filings and pay any related fees or other amounts from time to time required of Firm arising out of or resulting from the services provided hereunder. The Firm also will notify Client sufficiently in advance and prepare a draft of any filings periodically required of Client during this Agreement.

2. Term: Unless terminated for cause, this Agreement shall be in full force and effect commencing October 1, 2021 through September 30, 2026 ("Term"). Client shall have the option to renew this Agreement at the end of the Term, and at the end of any subsequent term thereafter, for one or more additional twelve month terms, on the terms and conditions set forth herein, upon notice to Firm ninety days before expiration of the Term or any subsequent term; provided, however, that Firm shall have the option to reject Client's renewal of this Agreement upon written notice to Client within fifteen days after receiving Client's notice of renewal. This Agreement may be terminated before the end of the Term or any subsequent term upon mutual written Agreement of the parties; or by the Client if Client determines that there is "cause" for termination. For the purpose of the Agreement, "cause" shall include, without limitation, the Firm's or Principal Lobbyist's failure, refusal or neglect to perform any duty required hereunder, negligence or alleged criminal misconduct.

3. Compensation and Expenses: The Client agrees to pay the Firm as compensation for all services, hereunder, the sum of Forty-nine Thousand Five Hundred Fifteen Dollars (\$49,515) during the first twelve (12) months of the term. For the twelve (12) months Beginning October 1, 2022 and ending on September 30, 2023, Client agrees to pay the firm as compensation for all services, hereunder, the sum of Fifty-one Thousand Dollars (\$51,000). For the twelve (12) months beginning October 1, 2023 and ending September 30, 2024, Client agrees to pay the firm as compensation for all services, hereunder, the sum of Fifty-two Thousand Five Hundred Thirty One (\$52,531). For the twelve (12) months beginning October 1, 2024

and ending September 30, 2025, Client agrees to pay the firm as compensation for all services, hereunder, the sum of Fifty-four Thousand One Hundred Seven (\$54,107). For the twelve (12) months beginning October 1, 2025 and ending on September 30, 2026, Client agrees to pay the firm as compensation for all services, hereunder, the sum of Fifty-five Thousand Seven Hundred Thirty (\$55,730).

On October 1 of each year that this agreement is in force, or as soon thereafter as is possible, Firm shall invoice Client for total compensation, and this sum shall be due and payable within thirty (30) days of receipt of said invoice. Firm shall deposit and hold the sum in a separate interest bearing client trust account and shall, on the last working day of each month, draw against the total amount on hand in said account a sum equal to Four thousand one hundred twenty-six and 25/100ths Dollars (\$4,126.25) for professional services provided during the first twelve (12) months of the term. During the second twelve (12) months of the term, Firm shall draw against the total amount on hand in said account an amount equal to Four thousand two hundred fifty and 00/100th Dollars (\$4,250.00) for professional services. During the third twelve (12) months of the term, Firm shall draw against the total amount on hand in said account an amount equal to Four thousand three hundred seventy-seven and 58/100th Dollars (\$4,377.58) for professional services. During the fourth twelve (12) months of the term, Firm shall draw against the total amount on hand in said account an amount equal to Four thousand five hundred eight and 92/100th Dollars (\$4,508.92) for professional services. During the fifth twelve (12) months of the term, Firm shall draw against the total amount on hand in said account an amount equal to Four thousand six hundred forty-four and 17/100th Dollars (\$4,644.17) for professional services. Interest earned on Client amounts held in said account will be paid to Client at the end of the Term, unless otherwise requested by Client. Any balance remaining in said account to the credit of Client upon termination of this Agreement shall be returned to Client.

The Firm shall provide a copy of the firm's trust card or similar statement at the end of each month detailing the date on which a withdrawal occurred which is detailed in the paragraph above and the amount of Client's funds on hand in the account.

4. Captions: Captions used in this contract are for convenience and are not used in the construction of this contract.

5. Applicable Law: Except to the extent preempted by federal law, Nebraska law shall govern the terms and performance of this contract. The parties agree to submit and not object to personal jurisdiction of any state court of or located in Sarpy County, Nebraska, and that personal jurisdiction of and in any such court shall be proper, convenient and not objectionable.

6. Interest of the Lobbyist: Lobbyist covenants that he presently has no interests and shall not knowingly acquire any interest, direct or indirect that would conflict in any manner or degree with performance of services required under this contract. Lobbyist will notify the client of lobbyists's intent to represent clients relevant to the fields of interest to the client. This said notification should allow the client and lobbyist to determine potential conflicts. Client recognizes that Lobbyist is engaged in the business of lobbying for a number of clients. From time to time an issue of legislative concern may affect more than one of Lobbyist's clients. Client and Lobbyist further recognize that the legislative interests of the United Cities of Sarpy County and the other clients of Lobbyist may not always be compatible. Any conflict of interest which arises with respect to any legislative issue will be brought to the attention of all affected clients by the Lobbyist and will be resolved in the following manner: 1) An attempt will be made to resolve or compromise the conflict between clients; 2) If a client elects to withdraw the conflicting issue from its legislative program, the conflict of interest will be considered resolved; 3) If a conflict is not resolved by a client's withdrawal of the issue or mutual compromise of the conflicting points of view, Contractor shall continue to represent, on the conflicting issue, only the legislative interests of the client which has had the Contractor for the longest period of time. In this circumstance, Client agrees that it will not object in any manner to this continued representation.

Notwithstanding anything in this paragraph or elsewhere in this Agreement to the contrary, if at any time Client perceives in its sole discretion that Firm may not be able to impartially continue performing lobbying services for Client, Client shall have the option to terminate this Agreement with ten days written notice to the Firm. In that case, Firm shall pay Client the balance of Client funds remaining in the client trust account at the time and cooperate in transitioning representation of Client to another lobbyist selected by Client. Firm agrees to maintain during and after this Agreement the confidentiality of all Client communications and information obtained pursuant to its representation of Client and to use the same for the sole benefit of Client.

7. Modifications: This contract contains the entire agreement of the parties. No representations were made or relied upon by either party, and there is no other agreement or understanding, other than as expressly set forth herein. No agent, employee or other representative of either party is empowered to alter any of the terms hereof unless done in a written amendment executed by each party.

8. Assignment: Personal lobbying of members of the legislative or executive branches or their offices shall be performed by the Principal Lobbyist unless otherwise agreed by the Client. Other lobbying services shall be provided under the direction and control of the Principal Lobbyist by such members or employees of the Firm as the Principal Lobbyist designates. The Firm may not assign any right under this contract without the express prior written consent of the Client.

9. Strict Compliance: All provisions of this contract and any document that shall be attached hereto by the parties and incorporated herein by specific reference shall be strictly complied with as written.

10. Authorized Representative: In further consideration of the mutual covenants herein contained, the parties hereto expressly agree that for purposes of notice, including legal service of process during the term of this contract and for the period of any applicable statute of limitations thereafter, the following named individuals shall be the authorized representative of the parties:

- (1) The United Cities of Sarpy County
Brenda Sedlacek Gunn
City Administrator
La Vista City Hall
8116 Park View Boulevard
La Vista, Nebraska 68128
- (2) Kissel, Kohout, ES Associates L.L.C.
Joseph D. Kohout
301 S. 13th Street, Suite 400
Lincoln, Nebraska 68508

11. Insurance. Firm shall obtain and maintain during this Agreement such insurance in such amounts and providing such coverages as Client from time to time requires, issued by an insurer acceptable to Client that is authorized to do business in the State of Nebraska, and naming the Client (and each of the municipalities comprising Client) as an additional named insured.

12. Remedies. Any remedies specified herein for breach of this Agreement shall be cumulative and available to and exercisable by the parties along with all other remedies at law or in equity, including, but not limited to, injunction and specific performance. The municipalities comprising the Client will have the authority to jointly enforce this Agreement pursuant to the Interlocal Agreement, or to severally enforce this Agreement.

13. Client Action. Except as otherwise provided herein, Client action under this Agreement shall require such approval and be taken in the manner provided in the Interlocal Agreement.

EXECUTED this ____ day of _____, 2021.

CITY OF BELLEVUE, NEBRASKA

ATTEST:

By: _____
Mayor

City Clerk

CITY OF GRETNA, NEBRASKA

ATTEST:

By: _____
Mayor

City Clerk

CITY OF LA VISTA, NEBRASKA

ATTEST:

By: _____
Mayor

City Clerk

CITY OF PAPILLION, NEBRASKA

ATTEST:

By: _____
Mayor

City Clerk

CITY OF SPRINGFIELD, NEBRASKA

ATTEST:

By: _____
Mayor

City Clerk

KISSEL, KOHOUT, ES ASSOCIATES L.L.C.

By: _____
Joseph D. Kohout, Managing Partner

Witnessed by: _____ 8/11/2021 11:58 AM

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

***16a.**
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Susan Kluthe, City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input checked="" type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Approval of Waiver Hunting Regulations - Lt. Kurt Stroehrer or Sgt. Don Pleiss reviewed information, either approving or denying the application and then it is submitted to Council for approval.

SYNOPSIS/BACKGROUND:

Hunters wishing to bow hunt within the City of Bellevue during archer season of 9/1/2021 through 12/31/2021 must fill out application and provide documentation they have permission from property owner, provide a sketch of how they set up their hunting site, and provide a copy of their current hunting permit.

FISCAL IMPACT: \$ 0.00 BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: N/A INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: N/A

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME: N/A

START DATE: N/A END DATE: N/A PAYMENT DATE: N/A INSURANCE REQUIRED: NO

CIP PROJECT NAME: N/A CIP PROJECT NAME: N/A

STREET DISTRICT NAME (S): N/A STREET DISTRICT NUMBER (S): N/A

ACCOUNTING DISTRIBUTION CODE: N/A ACCOUNT NUMBER: N/A

RECOMMENDATION:

Request approval of the applications for waiver of hunting applications. Police Lt. Kurt Stroehrer or Sgt. Don Pleiss has already given approval for these hunters and their specified sites.

ATTACHMENTS:

1. Listing for approval	2.	3.
4.	5.	6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

A. Bruce Robbins

[Signature]

[Signature]

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

***16b.**
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Finance/CDBG	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Approve updated Entitlement Certifications for the 2021 CDBG Action Plan and resubmit to HUD.

SYNOPSIS/BACKGROUND:

Following approval by the City Council at the July 20th meeting, the City submitted the 2021 CDBG Action Plan to HUD for review and approval. On August 5th, the City received notification there was an update to the Entitlement Certification form that would need to be approved and submitted in order for the Action Plan to be considered for approval. The certification were revised to identify 24 CFR Part 75 as the Section 3 regulations which were effective November 30, 2020.

FISCAL IMPACT: BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: YES

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Approve the Mayor to sign the updated Entitlement Certifications for the 2021 CDBG Action Plan.

ATTACHMENTS:

1. Entitlement Certification	2. <input type="text"/>	3. <input type="text"/>
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

A. Bauer Robbins
[Signature]
[Signature]

CERTIFICATIONS

In accordance with the applicable statutes and the regulations governing the consolidated plan regulations, the jurisdiction certifies that:

Affirmatively Further Fair Housing --The jurisdiction will affirmatively further fair housing.

Uniform Relocation Act and Anti-displacement and Relocation Plan -- It will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended, (42 U.S.C. 4601-4655) and implementing regulations at 49 CFR Part 24. It has in effect and is following a residential anti-displacement and relocation assistance plan required under 24 CFR Part 42 in connection with any activity assisted with funding under the Community Development Block Grant or HOME programs.

Anti-Lobbying --To the best of the jurisdiction's knowledge and belief:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement;

2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, it will complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions; and

3. It will require that the language of paragraph 1 and 2 of this anti-lobbying certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

Authority of Jurisdiction --The consolidated plan is authorized under State and local law (as applicable) and the jurisdiction possesses the legal authority to carry out the programs for which it is seeking funding, in accordance with applicable HUD regulations.

Consistency with plan --The housing activities to be undertaken with Community Development Block Grant, HOME, Emergency Solutions Grant, and Housing Opportunities for Persons With AIDS funds are consistent with the strategic plan in the jurisdiction's consolidated plan.

Section 3 -- It will comply with section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. 1701u) and implementing regulations at 24 CFR Part 75.

Signature of Authorized Official

Date

Title

Specific Community Development Block Grant Certifications

The Entitlement Community certifies that:

Citizen Participation – It is in full compliance and following a detailed citizen participation plan that satisfies the requirements of 24 CFR 91.105.

Community Development Plan – Its consolidated plan identifies community development and housing needs and specifies both short-term and long-term community development objectives that have been developed in accordance with the primary objective of the CDBG program (i.e., the development of viable urban communities, by providing decent housing and expanding economic opportunities, primarily for persons of low and moderate income) and requirements of 24 CFR Parts 91 and 570.

Following a Plan – It is following a current consolidated plan that has been approved by HUD.

Use of Funds – It has complied with the following criteria:

1. Maximum Feasible Priority. With respect to activities expected to be assisted with CDBG funds, it has developed its Action Plan so as to give maximum feasible priority to activities which benefit low- and moderate-income families or aid in the prevention or elimination of slums or blight. The Action Plan may also include CDBG-assisted activities which the grantee certifies are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community, and other financial resources are not available (see Optional CDBG Certification).

2. Overall Benefit. The aggregate use of CDBG funds, including Section 108 guaranteed loans, during program year(s) 2020, 2021, 2022 [a period specified by the grantee of one, two, or three specific consecutive program years], shall principally benefit persons of low and moderate income in a manner that ensures that at least 70 percent of the amount is expended for activities that benefit such persons during the designated period.

3. Special Assessments. It will not attempt to recover any capital costs of public improvements assisted with CDBG funds, including Section 108 loan guaranteed funds, by assessing any amount against properties owned and occupied by persons of low and moderate income, including any fee charged or assessment made as a condition of obtaining access to such public improvements.

However, if CDBG funds are used to pay the proportion of a fee or assessment that relates to the capital costs of public improvements (assisted in part with CDBG funds) financed from other revenue sources, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG funds.

In addition, in the case of properties owned and occupied by moderate-income (not low-income) families, an assessment or charge may be made against the property for public improvements financed by a source other than CDBG funds if the jurisdiction certifies that it lacks CDBG funds to cover the assessment.

Excessive Force – It has adopted and is enforcing:

1. A policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and
2. A policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location which is the subject of such non-violent civil rights demonstrations within its jurisdiction.

Compliance with Anti-discrimination laws -- The grant will be conducted and administered in conformity with title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d) and the Fair Housing Act (42 U.S.C. 3601-3619) and implementing regulations.

Lead-Based Paint -- Its activities concerning lead-based paint will comply with the requirements of 24 CFR Part 35, Subparts A, B, J, K and R.

Compliance with Laws -- It will comply with applicable laws.

Signature of Authorized Official

Date

Title

OPTIONAL Community Development Block Grant Certification

Submit the following certification only when one or more of the activities in the action plan are designed to meet other community development needs having particular urgency as specified in 24 CFR 570.208(c):

The grantee hereby certifies that the Annual Plan includes one or more specifically identified CDBG-assisted activities which are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community and other financial resources are not available to meet such needs.

Signature of Authorized Official

Date

Title

APPENDIX TO CERTIFICATIONS

INSTRUCTIONS CONCERNING LOBBYING CERTIFICATION:

Lobbying Certification

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

*16c.
08/17/2021

COUNCIL MEETING DATE:	SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>

SUBJECT:

Memorandum of Understanding with Omaha Permaculture - Mason Park

SYNOPSIS/BACKGROUND:

On August 8, 2016, City Council approved a memorandum of understanding ("MOU") between the City of Bellevue and Omaha Permaculture for a collaborative project at Mason Park. The previous MOU expired August 1, 2017. The parties desire to enter into another MOU to continue the collaborative Mason Park project.

FISCAL IMPACT: n/a BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: Omaha Permaculture INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Memorandum of Understanding with Omaha Permaculture

CONTRACT EFFECTIVE DATE: 08/17/2021 CONTRACT TERM: CONTRACT END DATE: 08/17/2022

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the Memorandum of Understanding between the City of Bellevue and Omaha Permaculture for the collaborative Mason Park project.

ATTACHMENTS:

1. Memorandum of Understanding 2. 3.

4. 5. 6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

Cecilia Mather
[Signature]
[Signature]

Memorandum of Understanding (MOU)

BETWEEN

City of Bellevue and Omaha Permaculture

This Memorandum of Understanding (“MOU”) is made on August 17, 2021 by and between the City of Bellevue (“City”) and Omaha Permaculture, of 4871 Northwest Radial Hwy, Omaha, NE 68104 (“OP”) for the purpose of achieving the various aims and objectives relating to the Collaborative Mason Park Project (the Project). The parties understand a prior MOU was in effect from September 1, 2016 to August 1, 2017 with prior verbal authorization for continued work on the Project after the expiration of the MOU. The parties wish to memorialize their agreements regarding the Project moving forward.

Whereas City and OP desire to enter into an agreement in which the City and OP work together to complete the Project; and

Whereas the City and OP are desirous to enter into a MOU between them, setting out the working arrangements that each of the parties agree are necessary to complete the Project:

Purpose: The purpose of this MOU is to provide the framework for any future binding contract regarding the Project between the City and OP.

Obligations of the Parties: The Parties acknowledge that no contractual relationship is created between them by this MOU but agree to work together in the true spirit of community to ensure that there is a united visible and responsive leadership of the Project and to demonstrate financial, administrative and managerial commitment to the Project by means of the following individual services. These activities and services for the Project shall include but not be limited to:

A. Services to be provided by OP include

- i.** continue pitching the project to necessary elected City officials, City Parks, City Public Works and the public.
- ii.** OP Executive Director will assist Planners Big Muddy Workshop and Permitting to achieve low-cost objectives while adhering to all codes and regulations.

- iii. OP Executive Director will oversee the Project at every stage of excavation and construction.
- iv. OP and staff will act as teachers for any event that brings interested local organizations to the Project.

Resources: The Parties will endeavor to have final approval and secure any financing necessary to fulfill the financial contributions at the start of the planning and development of the Project. The City and OP will work jointly to assemble financial contributors which will agree to provide the following financial, material and labor resources in respect of the Project:

- i. The contributors will provide timely contributions for the services rendered by OP as a foreman, educator or any other labor. OP services provide access to many types of grant funding; assisting the development of projects.
- ii. The contributors will provide timely contributions for payment to any subcontractors or vendors for rendering their product or service.
- iii. The City and OP will assist the Project for promotion when engaging the public to become involved with Project.
- iv. The City and OP will coordinate a mowing schedule and pattern routine, if needed. This will accompany signage explaining the construction and bioretention garden establishment process.
- v. OP hereby agrees to provide the following financial, materials and labor resources in respect of the Project:
 - a. OP will source materials, labor and expertise for this Project, if requested. Locally sourced materials and labor will be best for costs and the local economy.

Communication Strategy: Marketing of the vision and any media or other public relations contact should always be consistent with the aims of the Project and only undertaken with the express agreement of both parties. Where it does not breach any confidentiality protocols, a spirit of open and transparent communication should be adhered to. Co-coordinated communications should be made with external organizations to elicit their support and further aims of the Project.

Liability: No liability will arise or be assumed between the Partners as a result of this Memorandum.

Term: The arrangements made by the Parties by this MOU shall remain in place from August 17, 2021 to August 17, 2022. The term of this agreement shall automatically renew for one-year periods after the expiration of the original term unless terminated by either party with thirty (30) day written notice to the other. Notices can be provided to the contact below the signature lines herein. Either party may terminate for any reason or no reason at all. If agreement is dissolved, OP will be available for transition guidance.

City Of Bellevue
Mayor Rusty Hike
1500 Wall Street
Bellevue, NE 68005

Date

Gus Von Roenn
Executive Director
Omaha Permaculture
4871 Northwest Radial Hwy
Omaha, NE 68104

Date

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

16d.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Memorandum of Understanding with the Omaha-Council Bluffs Metropolitan Area Planning Agency for the Fort Crook Road Multi-Modal Transportation and Redevelopment Study (Federal Aid Project)

SYNOPSIS/BACKGROUND:

The City of Bellevue applied for and was awarded federal funding through the Heartland 2050 mini grant program for the Fort Crook Road Multi-Modal Transportation and Redevelopment Study. The overall objective of the study is to assess the Fort Crook Road corridor, particularly for the feasibility of expanded transit and active transportation options. This memorandum of understanding between the City of Bellevue and the Omaha-Council Bluffs Metropolitan Area Planning Agency ("MAPA") establishes the terms and conditions under which the City and MAPA will administer and fund the study. Pursuant to the MOU, the City shall pay a local match in the amount of \$25,000.00 to MAPA for the study.

FISCAL IMPACT: \$25,000.00 BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: YES

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: MAPA INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Memorandum of Understanding - Omaha-Council Bluffs Metropolitan Area Planning Agency

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: 2021 Reconstruction Projects CIP PROJECT NUMBER: ST21(4) - M146(307A)

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: CIPST21(4) ACCOUNT NUMBER: 7010

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the Memorandum of Understanding between the City of Bellevue and the Omaha-Council Bluffs Metropolitan Area Planning Agency for the Fort Crook Road Multi-Modal Transportation and Redevelopment Study, with the City's local match in an amount not to exceed \$25,000.00 for the study.

ATTACHMENTS:

1. Memorandum of Understanding 2. 3. 4. 5. 6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

[Handwritten signatures]

**MEMORANDUM OF UNDERSTANDING
BETWEEN THE OMAHA-COUNCIL BLUFFS METROPOLITAN AREA PLANNING AGENCY
AND THE CITY OF BELLEVUE, NEBRASKA FOR THE FORT CROOK ROAD
MULTI-MODAL TRANSPORTATION & REDEVELOPMENT STUDY**

1. **Parties** This Memorandum of Understanding (hereinafter referred to as "MOU") is made and entered into by and between the Omaha-Council Bluffs Metropolitan Area Planning Agency (hereinafter referred to as "MAPA"), and the City of Bellevue (hereinafter referred to as "the City" or "Awardee").
2. **Purpose** The purpose of this MOU is to establish the terms and conditions under which MAPA and the Awardee will administer and fund the Fort Crook Road Multi-Modal Transportation & Redevelopment Study (hereinafter referred to as "the Study").
3. **Background** The City applied for and has been awarded funding through the Heartland 2050 mini grant program for the Study. The overall objective of the Study is to assess the Fort Crook Road corridor in Bellevue, Nebraska, particularly for the feasibility of expanded transit and active transportation options.
4. **Term of MOU** This MOU is effective upon the day and date signed and executed by the duly authorized representatives of the parties to this MOU and shall remain in full force and effect for at least three years from the date of the final cost settlement under MAPA's agreement with NDOT.
5. **Conditions of MOU** MAPA shall be considered the recipient of federal funds passed through NDOT. MAPA will be responsible for the administration of the federal funds including the oversight of the consultant, reporting to NDOT for reimbursement, payment to the consultant and securing an audit in accordance with 2 CFR 200. The City shall pay to MAPA local match of twenty-five thousand dollars (\$25,000) due upon submittal of an invoice to the City. A Steering Committee shall be established comprised of members from the City and MAPA that shall direct the study. A Stakeholder Committee shall be established as an advisory body to the Study. A Consultant shall be engaged to conduct the Study. Project costs are identified in the following:

MAPA secured Federal Funding	\$100,000
City of Bellevue Local Match	<u>25,000</u>
Total Consultant fees	\$125,000

As a federal-aid project, the Study must comply with all applicable federal and state requirements and policies. MAPA and its staff are responsible for ensuring that administrative procedures of the Study comply with these requirements and policies. Should the project fail to meet any eligibility requirements, through the fault of any other party than MAPA, the City understands that it could potentially result in the partial or total repayment of federal funds expended on the project and that in such case the City agrees to repay MAPA all previously paid federal funds, as determined by the NDOT, and any costs or expenses the NDOT has incurred for the project, including but not limited to, any costs reimbursed for the time and expenses of MAPA.

6. **Signatures** In witness whereof, the parties to this MOU, through their duly authorized representatives have executed this MOU on the days and dates set out below, and certify that they have read, understood, and agreed to the terms and conditions of this MOU as set forth herein.

The effective date of this MOU is the date of the signature last affixed to this page.

OMAHA-COUNCIL BLUFFS
METROPOLITAN AREA PLANNING AGENCY

ATTEST:

BY: _____
Board Chairperson Date

BY: _____
Date

PRINT NAME _____

PRINT NAME _____

CITY OF BELLEVUE

ATTEST:

BY: _____
Authorized Official Date

BY: _____
Date

PRINT NAME _____

PRINT NAME _____

PRINT TITLE _____

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

16e.
08/17/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Chief Clary		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Purchase needed communications equipment to include 10 docking stations, 4 Dell Latitude laptops, 6 L-Tron bar code scanners, 10 in-car printers and 15 VPN licenses.

SYNOPSIS/BACKGROUND:

The docking stations will be utilized with current laptops for in-house training, the Latitude laptop computers will replace laptops in the training rooms which are outdated, difficult to operate and service. The bar code scanners will be placed in patrol cars equipped with license plate readers and the in-car printers will replace older end of life printers in cruisers. The VPN licenses will allow in-car computers to connect to the Sarpy County server and network. These purchases are a portion of the Capital Improvement Funds set aside for Communication Equipment and will leave approximately \$270,000 unspent during this fiscal year.

FISCAL IMPACT: \$17,456.88 BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: _____

CONTRACT EFFECTIVE DATE: _____ CONTRACT TERM: _____ CONTRACT END DATE: _____

PROJECT NAME: _____

START DATE: _____ END DATE: _____ PAYMENT DATE: _____ INSURANCE REQUIRED: NO

CIP PROJECT NAME: _____ CIP PROJECT NUMBER: _____

STREET DISTRICT NAME (S): _____ STREET DISTRICT NUMBER (S): _____

ACCOUNTING DISTRIBUTION CODE: 7140 ACCOUNT NUMBER: _____

RECOMMENDATION:

Approve the purchase of 10 docking stations, 4 laptop computers, 6 bar code readers, 10 in-car printers and 15 VPN licenses.

ATTACHMENTS:

- | | | |
|---------------------------------|---------------------------------|-------------------------------|
| 1. GovDirect quote #GovD.053329 | 2. Dell eQuote 3000094147440 | 3. L-Tron Quotation LTCQ21504 |
| 4. Barcodes Inc Quote Q1508633 | 5. PSC Mobile proposal GRMQ8783 | 6. _____ |

SIGNATURES:

LEGAL APPROVAL AS TO FORM: _____

FINANCE APPROVAL AS TO FORM: _____

ADMINISTRATOR APPROVAL AS TO FORM: _____

A Bruce Roblin
[Signature]
[Signature]

Panasonic FZ-G1 Desktop Docking Stations x 8


#GovD.053329
version 1

Prepared For:

Prepared By:

Shawn Manning
Bellevue Police Department - NE
(402) 682-6664
Kishan.Manning@bellevue.net

Carl Steffens
GovDirect Lincoln
402-323-4805
csteffens@bizco.com



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cache=4bc07712-caa7-44e0-9bf4-
ae2e6b3d5a94 that contains all the details for
your options. You can sign and fax us this
document if you are not comfortable
submitting your confirmation over the internet.

Options

- Panasonic Docking Station - for Tablet PC - Proprietary Interface - 2 x USB Ports - 2 x USB 3.0 - Network (RJ-45) - HDMI - VGA - Docking



Price	Qty	Extended
\$285.28	10	\$2,852.80

Options Subtotal \$2,852.80

Recap

<input checked="" type="checkbox"/> Options	\$2,852.80
Subtotal	\$2,852.80
Shipping	\$16.50
Total	\$2,869.30



TERMS AND CONDITIONS

All prices and descriptions are subject to change without notice. This price list is a quotation only and is not an order or offer to sell. No contract for sale will exist unless and until one of the following occur: 1.) a purchase order has been issued by you and accepted by Bizco or 2.) an order is place on-line and accepted by Bizco or 3.) a written proposal is accepted by you. The prices contained in this list may not be relied upon as the price at which Bizco will accept an offer to purchase products unless expressly agreed to by Bizco in writing. Product specifications may be changed by the manufacturer without notice. It is your responsibility to verify product conformance to specifications of any subsequent contract. All products are subject to availability from the manufacturer. Prices quoted may not include applicable taxes. Sales tax will be included on the invoice. Products are non-returnable unless approved in writing by Bizco Technologies within 30 days of invoice date. Those approved returns may be subject to a restocking fee. Payment terms, unless otherwise stated in writing, shall not exceed 30 days from date of invoice. Questions about these and other terms and conditions should be your sales representative.

I accept the above conditions

Your Initials: _____

Your Email Address: _____

Purchase Order Number: _____



Comments or Questions?

If you have any comments or questions about this quote, please feel free to enter it here. Your comment will be logged and emailed to csteffens@bizco.com.



Kishan Manning

From: Rusty Ethridge <rusty@sarpy.gov>
Sent: Monday, August 2, 2021 1:47 PM
To: Kishan Manning
Subject: Training laptops quote

Please see quote below for the four laptops. 256SSD, i7, 16GB of RAM. Let me know if you need anything else!

Rusty

From: Dell (please do not reply) <automated_email@dell.com> **On Behalf Of** Dell Inc.
Sent: Monday, August 2, 2021 1:45 PM
To: Rusty Ethridge <rusty@sarpy.gov>
Subject: [EXT] Dell Computer - Saved Quote Information -3000094147440



You have saved an eQuote 3000094147440

An eQuote is now saved in your Dell Online Store.
This will be held for 30 days and will expire on 09/01/2021

Your eQuote has been sent to:

Emailed to: Rusty@sarpy.com
Rusty@sarpy.com

To retrieve this eQuote

Login to [Premier](#)

Sign in to Sarpy County - City of Bellevue, Nebraska

Click on "Quotes" in the top menu bar and search for eQuote number 3000094147440

eQuote Name	Manning laptops
Saved By	Rusty@sarpy.com
eQuote Description	
Authorized Buyer	
Notes/Comments	
Account Name	Sarpy County - City of Bellevue, Nebraska
Contract Code	C000000012101

eQuote Summary

Description	Quantity	Unit Price	Subtotal
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Latitude 3520 - Build Your Own	4	\$1,380.47	\$5,521.88
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eQuote Subtotal	\$5,521.88
Shipping*	\$0.00
Shipping Discount*	\$0.00

eQuote Total* \$5,521.88

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

Note: Your order may contain one or more items which are billed on a recurring basis. See Important Notes for details on your specific offering and, for customers with auto-renewing subscriptions, how to turn off automatic renewal.

eQuote Details

Description	Quantity	Price
xctol352015usr Latitude 3520 - Build Your Own	4	\$8,641.44
Premier Discount		\$3,119.56
(Unit Price after discount: \$1,380.47 ea.)		\$5,521.88

Module	Description	Product Code	Sku	ID
Base	Dell Latitude 3520, XCTO	GWXZD5H	[210-AYWN]	1
Processor	11th Generation Intel® Core™ i7-1165G7 (4 Core, 12M Cache, base 2.8 GHz, up to 4.7 GHz)	GWJB4AU	[379-BEMX]	146
Operating System	Windows 10 Pro English, French, Spanish	GF48XA1	[619-AHKN]	11
Microsoft Application Software	No Productivity Software, Exception Only	GDFAG10	[630-AAAXE]	1002
Base Options	Intel® Iris® Xe graphics for i7-1165G7 processor	GQNR1A4	[338-BZCW]	149
Memory	16 GB, 1X16 GB 3200MHz DDR4 Non-ECC	GUW12AB	[370-AFVP]	3
Hard Drive	M.2 256GB PCIe NVMe Class 35 Solid State Drive	G6XUFKH	[400-BIJP]	8
Additional Hard Drive	Not Selected in this Configuration	GZK1PNU	[817-BBBC]	637
LCD	15.6" HD (1366 x 768) AG Non-Touch, 220nits, Camera & Microphone, WLAN Capable	GPOC5IB	[391-BFVS]	760
Keyboard	Single Pointing Non-Backlit Keyboard, US English, 10 Key Numpad	GN7YMD4	[580-AJMX]	4
Mouse	No Mouse	G8043UZ	[570-AADK]	12
Driver	WLAN Intel AX201 WLAN + BT Driver MOD (WIFI + Bluetooth)	G1F4GWH	[555-BGMJ]	7
Wireless	Intel Dual Band Wi-Fi 6 AX201 2x2 802.11ax 160MHz + Bluetooth 5.1	G9LN08D	[555-BFNI]	19

Mobile Broadband	No Mobile Broadband Card	GR9571Y	[556-BBCD]	114
Primary Battery	3 Cell 41Whr ExpressCharge™ Capable Battery	GHY9TSB	[451-BCUG]	112
Power Supply	65W AC Adapter, 4.5mm Barrel	GN4TVEF	[492-BDBO]	1015
PalmRest	No Fingerprint Reader, WLAN Capable	GW78A64	[346-BHFL]	55
Security Software	No Anti-Virus Software	GD4K19S	[650-AAAM]	1014
Operating System Recovery Media	OS-Windows Media Not Included	GLA9OQ1	[620-AALW]	200013
Cable	E4 US Power Cord	G7XRU8M	[537-BBBL]	20
Placemat	Quick Start Guide for 3520	GXIT9EF	[340-CVBG]	60
Canada Ship Options	US No Canada Ship Charge	USNONE	[332-1286]	111
Diagnostic CD / Diskette	No Resource USB Media	G5KFAU6	[430-XXYG]	50
Docks & Port Replicators	No Docking Station	GJTIBU6	[452-BBSE]	271
Documentation/Disks	Safety/Environment and Regulatory Guide (English/French Multi-language)	G7RB0GY	[340-AGIK]	21
E-Star	ENERGY STAR Qualified	GZ0BIYK	[387-BBPO]	122
FGA Module	No FGA	NOFGA	[817-BBBB]	572
Label	Regulatory Label included	GO637JX	[389-BEYY]	676
Non-Microsoft Application Software	Additional Software	GHNTJ7R	[658-BEZX]	1003
Packaging	Mix Model TGL 65W	G9TY652	[340-CVPY]	465
Processor Branding	11th Generation Intel® Core™ i7 non-vPro Processor Label	G57J6TG	[389-DXDV]	749
Transportation from ODM to region	Standard Shipment (VS)	G1IR983	[800-BBQK]	200080
Support Tech Sheet and Powercord	No UPC Label	G8WGTYN	[389-BCGW]	292
Chassis Options	Latitude 3520 Bottom Door	GWQ6GUH	[321-BGKJ]	116
EPEAT 2018	EPEAT 2018 Registered (Silver)	GTZOE2H	[379-BDTP]	200331
Windows AutoPilot	No Windows AutoPilot	GYEO2AP	[340-CKSZ]	291
Hardware Support Services	4 Years Hardware Service with Onsite/In-Home Service After Remote Diagnosis	NBD4	[975-3461] [997-6727] [997-6735] [997-6738]	29
Accidental Damage	Accidental Damage Service-4 Years	AD4	[973-9185]	33

eQuote Subtotal	\$5,521.88
Shipping*	\$0.00
Shipping Discount*	\$0.00

eQuote Total* \$5,521.88

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

Let's connect.







Legal Disclaimer: Please note that Dell cannot be responsible for pricing or other errors and reserves the right to cancel any orders arising from such errors. The amount of tax and shipping added to your order depends on where you have asked for the product to be shipped as well as on which products and/or services you've chosen to purchase. Your order is subject to Dell's Terms and Conditions of Sale which include a binding arbitration provision.

Subscription Customers: If your order includes a recurring billing subscription, you authorize Dell to charge your payment method on file on a recurring basis. You may opt out of automatic renewal or update payment information at any time through the web portal used to manage your subscription. Offer specific subscription terms for details ([Commercial](#); [Consumer](#)).

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7911 Lehigh Crossing, Suite 6, Victor, NY 14564
 t. 585-383-0050 f. 585-383-0701

Quotation

Number LTCQ21504
Date Aug 3, 2021

To
Bellevue Police Department
 Kishan Manning
 Kishan.Manning@Bellevue.net
 1510 Wall Street
 Bellevue, NE 68005
Phone: 402-293-3100
Fax:

Inquiry: Verbal
Sales Rep: Nate Leibensperger

Ship: Ground
Delivery: 2-3 weeks ARO
FCA: Shipping point
Terms: Net 30

Here is the quote you requested.

Qty	Part #	Description	Unit Price	Ext. Price
6	4910LR-152-LTRK-M M	L-Tron 4910LR Microphone Style Driver License Reader Kit with Magnetic Mounting Kit	\$356.75	\$2,140.50



Sub Total \$2,140.50
Sales Tax \$0.00
Total \$2,140.50

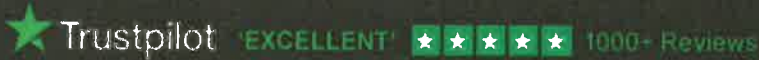
Please contact me if I can be of further assistance.

Nate Leibensperger

Page 1 of 1

PRICES SUBJECT TO CHANGE - PRICES BASED UPON TOTAL PURCHASE - ALL DELIVERY, TRAINING OR CONSULTING SERVICES TO BE BILLED AT PUBLISHED RATES - ALL HARDWARE PROPOSED ABOVE IS COVERED BY THE MANUFACTURERS WARRANTY, COVERING PARTS AND LABOR FOR HARDWARE ONLY ON A DEPOT BASIS. WE SHALL NOT BE LIABLE FOR ANY LOSS OF PROFITS, BUSINESS, GOODWILL, DATA, INTERRUPTION OF BUSINESS, NOR FOR INCIDENTAL OR CONSEQUENTIAL MERCHANTABILITY OR FITNESS OF PURPOSE, DAMAGES RELATED TO THIS AGREEMENT. RETURNS WILL NOT BE ACCEPTED WITHOUT AN RMA NUMBER, STANDARD PARTS ARE SUBJECT TO A MINIMUM 15% RESTOCKING FEE WITH ORIGINAL PACKAGING. RMA'S FOR NON DEFECTIVE MATERIALS WILL ONLY BE ISSUED WITHIN 21 DAYS OF SHIPMENT. RETURNS OF CUSTOM CONFIGURATIONS OR PARTS MAYBE SUBJECT TO MANUFACTURERS RESTRICTIONS. QUOTATION DOES NOT INCLUDE SHIPPING, OR ANY SALES TAXES OR DUTIES. CREDIT TERMS ARE SUBJECT TO APPROVAL BY THE FINANCE DEPARTMENT.

Account #	Quote Date	Quote #
1111463857	8/3/2021	Q1508633



Bill To:

CITY OF BELLEVUE POLICE DEPT
 1510 Wall St
 Bellevue NE 68005
 United States

Ship To:

CITY OF BELLEVUE POLICE DEPT
 1510 Wall St
 Bellevue NE 68005
 United States

Remit To:

Barcodes LLC
 PO Box 95637
 Chicago, IL 60694-5637
 1-800-351-9962

Item #	Item Description	UoM	Qty	Unit Price	Total
93633	8 full-page Mobile Printer USB drop-in paper loading 203 dpi Direct thermal Print Method Regulatory Approvals: FCC Class B CE Mark UL listed AC adapters e-mark Package Contents: Printer ships with o battery and one sample roll of paper. Battery cables and power adapters should be ordered separately.	EA	10	\$416.67	\$4,166.70
93696-PRINTEK	1820 Cage Mount Bracket Set of 2.	EA	10	\$34.15	\$341.50
93679	In-vehicle power adapter, cigarette plug, 10'	EA	10	\$52.00	\$520.00
92677	USB-C cable, 10'	EA	10	\$23.38	\$233.80

Price does not include shipping unless specified. Price Only Valid for quantity printed. Prices are only valid through the quote expiration date. BARCODES, INC. TRUESUPPORT AND SERVICES NOTICE: The Customer acknowledges that if declining any of the quoted Barcodes, Inc. TrueSupport or Barcodes, Inc. Services (such as staging, kitting, and installation), they will be charged for ANY support that they require through Barcodes, Inc. at our hourly rates. If Barcodes, Inc.'s TrueSupport or Services options are not listed on this quotation, please inquire for pricing.



Quote prepared by

Kyle French

E : kfrench@barcodesinc.com

P : (312) 610-6503

Quote reference #

Q1508633

Expires: 9/2/2021

2020 RETAIL TECH



SOLUTION PROVIDER

Account #	Quote Date	Quote #
1111463857	8/3/2021	Q1508633



Subtotal	\$5,262.00
Sales Tax	\$0.00
Shipping	\$0.00
Total	\$5,262.00

Device as a Service (DaaS) subscription option: A monthly DaaS subscription payment option of \$154.70 is available for your consideration. This is an estimated monthly subscription payment for 36 months and does not include any applicable taxes or shipping costs. The actual DaaS subscription monthly payment is subject to:

- Review of equipment configuration
- Receipt of credit application and credit approval
- Adjustment for change in money rates from quotation to commencement dates

Price does not include shipping unless specified. Price Only Valid for quantity printed. Prices are only valid through the quote expiration date. BARCODES, INC. TRUESUPPORT AND SERVICES NOTICE: The Customer acknowledges that if declining any of the quoted Barcodes, Inc. TrueSupport or Barcodes, Inc. Services (such as staging, kitting, and installation), they will be charged for ANY support that they require through Barcodes, Inc. at our hourly rates. If Barcodes, Inc.'s TrueSupport or Services options are not listed on this quotation, please inquire for pricing.



Quote prepared by

Kyle French

E : kfrench@barcodesinc.com

P : (312) 610-6503

Quote reference #

Q1508633

Expires: 9/2/2021

2020 RETAIL TECH



SOLUTION PROVIDER



PCS Mobile
 4949 S. Syracuse Street, Suite 430
 Denver, CO 80237-2747

Phone: 1-800-517-9583
 Fax: 303-346-4274
 Web: www.route1.com

Sarpy County
 E911 Communications
 1210 Golden Gate Dr, Ste 6001
 Papillion, NE 68046
 US
 402-593-4448

Proposal Description:
****Sales May Sales****

For any questions, please call me at 888-219-8699, or email me at amy.wilbur@pcsmobile.com

SALESPERSON	CONTACT	DATE	DOCUMENT NUMBER
Amy Wilbur	Elmer Martin	8/5/2021	GRMQ8783
FOB	PAYMENT TERMS	QUOTE PRICES EFFECTIVE UNTIL	
Origin	Net 30	9/4/2021	

QTY	DESCRIPTION	PART NUMBER	UNIT PRICE	TOTAL PRICE
15	NM Complete- Full access to the NetMotion platform and all of its features, powering security, visibility and connectivity use-cases. Includes the software defined perimeter (SDP), enterprise VPN and experience monitoring solutions.	NMSCOMPSUB	\$110.88	\$1,663.20
0	dates from 8/5/2021 to 8/26/2022		\$0.00	\$0.00
0	for Bellevue, NE additions		\$0.00	\$0.00

SUBTOTAL	\$1,663.20
SALES TAX	\$0.00
TOTAL	\$1,663.20

The attached Terms of Sale are an integral part of this quote. In order for this quote to be effective, the attached Terms of Sale must be agreed to and signed.

Route1 is the parent company of operating subsidiaries Route 1 Security Corporation, Group Mobile Int'l, LLC, PCS Mobile, DataSourceMobility, LLC and VetSourceMobility, LLC. Each of these subsidiaries, as applicable, continue as valid parties to all agreements





Terms of Sale

Please read these Terms of Sale (the “Terms of Sale”) carefully. The submittal of any purchase order by the customer (“Buyer”), referred to in the attached quote, to Portable Computer Systems, Inc., dba: PCS Mobile (“PCS” or “Seller”) indicates acceptance of these terms and conditions. Except where indicated otherwise, these terms and conditions shall supersede any subsequent terms or conditions included with any purchase order. PCS reserves the right to make changes to these terms and conditions at any time. In the event that there is any conflict or inconsistency between these Terms of Sale and any other terms of sale or use that appear on the PCS website (the “Website Terms”), these Terms of Sale will govern.

1. Acceptance of Order

Buyer’s placement of an order does not necessarily ensure that we will accept the Buyer’s order. We reserve the right to refuse any order in our sole discretion. In addition, before accepting Buyer’s order, we may require additional information if Buyer has not provided all of the information required by Seller to complete Buyer’s order. Once a properly completed order is received, authorization of Buyer’s form of payment is received and we have accepted Buyer’s order, we will promptly place Buyer’s order in line for shipment.

Once an order has been accepted by PCS, it cannot typically be cancelled. If an order cancellation request is received and accepted by PCS prior to product shipment, a 15% cancellation fee will apply.

2. Pricing and Availability

All prices for products (and the associated costs of shipping and tax) are shown in U.S. dollars. All items are subject to availability and we reserve the right to impose quantity limits on any order, to reject all or part of an order, and to discontinue products without notice, even if Buyer has already placed an order. All prices are subject to change without notice, and Buyer agrees that taxes may be adjusted from the amount shown on this quote. Several factors may cause this, such as variances between processor programs and changes in tax rates.

3. Payment Terms

Buyer shall provide all financial information reasonably requested by PCS from time to time for the purpose of establishing or continuing Buyer’s credit limit. Buyer agrees that PCS shall have the right to decline or extend credit to Buyer and to require that the applicable purchase price be paid prior to shipment. PCS shall have the right from time to time, without notice, to change or revoke Buyer’s credit limit on the basis of changes in PCS’s credit policies or Buyer’s financial condition and/or payment record.

If credit terms are not available to the Buyer, pre-payment may be made by ACH (EFT), Wire Transfer or company check (7 – 10 days to clear). PCS currently accepts Visa and MasterCard, as forms of credit card payment. By submitting Buyer’s order and selecting to use a credit card as a form of payment, Buyer represents and warrants that Buyer is authorized to use the designated credit card and authorizes Seller to charge Buyer’s order (including taxes, shipping and handling) to that card. If the card cannot be verified, is invalid, or is otherwise not acceptable, Buyer’s order may be suspended or cancelled automatically. All credit card orders are subject to a 4% service charge. PCS further reserves the right, in its sole discretion, to request partial payment from Buyer, prior to processing Buyer’s order.

Buyer shall not deduct any amounts from any PCS invoice without PCS’s express written approval, which approval shall be contingent upon Buyer providing all supporting documentation for such deduction as required by PCS. Any authorized deductions for returned Products must include Buyer’s customer tracking number and PCS’s Return Merchandise Authorization (“RMA”) number. Deductions received by PCS without advance notice will be denied.

If Buyer fails to make timely payment of any amount invoiced by PCS, PCS shall have the right, in addition to any



and all other rights and remedies available to PCS at law or in equity, to immediately revoke any or all credit extended, to delay or cancel future deliveries and/or to reduce or cancel any or all quantity discounts extended to Buyer. Buyer shall pay all costs of collection including reasonable attorneys' fees. A service charge of the greater of one and one-half percent (1 ½%) per month or the maximum amount allowed by law will be charged on all past due balances commencing on the date payment is due.

4. Shipping Terms and Policies

Delivery shall be made in accordance with Seller's shipping policy in effect on the date of shipment. Product title and risk of loss will transfer to Buyer upon PCS tendering the Product for delivery to the carrier (F.O.B. Origin). If Buyer requests special shipping or handling, including expedited shipment, third-party billing, or freight collect, Buyer shall be responsible filing claims with the carrier and all freight and handling costs. Buyer shall pay for any special routing, packing, handling or insurance requested by Buyer and agreed to by PCS. Orders shipped under special routing instructions must be separately agreed upon and may be subject to additional charges. PCS will not be subject to requirements of non-compliance programs of Buyer, including charges for product delays, missing/inaccurate shipping documents, labeling or product markings.

Buyer shall promptly notify Seller, no later than 30 days from invoice date, of any claimed shortages or rejection as to any delivery, with the exception of deliveries that reveal external shipping damage, which, in some instances, must be refused immediately upon delivery by the carrier. Such notice shall be in writing and shall be reasonably detailed stating the grounds for any such rejection. Failure to provide any such notice within such time shall be deemed an acceptance in full of any such delivery. Seller shall not be liable for any shipment delays that affect Seller or any of Seller's suppliers, including but not limited to delays caused by unavailability or shortages of Products from Seller's suppliers, natural disasters, acts of war or terrorism, acts or omissions of Buyer, fire, strike, riot, or governmental interference, unavailability or shortage of materials, labor, fuel or power through normal commercial channels at customary and reasonable rates, failure or destruction of plant or equipment arising from any cause whatsoever, or transportation failures.

5. On-Site Agreement Policy

Buyer and/or Route1 has 24 hours from the date first agreed upon by both parties to cancel or reschedule without charge. Buyer agrees to pay a \$2,500 cancellation fee to Route1 if the required equipment listed beside "Equipment to be Provided by Buyer" is not provided or if the service dates requested are cancelled for any reason other than Route1 issuing the cancellation or Force Majeure.

Route1 agrees to pay a \$2,500 cancellation fee to the Buyer if the service dates requested are cancelled for any reason other than Buyer cancellation or Force Majeure.

A "Force Majeure" is defined as fire, explosion, accident, drought, storm, hail, earthquake, embargo, epidemic, act of God which has resulted in, or could reasonably be expected to result in, cancellation of an FSR travel request.

6. Back Orders

If, for any reason, an item on Buyer's order is temporarily out of stock, PCS will endeavor to back order that item for Buyer. Items on back order will be charged when the items are actually shipped, along with applicable taxes and shipping charges.

7. Return Policy – all sales final

All sales are final, except where otherwise agreed upon by Buyer and PCS. Should PCS, in its sole discretion, allow Buyer to return an item, the following return policy applies for that return:

- a. In order for PCS to approve any product return, the product must not be opened or damaged, and in its original undamaged packaging. PCS will not accept "open box" returns.



- b. As PCS sells specific project based manufactured and configured computers, accessories and electronic devices, unopened box returns also may be denied. We cannot re-sell or return a computer that has been built to a customer's specifications.
- c. Any and all product returns must be approved by PCS, in PCS's sole discretion, and a Return Merchandise Authorization ("RMA") number must be issued.
- d. Approved returns must be made within 30 days of the delivery date.
- e. Approved returns will incur a 25% restocking fee.
- f. Returns must be received within 15 days of the RMA number issuance.
- g. The customer is responsible for all insurance and shipping charges associated with the return.
- h. All returns must be sent via UPS, Federal Express, or any other courier that provides a tracking number and proof of delivery.
- i. If the returned product does not meet the requirements stated above, the product will be sent back to the customer "freight collect".
- j. Once PCS has approved a return, Buyer's refund will be issued within 7 days, and Buyer will receive an email confirmation that Buyer's return is completed. Please note that, depending on Buyer's financial institution, it may take an additional 2-10 business days for the credit to post to Buyer's account.

8. Errors

PCS attempts to be as accurate as possible. However, PCS does not warrant that all product descriptions, photographs, pricing, or other information provided is accurate, complete, current, or error-free. In addition, all weights and size dimensions are approximate. If a product offered by PCS is not as described or pictured, Buyer's sole remedy is to return it in an undamaged unused condition for a refund, subject to the return policy herein. In the event of an error in an order confirmation, in processing an order, in delivering a product, or otherwise, we reserve the right to correct such error and revise Buyer's order accordingly, or to cancel the order and refund any amount charged. Buyer's sole remedy in the event of an error is, subject to the return policy herein, to cancel Buyer's order and obtain a refund.

9. Disclaimer of Warranty

PCS PROVIDES NO WARRANTY TO ITS CUSTOMERS FOR ANY PRODUCTS SOLD. PCS HEREBY DISCLAIMS AND EXCLUDES ALL WARRANTIES, EXPRESS, STATUTORY, OR IMPLIED, INCLUDING BUT NOT LIMITED TO IMPLIED WARRANTIES OF MERCHANTABILITY, ACCEPTABILITY, SATISFACTORY QUALITY, NON-INFRINGEMENT, TITLE, FITNESS FOR A PARTICULAR PURPOSE, LOSS OF OR DAMAGE TO DATA, LACK OF VIRUSES OR FREE FROM VIRUS OR MALWARE ATTACK, SECURITY, PERFORMANCE, LACK OF NEGLIGENCE, WORKMANLIKE EFFORT, QUIET ENJOYMENT, THAT THE FUNCTIONS CONTAINED IN THE PRODUCT WILL MEET BUYER'S REQUIREMENTS, OR THAT DEFECTS IN THE PRODUCT WILL BE CORRECTED, OR THAT BUYER'S USE OF THE PRODUCT WILL GENERATE ACCURATE, RELIABLE, TIMELY RESULTS, INFORMATION, OR DATA. NO ORAL OR WRITTEN INFORMATION OR ADVICE GIVEN BY PCS, A DEALER, AGENT, OR AFFILIATE SHALL CREATE A WARRANTY. TO THE EXTENT WARRANTIES CANNOT BE DISCLAIMED OR EXCLUDED, THEY ARE LIMITED TO THE DURATION OF THE RELEVANT EXPRESS WARRANTY PERIOD.

TO THE MAXIMUM EXTENT PERMITTED BY APPLICABLE LAW, IN NO EVENT SHALL PCS, ITS AFFILIATES, DEALERS, AGENTS OR SUPPLIERS OR THEIR RESPECTIVE OFFICERS, DIRECTORS, EMPLOYEES, LICENSORS AND ASSIGNS BE LIABLE FOR ANY DIRECT, INDIRECT, EXEMPLARY, PUNITIVE, SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES WHATSOEVER (INCLUDING BUT NOT LIMITED TO DAMAGES FOR LOSS OF PROFITS OR REVENUE, FOR BUSINESS INTERRUPTION, FOR PERSONAL INJURY, FOR LOSS OF PRIVACY, FOR LOSS OF ABILITY TO USE ANY THIRD PARTY PRODUCTS OR SERVICES, FOR FAILURE TO MEET ANY DUTY INCLUDING OF GOOD FAITH OR OF REASONABLE CARE, FOR NEGLIGENCE, AND FOR ANY OTHER PECUNIARY OR OTHER LOSS WHATSOEVER), REGARDLESS OF THE THEORY OF LIABILITY (CONTRACT, TORT OR OTHERWISE) ARISING OUT OF OR IN ANY WAY RELATED TO THE USE OF OR INABILITY TO USE THE PRODUCT, EVEN IF PCS OR SUCH OTHER ENTITIES HAVE BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. IN NO EVENT SHALL THE TOTAL AGGREGATE LIABILITY OF PCS, ITS AFFILIATES, ASSOCIATES, DEALERS, AGENTS OR SUPPLIERS TO BUYER FOR ALL DAMAGES EXCEED THE PRICE BUYER PAID FOR THE PRODUCT. THIS LIMITATION IS CUMULATIVE AND WILL NOT BE INCREASED BY THE EXISTENCE OF MORE



THAN ONE INCIDENT OR CLAIM. THE FOREGOING LIMITATIONS WILL APPLY EVEN IF ANY WARRANTY OR REMEDY PROVIDED FAILS OF ITS ESSENTIAL PURPOSE.

SOME JURISDICTIONS DO NOT ALLOW THE EXCLUSION OR LIMITATION OF IMPLIED WARRANTIES OR OF LIABILITY FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE FOREGOING LIMITATIONS MAY NOT APPLY TO BUYER.

IF ANY TERM IS HELD TO BE ILLEGAL OR UNENFORCEABLE, THE LEGALITY OR ENFORCEABILITY OF THE REMAINING TERMS SHALL NOT BE AFFECTED OR IMPAIRED.

10. Manufacturer's Warranty

Warranties may be available directly from select manufacturers. Manufacturer information is subject to change without notice. Not all manufacturers for products which we sell will offer manufacturers' warranties.

11. Confidentiality

The Company and the Client agree to keep confidential all the terms of the Agreement, and any proprietary, trade secret or other information which the Company or Client receives from the other in the performance of the Services under the Agreement, however, this shall not apply to information which is: (i) necessary to be disclosed to a third party in order to perform an Agreement; (ii) already known free of any restriction at the time it is obtained; (iii) subsequently learned from an independent third party free of restriction; (iv) is publicly available or (v) is required by law or court order to be disclosed.

12. Intellectual Property

The Company grants to Client a limited, nonexclusive and nontransferable license to use the Company's technology, equipment, software, information, copyrightable material, copyrights, trademarks, patents, data or other material (the "Intellectual Property") provided by the Company in delivery of the Services.

Client may not copy or sublicense Company's Intellectual Property unless such rights are expressly granted in writing within the Agreement. The Company owns or has a license or other right to use the Intellectual Property which is being distributed to Client and Company reserves all rights to the Intellectual Property. Client hereby acknowledges that the Company retains all right, title and interest in and to the copyrights, trademarks, patents and other intellectual property rights inherent or related in any way to the Intellectual Property provided. Company shall own all rights in any changes, enhancements, and modifications made by the Client to the Company's Intellectual Property. Client agrees that neither it nor any of its employees or agents will contest or challenge the Company's ownership or rights in its Intellectual Property, make or authorize any use of the Company's Intellectual Property that is not consistent with the Agreement or these terms and conditions or modify or reproduce the content or substance of the Intellectual Property.

See www.route1.com/terms-of-use/ for notice of Route1's intellectual property.

13. Waiver of Liability Relating to COVID-19

The installation of equipment, hardware or software by Company on Client's site pursuant to the Agreement may require employees or contractors of the Company to be present and in physical proximity to Client's employees, contractors, agents, customers, etc. Client understands that Company cannot prevent possible exposure to, contracting or spreading of COVID-19 by its employees or contractors. It is not possible to prevent the presence of COVID-19 and therefore if Client utilizes Company's onsite installation services, Client understands that it may be exposing its employees and others onsite to increased risk of contracting or spreading COVID-19.

By engaging in onsite Services, Client acknowledges and accepts the risk to its employees and others onsite of exposure to, contracting and/or spreading of COVID-19. The Client indemnifies the Company against any claims arising out of exposure to, contracting and/or spreading of COVID-19 by virtue of Company's provision of onsite



Services. The Client hereby forever releases and waives the right to bring suit against the Company and its owners, officers, directors, managers, officials, agents, employees or other representatives in connection with the exposure, infection, and/or spread of COVID-19 related to the provision of onsite Services.

14. Intentionally left blank

15. Privacy

Please refer to the PCS Privacy Statement, available at www.route1.com/privacy-policy for information about how PCS collects, uses, and discloses personal information from users of the site.

16. Dispute Resolution and Binding Arbitration

BUYER AND PCS AGREE TO GIVE UP ANY RIGHTS TO LITIGATE CLAIMS IN A COURT OR BEFORE A JURY, OR TO PARTICIPATE IN A CLASS ACTION OR REPRESENTATIVE ACTION WITH RESPECT TO A CLAIM. OTHER RIGHTS THAT BUYER WOULD HAVE IF BUYER WENT TO COURT MAY ALSO BE UNAVAILABLE OR MAY BE LIMITED IN ARBITRATION.

Any claim, dispute, or controversy, whether in contract, tort or otherwise, whether pre-existing, present, or future, and including statutory, consumer protection, common law, intentional tort, injunctive, and equitable claims, between Buyer and either PCS, its agents, employees, successors, assigns, direct and indirect subsidiaries, or any third party providing any products or services to Buyer in connection with Buyer's purchase arising from or relating in any way to Buyer's purchase of products, these Terms of Sale, their interpretation, or the breach, termination, or validity thereof, the relationships which result from these Terms of Sale (including relationships with third parties who are not signatories to these Terms of Sale), PCS's advertising, or any related purchase, shall be resolved exclusively and finally by binding arbitration. The arbitrator shall have exclusive authority to resolve any dispute relating to arbitrability and/or enforceability of this arbitration provision, including any unconscionability challenge or any other challenge that the arbitration provision of the Terms of Sale is void, voidable, or otherwise invalid. The arbitration shall be administered by the American Arbitration Association (AAA) or JAMS (or a substitute forum if both are unavailable). Arbitration proceedings shall be governed by this provision and the applicable procedures of the selected arbitration administrator, including any applicable procedures for consumer-related disputes, in effect at the time the claim is filed. Notwithstanding the foregoing, Buyer may assert claims in a small claims court if Buyer's claims qualify. The Federal Arbitration Act and federal arbitration law apply to these Terms of Sale.

Buyer agrees to an arbitration on an individual basis. In any dispute, NEITHER BUYER NOR PCS SHALL BE ENTITLED TO JOIN OR CONSOLIDATE CLAIMS BY OR AGAINST OTHER CUSTOMERS, OR ARBITRATE OR OTHERWISE PARTICIPATE IN ANY CLAIM AS A CLASS REPRESENTATIVE, CLASS MEMBER, OR IN A PRIVATE ATTORNEY GENERAL CAPACITY. If any provision of this arbitration clause is found unenforceable, the unenforceable provision shall be severed and the remaining arbitration terms shall be enforced (but in no case shall there be a class arbitration).

The arbitrator shall be empowered to grant whatever relief would be available in court under law or in equity. Any award of the arbitrator(s) shall be final and binding on each of the parties and may be entered as a judgment in any court of competent jurisdiction. Information on AAA or JAMS and their applicable rules are available at the following numbers and URLs: American Arbitration Association, (800) 778-7879, www.adr.org; JAMS, (800) 352-5267, www.jamsadr.com.

17. Applicable Law and Jurisdiction

This Agreement will be governed by the substantive laws of the state of Arizona without giving effect to any choice of law rules. The United Nations Convention on Contracts for the International Sale of Goods will not apply to this Agreement. Buyer is responsible for compliance with local laws, if and to the extent local laws are applicable. Both parties to this Agreement specifically agree to submit to the exclusive jurisdiction of, and venue in, the courts in Maricopa County, Arizona in any dispute arising out of or relating to this Agreement.



18. Export Controls

Certain PCS products may be subject to export controls imposed by the United States of America, and may not be exported or re-exported: (a) into (or to a national or resident of) any country to which the United States of America has placed an embargo, including without limitation, Cuba, Iran, Iraq, Libya, North Korea, Syria, Sudan, or Venezuela; (b) to everyone on the U.S. Treasury Department’s Specially Designated Nationals list, or (c) the U.S. Commerce Department’s Table of Denial Orders (collectively, the “Prohibited Countries”). By purchasing any PCS product, Buyer represents and warrants that Buyer is not located in any Prohibited Country, that Buyer is not under the control of any Prohibited Country, or that Buyer is not a national or resident of any Prohibited Country.

19. Severability

If any provision of these Terms of use shall be deemed unlawful, void, or for any reason unenforceable, then that provision shall be deemed severable from these Terms of Sale and shall not affect the validity and enforceability of any remaining provisions.

Agreed to by:

**Sarpy County
E911 Communications
1210 Golden Gate Dr,Ste 6001
Papillion, NE 68046
US**

Printed Name: _____

Signature: _____

Title: _____

Date: _____

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

16f.
08/172021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Professional Services Agreement - Industrial Facility Relocation

SYNOPSIS/BACKGROUND:

To assist in future development within the City of Bellevue, HDR Engineering Inc. will perform professional engineering, consulting and related services for the relocation of an industrial facility owned by DPC Industries.

FISCAL IMPACT: \$23,893.00 BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES COUNTER-PARTY: HDR Engineering, Inc. INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Professional Services Agreement

CONTRACT EFFECTIVE DATE: 08/17/2021 CONTRACT TERM: To services completion CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: YES

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER: 10-10-6453

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the agreement between the City of Bellevue and HDR Engineering Inc. in an amount not to exceed \$23,893.00 for services related to industrial facility relocation.

ATTACHMENTS:

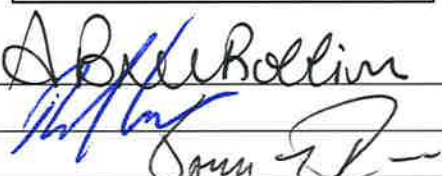
1. Agreement	2.	3.
4.	5.	6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



**SHORT FORM AGREEMENT BETWEEN CLIENT AND
HDR ENGINEERING, INC. FOR PROFESSIONAL SERVICES
AGREEMENT NUMBER 2021-02**

THIS AGREEMENT is made as of this 17th day of August 2021, between City of Bellevue (“CLIENT”), a Nebraska Municipality, with principal offices at 1500 Wall Street, Bellevue, Nebraska, and HDR ENGINEERING, INC., (“ENGINEER”) for services in connection with the project known as Industrial Facility Assessment (“Project”);

WHEREAS, CLIENT desires to engage ENGINEER to provide professional engineering, consulting and related services (“Services”) in connection with the Project; and

WHEREAS, ENGINEER desires to render these Services as described in SECTION I, Scope of Services.

NOW, THEREFORE, CLIENT and ENGINEER in consideration of the mutual covenants contained herein, agree as follows:

SECTION I. SCOPE OF SERVICES

ENGINEER will provide Services for the Project, which consist of the Scope of Services as outlined on the attached Exhibit A.

SECTION II. TERMS AND CONDITIONS OF ENGINEERING SERVICES

The HDR Engineering, Inc. Terms and Conditions, which are attached hereto in Exhibit B, are incorporated into this Agreement by this reference as if fully set forth herein.

SECTION III. RESPONSIBILITIES OF CLIENT

The CLIENT shall provide the information set forth in paragraph 6 of the attached “HDR Engineering, Inc. Terms and Conditions for Professional Services.”

SECTION IV. COMPENSATION

Compensation for ENGINEER’S services under this Agreement shall be on the basis of Time and Materials

Time and Materials shall mean actual labor hours at the rates included in Exhibit A, to be paid as total compensation for each hour an employee works on the project, plus Reimbursable Expenses.

Reimbursable Expense shall mean the actual expenses incurred directly or indirectly in connection with the Project for transportation travel, subconsultants, subcontractors,

technology charges, telephone, telex, shipping and express, and other incurred expense. ENGINEER will add ten percent (10%) to invoices received by ENGINEER from subconsultants and subcontractors to cover administrative expenses and vicarious liability.

The amount of any sales tax, excise tax, value added tax (VAT), or gross receipts tax that may be imposed on this Agreement shall be added to the ENGINEER'S compensation as Reimbursable Expenses.

SECTION V. PERIOD OF SERVICE

Upon receipt of written authorization to proceed, ENGINEER shall perform the services within the time period(s) described in Exhibit A.

Unless otherwise stated in this Agreement, the rates of compensation for ENGINEER'S services have been agreed to in anticipation of the orderly and continuous progress of the project through completion. If any specified dates for the completion of ENGINEER'S services are exceeded through no fault of the ENGINEER, the time for performance of those services shall be automatically extended for a period which may be reasonably required for their completion and all rates, measures and amounts of ENGINEER'S compensation shall be equitably adjusted.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

City of Bellevue
"CLIENT"

HDR ENGINEERING, INC.
"ENGINEER"

BY: _____

BY: 

NAME: _____

NAME: Matthew Tondl

TITLE: _____

TITLE: Sr Vice President

ADDRESS: 1500 Wall Street
Bellevue, NE 68005

ADDRESS: 1917 So. 67th Street
Omaha, NE 68106

EXHIBIT A

SCOPE OF SERVICES

**EXHIBIT A
CITY OF BELLEVUE NEBRASKA
CHEMICAL PLANT ASSESSMENT**

SCOPE OF WORK

PART 1.0 PROJECT DESCRIPTION:

The City of Bellevue Nebraska (CLIENT) has requested a scope and fee from HDR Engineering, Inc. (HDR) to provide Engineering services to provide an assessment of an existing Chemical Plant, DPC Industries (OWNER) located in Bellevue. The purpose of the assessment is to evaluate the existing facility and provide a budgetary cost estimate for a comparable replacement facility which could be located at a new location.

PART 2.0 SCOPE OF SERVICES TO BE PERFORMED BY ENGINEER ON THE PROJECT:

TASK SERIES 100 – PROJECT MANAGEMENT

Objective: Provide project management activities including planning, organizing, and monitoring. HDR will coordinate with CLIENT personnel throughout the Project to gather input regarding operational considerations, issues and objectives for the Project. Specific tasks include:

Activities:

Project Management

- Develop Project Management Plan. This HDR internal document will describe Project activities, constraints, guidelines, budget and procedures. Define quality control plan.
- Resource management and allocation based on Project schedules and activities.
- Budget and invoice management.
- Schedule monitoring and update for Project development.
- Production coordination.

Project Background Data Collection

- Obtain data related to existing Site and Facility operations.
- The following project background data collection list is for CLIENT to request from OWNER. Information to be provided to CLIENT from OWNER, said information to be gathered to the best of CLIENT's ability:
 - Business Summary
 - Production process(es)
 - Product(s) and By-Product(s) produced
 - Type and Amount
 - Overview of primary processing materials
 - Record Drawings

- Copy of building record drawings
- Copy of building permit drawings
- Facility Utility Demands
 - Water
 - Electrical Power
 - Natural Gas/Propane
 - Fire Protection
- Facility Operations
 - Packaging and Load Out
 - Warehousing/Distribution Space
 - Occupancy Ratings and Zone classifications
 - On-Site Material Storage
 - Type and Amount
 - Process
 - General Arrangements
 - Equipment List(s)
 - Process Flow Diagrams (PFDs)
 - Process and Instrumentation Diagrams (P&IDs)
- Communications and Security
 - High Speed Internet
 - Access Control
 - Alarms
- Permits
 - Copy of Building Permit drawing(s)
 - Environmental
 - Air
 - Waste Discharge or Disposal
 - Wastewater Discharge
 - SWPPP
 - Risk Management Plan (RMP)/Process Safety Management (PSM) plan
 - Other

Kick-off Meeting

- Prepare project Kickoff Meeting agenda, conduct meeting, and prepare minutes. Meeting will include:
 - Approach/Schedule Discussion
 - Standard Project Procedures and Establish Lines of Communication
 - Overall Project Goals and Objectives

Internal Project Coordination Meetings

- Prepare Internal coordination meeting agenda, conduct meeting, and prepare minutes. Meeting will include discussions on:
 - Progress status
 - Information needed
 - Discipline design coordination

- Scope review
- Quality control and assurance
- Budget and schedule discussion

Quality Control

- Develop internal Quality Control Plan to be incorporated into Project Management Plan.

Deliverables:

1. Project Kick-off meeting Agenda and Minutes in electronic PDF format.
2. Internal project coordination meeting Agendas and minutes in electronic PDF format.
3. Monthly invoicing, electronic and hard copy.
4. CLIENT to provide HDR the requested background information related to existing Site.

Meetings/Travel:

1. Project Kick-off meeting with design team.
2. Bi-weekly Internal project design coordination meetings.

Key Understandings

1. CLIENT will request Project Background information from OWNER per HDR request list above.
2. Scope assumes the Project Background information will be provided by OWNER to CLIENT and HDR prior to Project Refinement Workshop in Task 200.
3. CLIENT will make OWNER aware that any information provided to them may be shared with CLIENT’S Consultants and may possibly be subjected to public record laws.
4. Requested project background data not provided to CLIENT by OWNER will have to be collected by CLIENT and HDR. Level of effort to collect the data will be determined in Task 200 during project refinement workshop and will be additional services.

Task Series 200 – CHEMICAL PLANT SITE VISIT AND PROJECT REFINEMENT WORKSHOP

Objective: Visit the Project Site and tour the facility as CLIENT’S Engineering Consultants as part of a First Responders Plant tour planned and arranged by CLIENT with OWNER. Information and notes gathered during tour, along with data provided by Owner prior to tour, will serve as background information used in the Project Refinement Workshop.

Activities **Facility Site Visit**

Travel to Site to meet with OWNER’S representative to tour facility and document key information related to the design and operations of the facility.

Project Refinement Workshop

Conduct a project refinement workshop with CLIENT that will discuss information gathered during Site Visit, and information provided to CLIENT prior to Site visit, to assess whether it is enough background to finalize a Table of Contents that will establish a final facility evaluation report. Through detailed discussions, adjust

categories with CLIENT comments and outline a strategy to gather missing information needed to complete a facility evaluation and recommendation.

Deliverables:

1. Site visit field notes and final Field Report.
2. Project Refinement workshop agenda and meeting minutes.

Meetings/Travel:

1. One (1) Site Visit to meet with OWNER's representative to tour facility and document key information related to the design and operations of the facility attended by Two (2) HDR team members.
2. One (1) Project Refinement Workshop to be held at CLIENT designated location attended by CLIENT staff and Two (2) HDR team members.

Key Understandings

1. OWNER will allow site access and provide tour of facility. HDR understands that OWNER may not allow site access. The scope assumes that valuable knowledge of the facility will be gained during site access and forms the basis for Task 300.
2. OWNER will provide all requested information to CLIENT related to facility, plant operations and process. HDR understands that OWNER may not provide all requested information. The scope assumes that valuable knowledge of the facility will be gained from the requested information and forms the basis for Task 300.
3. CLIENT will provide meeting date and location for Plant Site Visit and make best efforts to work with OWNER to schedule and facilitate same.
4. CLIENT will provide meeting date and location for Project Refinement Workshop.
5. CLIENT will review HDR Field Report from Site Visit and Project Refinement Workshop meeting notes for approval prior to final submission.
6. CLIENT will provide a single set of review comments to HDR within five (5) working days of draft submittal.
7. HDR will address review comments and provide HDR Final Field Report from Site Visit and Final Project Refinement Workshop meeting notes to CLIENT.
8. Final document will be provided to CLIENT in electronic .pdf format.

Task Series 300 – CHEMICAL PLANT EVALUATION

Objective: Information gathered in the project Site Visit and additional Information defined during the project refinement workshop will be used develop a Facility Assessment Report.

Activities **Facility Assessment Report**

Compile information regarding the existing facility for each of the categories identified below along with decisions from Workshop in a Facility Assessment Report.

- Business Summary
 - Product(s) and By-Product(s) produced
 - Type and Amount
 - Overview of basic processing/raw materials

- Overview of specialized manufacturing process(es)
- Property Evaluation
 - Description and Platting
 - Zoning
 - Set-Backs
 - Site Access
 - Roadway
 - Rail
 - On-Site Storage
 - Tank Farm
 - Product Loadout
 - Infrastructure
 - Utilities
 - Electrical Power
 - Security
 - Fire and Life Safety
- Buildings/Structures
 - Number
 - Size
 - Service/Function
 - Classification
 - Construction Type
 - General Condition
- Facility Utility Demands
 - Water
 - Electrical Power
 - Natural Gas/Propane
 - Fire Protection
- Facility Operations
 - Packaging and Load Out
 - Warehousing/Distribution Space
 - Occupancy Ratings and Zone classifications
 - On-Site Material Storage
 - Type and Amount
- Process
 - General Arrangements
 - Equipment List(s)
 - Process Flow Diagrams
 - Process and Instrumentation Diagrams
- Communications and Security
 - High Speed Internet
 - Access Control
 - Alarms
- Permits
 - Environmental
 - Air

- Waste Discharge or Disposal
- Wastewater Discharge
- SWPPP
- Risk Management Plan (RMP)/Process Safety Management (PSM) plan
- Other

Deliverables:

1. Facility Assessment Report

Meetings/Travel: NONE

Key Understandings

1. Level of completeness is dependent on availability of requested information.
2. CLIENT will review draft Facility Assessment Report for approval prior to final submission.
3. CLIENT will provide a single set of review comments to HDR within ten (10) working days of draft submittal.
4. HDR will address review comments and document in a Memo to CLIENT.
5. HDR will incorporate agreed upon review comments into the final Facility Assessment Report document.
6. Final document will be provided to CLIENT in electronic .pdf format.

Task Series 400 – CLASS 5 COST ESTIMATE

Objective: Complete a Class 5 cost estimate as defined by the Association for the Advancement of Cost Engineering (AACE), accuracy range is -30%/+50% for the construction of a comparable facility.

Activities **Develop Cost Estimate**

- Prepare a Class 5 cost estimate utilizing Data collected in Tasks 100 and 200 and documented in Task 300. Factors used in developing the estimate will be as follows;
 - OWNER provided process design data
 - Information provided in Task 300
 - Historical comparison data of similar projects and construction.
 - Unit Costs – Estimated costs based upon current site conditions and location.
 - Contingency Factor >25%

Deliverables:

1. Class 5 Cost Estimate

Meetings/Travel: NONE

Key Understandings

1. Cost Estimate will utilize requested project background information provided by OWNER and CLIENT.

2. Key Assumptions will be used and documented in Cost estimate for items will vary due to requirements of new facility location and current construction pricing. This will take into account current Local, State, Federal and Industry Code requirements.
3. Cost estimate will be included as an appendix to the Facility Assessment Report.
4. CLIENT will review draft Cost Estimate for approval prior to final submission.
5. CLIENT will provide a single set of review comments to HDR within ten (10) working days of draft submittal.
6. HDR will address review comments and document in a Memo to CLIENT.
7. HDR will incorporate agreed upon review comments into the final Cost Estimate document.
8. Final document will be provided to CLIENT in electronic .pdf format.

PART 3.0 AUTHORIZATION

OWNER will provide written authorization for the work. Work will not proceed without authorization.

PART 4.0 CLIENT RESPONSIBILITIES:

CLIENT will be responsible for the following as identified in the above Scope of Work:

- Participate in CLIENT Refinement Workshop
- Coordination and communication with OWNER, as necessary and to the extent allowed by OWNER.
- Review of pre-final report submittal.
- Execution of all Contract agreements.

PART 5.0 COMPENSATION

HDR will invoice CLIENT for professional services described in this Proposal as a per diem plus reimbursable expenses. Per Diem shall mean an hourly labor rate of compensation to be paid as total compensation for each hour an employee works on the Project. Reimbursable Expenses shall mean the actual expenses incurred directly or indirectly in connection with the Project for transportation travel, sub consultants, subcontractors, computer usage, telephone, shipping and express delivery, sales tax, excise tax, value added tax (VAT), or gross receipts tax that may be imposed on this Agreement, and other incurred expense.

HDR's anticipates completing the services described in this Scope of Services for a fee as shown below:

	<u>HDR Fee Estimate</u>
<u>Tasks 100-200</u>	<u>\$23,893.00</u>
<u>Task 300</u>	<u>TBD</u>
<u>Task 400</u>	<u>TBD</u>

The fee estimate and Level of Effort (LOE) assumptions represent HDR's professional judgment at this time. They are presented to allow a review of our approach. This fee is an estimate that may change based on the actual LOE required and CLIENT's desire for schedule adjustments. In addition, if additional scope items are requested, HDR will estimate the cost of these activities and advise CLIENT of the fee and/or schedule impacts and obtain written approval prior to proceeding with any such modified efforts.

PART 6.0 SERVICES TERMS AND CONDITIONS

This Scope of Work pertains to the Engineering Services Agreement executed by and between CLIENT and HDR from which it is referenced.

PART 7.0 PERIODS OF SERVICE:

Notice to Proceed:	August 17, 2021
Facility Site Visit	September 2021
Project Refinement Workshop	November 2021
Facility Assessment Report	TBD
Class 5 Cost Estimate	TBD

EXHIBIT B

TERMS AND CONDITIONS

HDR Engineering, Inc. Terms and Conditions for Professional Services

1. STANDARD OF PERFORMANCE

The standard of care for all professional engineering, consulting and related services performed or furnished by ENGINEER and its employees under this Agreement will be the care and skill ordinarily used by members of ENGINEER's profession practicing under the same or similar circumstances at the same time and in the same locality. ENGINEER makes no warranties, express or implied, under this Agreement or otherwise, in connection with ENGINEER's services.

2. INSURANCE/INDEMNITY

ENGINEER agrees to procure and maintain, at its expense, Workers' Compensation insurance as required by statute; Employer's Liability of \$250,000; Automobile Liability insurance of \$1,000,000 combined single limit for bodily injury and property damage covering all vehicles, including hired vehicles, owned and non-owned vehicles; Commercial General Liability insurance of \$1,000,000 combined single limit for personal injury and property damage; and Professional Liability insurance of \$1,000,000 per claim for protection against claims arising out of the performance of services under this Agreement caused by negligent acts, errors, or omissions for which ENGINEER is legally liable. If flying an Unmanned Aerial System (UAS or drone), ENGINEER will procure and maintain aircraft unmanned aerial systems insurance of \$1,000,000 per occurrence.

CLIENT shall be made an additional insured on Commercial General and Automobile Liability insurance policies and certificates of insurance will be furnished to the CLIENT. ENGINEER agrees to indemnify CLIENT for third party personal injury and property damage claims to the extent caused by ENGINEER's negligent acts, errors or omissions. However, neither Party to this Agreement shall be liable to the other Party for any special, incidental, indirect, or consequential damages (including but not limited to loss of use or opportunity; loss of good will; cost of substitute facilities, goods, or services; cost of capital; and/or fines or penalties), loss of profits or revenue arising out of, resulting from, or in any way related to the Project or the Agreement from any cause or causes, including but not limited to any such damages caused by the negligence, errors or omissions, strict liability or breach of contract.

3. OPINIONS OF PROBABLE COST (COST ESTIMATES)

Any opinions of probable project cost or probable construction cost provided by ENGINEER are made on the basis of information available to ENGINEER and on the basis of ENGINEER's experience and qualifications, and represents its judgment as an experienced and qualified professional engineer. However, since ENGINEER has no control over the cost of labor, materials, equipment or services furnished by others, or over the contractor(s)'s methods of determining prices, or over competitive bidding or market conditions, ENGINEER does not guarantee that proposals, bids or actual project or construction cost will not vary from opinions of probable cost ENGINEER prepares.

4. CONSTRUCTION PROCEDURES

ENGINEER's observation or monitoring portions of the work performed under construction contracts shall not relieve the contractor from its responsibility for performing work in accordance with applicable contract documents. ENGINEER shall not control or have charge of, and shall not be responsible for, construction means, methods, techniques, sequences, procedures of construction, health or safety programs or precautions connected with the work and shall not manage, supervise, control or have charge of construction. ENGINEER shall not be responsible for the acts or omissions of the contractor or other parties on the project. ENGINEER shall be entitled to review all construction contract documents and to require that no provisions extend the duties or liabilities of ENGINEER

beyond those set forth in this Agreement. CLIENT agrees to include ENGINEER as an indemnified party in CLIENT's construction contracts for the work, which shall protect ENGINEER to the same degree as CLIENT. Further, CLIENT agrees that ENGINEER shall be listed as an additional insured under the construction contractor's liability insurance policies.

5. CONTROLLING LAW

This Agreement is to be governed by the law of the state where ENGINEER's services are performed.

6. SERVICES AND INFORMATION

CLIENT will provide all criteria and information pertaining to CLIENT's requirements for the project, including design objectives and constraints, space, capacity and performance requirements, flexibility and expandability, and any budgetary limitations. CLIENT will also provide copies of any CLIENT -furnished Standard Details, Standard Specifications, or Standard Bidding Documents which are to be incorporated into the project.

CLIENT will furnish the services of soils/geotechnical engineers or other consultants that include reports and appropriate professional recommendations when such services are deemed necessary by ENGINEER. The CLIENT agrees to bear full responsibility for the technical accuracy and content of CLIENT -furnished documents and services.

In performing professional engineering and related services hereunder, it is understood by CLIENT that ENGINEER is not engaged in rendering any type of legal, insurance or accounting services, opinions or advice. Further, it is the CLIENT's sole responsibility to obtain the advice of an attorney, insurance counselor or accountant to protect the CLIENT's legal and financial interests. To that end, the CLIENT agrees that CLIENT or the CLIENT's representative will examine all studies, reports, sketches, drawings, specifications, proposals and other documents, opinions or advice prepared or provided by ENGINEER, and will obtain the advice of an attorney, insurance counselor or other consultant as the CLIENT deems necessary to protect the CLIENT's interests before CLIENT takes action or forebears to take action based upon or relying upon the services provided by ENGINEER.

7. SUCCESSORS, ASSIGNS AND BENEFICIARIES

CLIENT and ENGINEER, respectively, bind themselves, their partners, successors, assigns, and legal representatives to the covenants of this Agreement. Neither CLIENT nor ENGINEER will assign, sublet, or transfer any interest in this Agreement or claims arising therefrom without the written consent of the other. No third party beneficiaries are intended under this Agreement.

8. RE-USE OF DOCUMENTS

All documents, including all reports, drawings, specifications, computer software or other items prepared or furnished by ENGINEER pursuant to this Agreement, are instruments of service with respect to the project. ENGINEER retains ownership of all such documents. CLIENT may retain copies of the documents for its information and reference in connection with the project; however, none of the documents are intended or represented to be suitable for reuse by CLIENT or others on extensions of the project or on any other project. Any reuse without written verification or adaptation by ENGINEER for the specific purpose intended will be at CLIENT's sole risk and without liability or legal exposure to ENGINEER, and CLIENT will defend, indemnify and hold harmless ENGINEER from all claims, damages, losses and expenses, including attorney's fees, arising or resulting therefrom. Any such verification or adaptation will

entitle ENGINEER to further compensation at rates to be agreed upon by CLIENT and ENGINEER.

9. TERMINATION OF AGREEMENT

CLIENT or ENGINEER may terminate the Agreement, in whole or in part, by giving seven (7) days written notice to the other party. Where the method of payment is "lump sum," or cost reimbursement, the final invoice will include all services and expenses associated with the project up to the effective date of termination. An equitable adjustment shall also be made to provide for termination settlement costs ENGINEER incurs as a result of commitments that had become firm before termination, and for a reasonable profit for services performed.

10. SEVERABILITY

If any provision of this agreement is held invalid or unenforceable, the remaining provisions shall be valid and binding upon the parties. One or more waivers by either party of any provision, term or condition shall not be construed by the other party as a waiver of any subsequent breach of the same provision, term or condition.

11. INVOICES

ENGINEER will submit monthly invoices for services rendered and CLIENT will make payments to ENGINEER within thirty (30) days of CLIENT 's receipt of ENGINEER's invoice.

ENGINEER will retain receipts for reimbursable expenses in general accordance with Internal Revenue Service rules pertaining to the support of expenditures for income tax purposes. Receipts will be available for inspection by CLIENT 's auditors upon request.

If CLIENT disputes any items in ENGINEER's invoice for any reason, including the lack of supporting documentation, CLIENT may temporarily delete the disputed item and pay the remaining amount of the invoice. CLIENT will promptly notify ENGINEER of the dispute and request clarification and/or correction. After any dispute has been settled, ENGINEER will include the disputed item on a subsequent, regularly scheduled invoice, or on a special invoice for the disputed item only.

CLIENT recognizes that late payment of invoices results in extra expenses for ENGINEER. ENGINEER retains the right to assess CLIENT interest at the rate of one percent (1%) per month, but not to exceed the maximum rate allowed by law, on invoices which are not paid within thirty (30) days from the date CLIENT receives ENGINEER's invoice. In the event undisputed portions of ENGINEER's invoices are not paid when due, ENGINEER also reserves the right, after seven (7) days prior written notice, to suspend the performance of its services under this Agreement until all past due amounts have been paid in full.

12. CHANGES

The parties agree that no change or modification to this Agreement, or any attachments hereto, shall have any force or effect unless the change is reduced to writing, dated, and made part of this Agreement. The execution of the change shall be authorized and signed in the same manner as this Agreement. Adjustments in the period of services and in compensation shall be in accordance with applicable paragraphs and sections of this Agreement. Any proposed fees by ENGINEER are estimates to perform the services required to complete the project as ENGINEER understands it to be defined. For those projects involving conceptual or process development services, activities often are not fully definable in the initial planning. In any event, as the project progresses, the facts developed may dictate a change in the services to be performed, which may alter the scope. ENGINEER will inform CLIENT of such situations so that changes in scope and adjustments to the time of performance and compensation can be made as required. If such change, additional services, or suspension of services results in an increase or decrease in the cost of or time required for performance of the services, an equitable adjustment shall be made, and the Agreement modified accordingly.

13. CONTROLLING AGREEMENT

These Terms and Conditions shall take precedence over any inconsistent or contradictory provisions contained in any proposal, contract, purchase order, requisition, notice-to-proceed, or like document.

14. EQUAL EMPLOYMENT AND NONDISCRIMINATION

In connection with the services under this Agreement, ENGINEER agrees to comply with the applicable provisions of federal and state Equal Employment Opportunity for individuals based on color, religion, sex, or national origin, or disabled veteran, recently separated veteran, other protected veteran and armed forces service medal veteran status, disabilities under provisions of executive order 11246, and other employment, statutes and regulations, as stated in Title 41 Part 60 of the Code of Federal Regulations § 60-1.4 (a-f), § 60-300.5 (a-e), § 60-741 (a-e).

15. HAZARDOUS MATERIALS

This section deleted.

16. EXECUTION

This Agreement, including the exhibits and schedules made part hereof, constitute the entire Agreement between ENGINEER and CLIENT, supersedes and controls over all prior written or oral understandings. This Agreement may be amended, supplemented or modified only by a written instrument duly executed by the parties.

17. ALLOCATION OF RISK

CLIENT AND ENGINEER HAVE EVALUATED THE RISKS AND REWARDS ASSOCIATED WITH THIS PROJECT, INCLUDING ENGINEER'S FEE RELATIVE TO THE RISKS ASSUMED, AND AGREE TO ALLOCATE CERTAIN OF THE RISKS, SO, TO THE FULLEST EXTENT PERMITTED BY LAW, THE TOTAL AGGREGATE LIABILITY OF ENGINEER (AND ITS RELATED CORPORATIONS, SUBCONSULTANTS AND EMPLOYEES) TO CLIENT AND THIRD PARTIES GRANTED RELIANCE IS LIMITED TO THE LESSER OF \$1,000,000 OR ITS FEE, FOR ANY AND ALL INJURIES, DAMAGES, CLAIMS, LOSSES, OR EXPENSES (INCLUDING ATTORNEY AND EXPERT FEES) ARISING OUT OF ENGINEER'S SERVICES OR THIS AGREEMENT REGARDLESS OF CAUSE(S) OR THE THEORY OF LIABILITY, INCLUDING NEGLIGENCE, INDEMNITY, OR OTHER RECOVERY.

18. LITIGATION SUPPORT

In the event ENGINEER is required to respond to a subpoena, government inquiry or other legal process related to the services in connection with a legal or dispute resolution proceeding to which ENGINEER is not a party, CLIENT shall reimburse ENGINEER for reasonable costs in responding and compensate ENGINEER at its then standard rates for reasonable time incurred in gathering information and documents and attending depositions, hearings, and trial.

19. NO THIRD PARTY BENEFICIARIES

No third party beneficiaries are intended under this Agreement. In the event a reliance letter or certification is required under the scope of services, the parties agree to use a form that is mutually acceptable to both parties.

20. UTILITY LOCATION

If underground sampling/testing is to be performed, a local utility locating service shall be contacted to make arrangements for all utilities to determine the location of underground utilities. In addition, CLIENT shall notify ENGINEER of the presence and location of any underground utilities located on the CLIENT's property which are not the responsibility of private/public utilities. ENGINEER shall take reasonable precautions to avoid damaging underground utilities that are properly marked. The CLIENT agrees to waive any claim against ENGINEER and will indemnify and hold ENGINEER

harmless from any claim of liability, injury or loss caused by or allegedly caused by ENGINEER's damaging of underground utilities that are not properly marked or are not called to ENGINEER's attention prior to beginning the underground sampling/testing.

21. UNMANNED AERIAL SYSTEMS

If operating UAS, ENGINEER will obtain all permits or exemptions required by law to operate any UAS included in the services. ENGINEER's operators have completed the training, certifications and licensure as required by the applicable jurisdiction in which the UAS will be operated. CLIENT will obtain any necessary permissions for ENGINEER to operate over private property, and assist, as necessary, with all other necessary permissions for operations.

22. OPERATIONAL TECHNOLOGY SYSTEMS

CLIENT agrees that the effectiveness of operational technology systems ("OT Systems") and features designed, recommended or assessed by ENGINEER are dependent upon CLIENT's continued operation and maintenance of the OT Systems in accordance with all standards, best practices, laws, and regulations that govern the operation and maintenance of the OT Systems. CLIENT shall be solely responsible for operating and maintaining the OT System in accordance with applicable industry standards (i.e. ISA, NIST, etc.) and best practices, which generally include but are not limited to, cyber security policies and procedures, documentation and training requirements, continuous monitoring of assets for tampering and intrusion, periodic evaluation for asset vulnerabilities, implementation and update of appropriate technical, physical, and operational standards, and offline testing of all software/firmware patches/updates prior to placing updates into production. Additionally, CLIENT recognizes and agrees that OT Systems are subject to internal and external breach, compromise, and similar incidents. Security features designed, recommended or assessed by ENGINEER are intended to reduce the likelihood that OT Systems will be compromised by such incidents. However, ENGINEER does not guarantee that CLIENT's OT Systems are impenetrable and CLIENT agrees to waive any claims against ENGINEER resulting from any such incidents that relate to or affect CLIENT's OT Systems.

23. FORCE MAJEURE

ENGINEER shall not be responsible for delays caused by factors beyond ENGINEER's reasonable control, including but not limited to delays because of strikes, lockouts, work slowdowns or stoppages, government ordered industry shutdowns, power or server outages, acts of nature, widespread infectious disease outbreaks (including, but not limited to epidemics and pandemics), failure of any governmental or other regulatory authority to act in a timely manner, failure of the CLIENT to furnish timely information or approve or disapprove of ENGINEER's services or work product, or delays caused by faulty performance by the CLIENT's or by contractors of any level or any other events or circumstances not within the reasonable control of the party affected, whether similar or dissimilar to any of the foregoing. When such delays beyond ENGINEER's reasonable control occur, the CLIENT agrees that ENGINEER shall not be responsible for damages, nor shall ENGINEER be deemed in default of this Agreement, and the parties will negotiate an equitable adjustment to ENGINEER's schedule and/or compensation if impacted by the force majeure event or condition.

16g.
08/17/2021

CITY OF BELLEVUE, NEBRASKA
AGENDA ITEM COVER SHEET

tabied to 08/17/21
08/03/21

COUNCIL MEETING DATE: 07/06/2021		SUBMITTED BY: Administrator/Community Development Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Approval of the Agreement for additional funding to the Chamber for marketing as outlined in the Marketing Agreement on or about April 22, 2020.

SYNOPSIS/BACKGROUND:

The City Council previously approved funding in the amount of \$100,000 for rebranding and marketing in an Agreement with the Chamber of Commerce outlining the funding for the fiscal year 2020. In the Agreement any additional funding by the City to the Chamber for marketing as outlined in the Marketing Agreement shall be approved by the City Council by separate agreement. The City and the Chamber now desire to enter into a separate agreement for additional funding approval, in the amount of \$55,000.00.

FISCAL IMPACT: \$55,000	BUDGETED FUNDS?: No	GRANT/MATCHING FUNDS?: NO
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TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES	COUNTER-PARTY: Chamber	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION: Agreement between City of Bellevue and Chamber of Commerce		
CONTRACT EFFECTIVE DATE:	CONTRACT TERM: N/A	CONTRACT END DATE:
PROJECT NAME: Additional Funding Agreement for marketing and rebranding services with the Chamber		
START DATE:	END DATE:	PAYMENT DATE: 07/06/2021
		INSURANCE REQUIRED: No
CIP PROJECT NAME: N/A	CIP PROJECT NUMBER: N/A	
STREET DISTRICT NAME (S): N/A	STREET DISTRICT NUMBER (S): N/A	
ACCOUNTING DISTRIBUTION CODE: 23-CONT	ACCOUNT NUMBER: 6033	

RECOMMENDATION:

Recommendation to approve a separate agreement with Chamber of Commerce for additional funding for marketing and rebranding services, in an amount not to exceed \$55,000.00.

ATTACHMENTS:

- | | | |
|------------------------------------|----|----|
| 1. Agreement w/Exhibit A & Invoice | 2. | 3. |
| 4. | 5. | 6. |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:




AGREEMENT BETWEEN THE CITY OF BELLEVUE AND THE GREATER BELLEVUE AREA CHAMBER OF COMMERCE

This (the "Agreement") is between the City of Bellevue (hereinafter "the City") and the Greater Bellevue Area Chamber of Commerce (hereinafter "Chamber"). Collectively referred to as "the parties".

The Parties entered into a Marketing Agreement (Attached Exhibit "A") on or about April 22, 2020. Pursuant to the terms of the Marketing Agreement Section 3, any additional requests for funding by the City to the Chamber for marketing as outlined in the Marketing Agreement shall be approved by the Bellevue City Council by separate agreement. The parties now desire to enter into a separate agreement for additional funding approval.

The City and the Chamber understand that the City does not have a contractual relationship with OBI and this Agreement does not create any contractual relationship between OBI and the City.

1. COMPENSATION:

The Chamber has received an Invoice from OBI in the amount of \$86,000.00 for marketing initiatives as contemplated under the Marketing Agreement. The Chamber requests the City pay \$55,000.00 to the Chamber to help compensate and reimburse the Chamber for the same. (Exhibit "B"). In exchange for the services provided, the City agrees to pay the Chamber a one-time payment of FIFTY-FIVE THOUSAND DOLLARS and 00/100 (\$55,000.00) under this Agreement. Payment to the Chamber shall be due and owing upon the approval of this Agreement by the Bellevue City Council. This is a one-time payment and no other payments will be made without prior written approval by the Bellevue City Council. The parties further agree that the compensation under this paragraph to be paid to the Chamber will be used to pay or reimburse the Chamber for work completed by OBI. The parties also acknowledge and agree that in consideration of the Chamber receiving the compensation under this Agreement, the Chamber will continue to operate and function as the Greater Bellevue Area Chamber of Commerce and help complete the branding initiatives with the City.

2. GENERAL PROVISIONS:

The text herein shall constitute the entire agreement between the parties. This agreement may not be changed orally, but only by an agreement in writing, signed by the party against whom enforcement of any waiver, change, modification, extension, or discharge is sought. This agreement shall become effective commencing upon the date the Agreement is signed and executed by all parties. If any provisions, or any portion thereof, contained in this Agreement is held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected and shall remain in full force and effect.

3. APPLICABLE LAW:

This Agreement is made pursuant to and shall be governed, construed, and enforced in all respects and for all purposes in accordance with the laws of the State of Nebraska.

4. MAINTENANCE OF RECORDS:

The Chamber shall retain possession of any and all invoices it receives for services from OBI for a period of ten (10) years. If requested by the City to review said invoices, the Chamber shall make the invoices available for inspection upon request.

5. NOTICES:

Any and all notices under this Agreement shall be sent to the following:

Jim Ristow
City of Bellevue, City Administrator
1500 Wall Street
Bellevue, NE 68005

The Greater Bellevue Area Chamber of Commerce
1036 Bruin Blvd., Ste. 119
Bellevue, NE 68005

AGREEMENT/ACKNOWLEDGMENT

The parties hereto have caused this Agreement to be executed and do hereby warrant, represent, and agree that their respective signatories appearing below have been and are on the effective date of this Agreement duly authorized to sign, agree to, and bind the parties to the same.

CITY OF BELLEVUE:

Mayor, Rusty Hike

Date

ATTEST:

City Clerk

THE GREATER BELLEVUE AREA CHAMBER OF COMMERCE

~~President~~ _____
Executive President
Board
Amanda Glazebrook

6/14/2021

Date

**AGREEMENT BETWEEN THE CITY OF BELLEVUE AND THE GREATER
BELLEVUE AREA CHAMBER OF COMMERCE**

This Marketing Agreement (the "Agreement") is between the City of Bellevue (hereinafter "the City") and the Greater Bellevue Area Chamber of Commerce (hereinafter "Chamber"). Collectively referred to as "the parties".

The parties wish to enter into an agreement wherein the Chamber, through their separate Master Service Agreement with OBI Creative (hereinafter "OBI"), will rebrand and market the City and work on developing and maintaining economic vitality for the Bellevue community.

The City and the Chamber understand that the City does not have a contractual relationship with OBI and this Agreement does not create any contractual relationship between OBI and the City.

1. SERVICES:

The Chamber has contracted with OBI to provide marketing services related to the overall marketing plans directed by the Chamber. OBI and the Chamber will develop and enter into one or more Statements of Work which will incorporate a description of the specific services to be provided. The goal of the services is to rebrand and market the City of Bellevue and work on developing and maintaining economic vitality for the Bellevue community.

The Chamber, by working with OBI, will provide these services to the City.

2. COMPENSATION:

In exchange for services, the City agrees to pay the Chamber a one-time payment of ONE HUNDRED THOUSAND DOLLARS and 00/100 (\$100,000.00) under this Agreement. Payment to the Chamber shall be due and owing upon receiving an "Invoice" from the Chamber for said funds and shall be payable to the Chamber within fifteen-days after receipt of the Invoice. The City has not entered into any agreement to pay OBI directly for services but rather will pay the Chamber the compensation as outlined above. This payment shall be a one-time payment for the fiscal year 2020, regardless of any fees incurred by the Chamber to OBI.

3. TERM:

This Agreement will automatically expire on September 30, 2020. Any additional requests for funding will have to be approved by the Bellevue City Council by separate agreement.

4. GENERAL PROVISIONS:

The text herein shall constitute the entire agreement between the parties. This agreement may not be changed orally, but only by an agreement in writing, signed by the party against whom enforcement of any waiver, change, modification, extension, or discharge is sought. This agreement shall become effective commencing upon the date the Agreement is signed and executed by all parties. If any provisions, or any portion thereof, contained in this Agreement is held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected and shall remain in full force and effect.



5. APPLICABLE LAW:

This Agreement is made pursuant to and shall be governed, construed, and enforced in all respects and for all purposes in accordance with the laws of the State of Nebraska.

6. MAINTENANCE OF RECORDS:

The Chamber shall retain possession of any and all invoices it receives for services from OBI for a period of ten (10) years. If requested by the City to review said invoices, the Chamber shall make the invoices available for inspection upon request.

7. NOTICES:

Any and all notices under this Agreement shall be sent to the following:

Jim Ristow
City of Bellevue, City Administrator
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Bellevue, NE 68005

Kevin Hensel
The Greater Bellevue Area Chamber of Commerce
1036 Bruin Blvd., Ste. 119
Bellevue, NE 68005

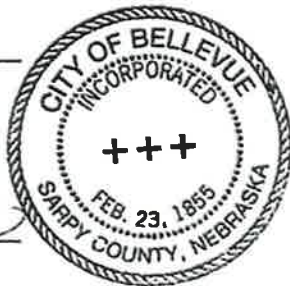
AGREEMENT/ACKNOWLEDGMENT

The parties hereto have caused this Agreement to be executed and do hereby warrant, represent, and agree that their respective signatories appearing below have been and are on the effective date of this Agreement duly authorized to sign, agree to, and bind the parties to the same.

CITY OF BELLEVUE:

Rusty Hike

Mayor, Rusty Hike



04.22.2020

Date

ATTEST:

Susan Kuehne

City Clerk

THE GREATER BELLEVUE AREA CHAMBER OF COMMERCE

Kevin Hensel

President, Kevin Hensel

4-20-2020

Date



Greater Bellevue Area Chamber of Commerce
 1036 Bruin Blvd.
 Suite 119
 Bellevue, NE 68005
 (402) 898-3000 | fax: (402) 291-8729
 Bellevue@bellevuenebraska.com

Invoice

Invoice Date: 6/10/2021
 Invoice Number: 3806

City of Bellevue
 Jim Ristow
 1500 Wall Street
 Bellevue, NE 68005

		Terms	Due Date
		Due on receipt	6/10/2021
Description	Quantity	Rate	Amount
Branding Initiative Phase 1 & 2 complete	1	\$55,000.00	\$55,000.00
Subtotal:			\$55,000.00
Tax:			\$0.00
Total:			\$55,000.00
Payment/Credit Applied:			\$0.00
Balance:			\$55,000.00

