

## Bellevue City Council Meeting +++Amended Agenda+++

Tuesday, August 3, 2021 6:00 PM

Bellevue City Hall

1500 Wall Street

Bellevue, NE 68005

### 1. PLEDGE OF ALLEGIANCE

2. INVOCATION - Fr. Tom Jones, Church of the Holy Spirit (Episcopal), 1305 Thomas Drive, Bellevue.

### 3. CALL TO ORDER AND ROLL CALL

4. OPEN MEETINGS ACT - Posted in the Entry to the Council Chambers

### 5. APPROVAL OF AGENDA, CONSENT AGENDA, CLAIMS, AND ADVISORY COMMITTEE REPORTS:

a. Approval of the Agenda

b. Approval of the Consent Agenda **(Items marked with an (\*) are approved where this item is, unless otherwise removed)**

1. (\*) Approval of the July 20, 2021 Board of Equalization Minutes.

2. (\*) Approval of the July 20, 2021 City Council Minutes.

### 6. (\*) APPROVAL OF CLAIMS.

### 7. SPECIAL PRESENTATIONS: NONE

### 8. ORGANIZATIONAL MATTERS:

a. (\*) Recommendation the appointment of Dave Compton to the Bellevue Planning Commission for a three-year, ending August 2024. (Mayor Hike)

### 9. APPROVED CITIZEN COMMUNICATION: NONE

### 10. LIQUOR LICENSES:

a. Recommend approval of application for Krystal M. Carter as the new Manager for Buck's LLC dba "Bucky's Express 33" at 3003 Samson Way, Bellevue. (City Clerk)

b. Recommend approval of application for Krystal M. Carter as the new Manager for Casey's Retail Company dba "Casey's General Store 2966 and Casey's Retail Store 3830" at 2104 Pratt Avenue and 7724 S. 22nd Street (respectively), Bellevue. (City Clerk)

c. Recommend approval of application for Luvimart LLC dba "Dinah Mart Chandler Road" for a Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only, at 2609 Chandler Road, Bellevue and for Noel Vargas as Manager. (City Clerk)

d. Recommend approval of application for A&K Sun Valley dba "Sundowner Bar" for a Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only, at 5031 Harrison Street, Bellevue and for Kimberly M. Bleca as Manager. (City Clerk)

### 11. ORDINANCES FOR ADOPTION (3rd reading):

a. Ordinance No. 4044: Request to rezone Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen's Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, Nebraska from BGH and BNH to BGH and RG-50 for the purpose of existing commercial and residential development. Applicant: Svendsen Real Estate, LLC. General Location: 3501 Harrison Street. (Planning Manager)

1. Request to preliminary plat Lots 1 through 5, Svendsen Acres Replat One.

2. Request to final plat Lots 1 through 5, Svendsen Acres Replat One.

3. Waiver of Section 6-4, Subdivision Regulations, regarding Street Design Standards.

b. Ordinance No. 4045: Request to rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest ¼ of Section 27, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG to RG-28-PS for the purpose of multi-family residential development. Applicant: Redwood USA, LLC. General Location: South 25th Street and Cornhusker Road. (Planning

Manager)

1. Request to preliminary plat Lot 1, Redwood 25.

2. Request to final plat Lot 1, Redwood 25.

12. ORDINANCES FOR PUBLIC HEARING (2nd reading): NONE

13. ORDINANCES FOR INTRODUCTION (1st reading):

a. Ordinance No. 4046: An ordinance a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS. Applicant: Freedom Village, LLC (Jolene Roberts). General Location: 1811 Hillcrest Drive. (Planning Manager)

b. Ordinance No. 4047: An ordinance to request the rezoning of Lots 1 and 2 Harold Square Replat One, being a replat of Lot 49, Harold Square from RG-50 to RG-20 and RG-50, for the purpose of a single-family residence and care facility for disabled adult. Applicant: Sharon Chaudhuri. General location: 8700 S. 25th Street. (Planning Manager)

c. Ordinance No. 4048: To amend Article 1, Chapter 28, of the Bellevue Municipal Code by amending 28-7 and adding a new Section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks. (Public Works Director)

d. Ordinance No: 4049: An ordinance to adopt the Annual Appropriations Bill. (Finance Director)

14. PUBLIC HEARING ON MATTERS OTHER THAN ORDINANCES:

a. Recommendation to approve Event Application for Premier Sport Village to host an Outdoor Family Festival with live music on Saturday, August 7, 2021 from 4:00 p.m. to 11:00 p.m, at 14405 Harlan Lewis Road. (City Clerk)

1. Recommend approval of a Special Fireworks Application for Subby Anzalone to provide a fireworks display for the Premier Sports Village Outdoor Family Festival on August 7, 2021, at approximately 10:00 p.m. for 10-12 minutes. (City Clerk)

b. **+++ Item Pulled** (Planning Manager)

15. RESOLUTIONS:

a. **+++ Item Pulled** (Planning Manager)

b. **+++ Item Pulled** (Planning Manager)

c. **+++ Item Pulled** (Planning Manager)

16. CURRENT BUSINESS:

a. Recommendation to approve a Special Fireworks Application for Bellino Fireworks to provide a special fireworks display for the Bellevue Rocks Riverfront Festival on 8/14/2021, sometime between 9:45 p.m. and 10:45 p.m., for no longer than 15 minutes. (City Clerk)

b. Recommendation to approve a separate Agreement with the Chamber of Commerce for additional funding for marketing and rebranding services, in an amount not to exceed \$55,000.00. (Administrator / Community Development Director) **{Chamber request two week extension - Motion to table till August 17th}**

c. Approve and authorize the Mayor to sign the documents to release the CDBG Housing Rehabilitation Deed of Trust for 832 Hidden Hill Drive, including the Deed of Reconveyance, in an amount not to exceed \$9,432.10. (Finance Director/CDBG Program Specialist)

d. Recommendation to approve the purchase of (18) new radar units from MPH Industries, in an amount not to exceed \$30,600.00. (Capt. Kurt Stroehler)

e. Approve & authorize the Mayor to sign the Memorandum of Understanding (MOU) with the Sarpy County Force Investigation Team. (Capt. Tim Melvin)

f. Approve and authorize the Mayor to sign the On-call Work Authorization with Paul Davis Systems of Omaha of Inc., not to exceed the budgeted amount of \$6,000.00 (if needed). (Public Works Director)

g. Approve and authorize the Mayor to sign the agreement with HDR Engineering, Inc. for the Sarpy Wastewater Agency Connection Study Project, in an amount not to exceed \$73,900.00. (Public Works Director)

h. Approve and authorize the Mayor to sign the agreement with HGM Associates Inc. for the

Public Works Facility Master Plan Project, in an amount not to exceed \$31,400.00. (Public Works Director)

i. Approve and authorize the Mayor to sign the agreement with Jacobs Engineering Group Inc for the Storm Drainage Projects, in an amount not to exceed \$321,823.00. (Public Works Director)

j. Recommendation to approve a Special Fireworks Application for Midwest Fireworks to provide a special fireworks display for the Bellevue East High School Homecoming on September 10, 2021 (Rain date September 11, 2021), 1401 High School Drive at 10:00 p.m. (City Clerk)

k. Recommend approval to purchase and install a new gazebo for Washington Park from Creative Sites, LLC and to use the funds from the Parks Fund for the expenditures, in an amount not to exceed \$69,836.00 and to authorize the Mayor to sign. (Public Works Director)

17. ADMINISTRATION REPORTS: Comments must be limited to items on the current Reports **(Monthly reports are given at the first Council Meeting of each month - July report is attached)**

18. CLOSED SESSION: NONE

19. ADJOURNMENT

# MINUTE RECORD

Bellevue Board of Equalization, July 20, 2021 Page 1

A meeting of the Mayor and Council of the City of Bellevue, sitting as the Board of Equalization, was called to order by Mayor Rusty Hike at the Bellevue City Hall at 5:30 p.m. on the 20th day of July, 2021. Present were Council Members Bob Stinson, Paul Cook, Jerry McCaw, Don Preister, Thomas Burns, and Kathy Welch; Absent: None.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide, "Daily Record" and posting in two public places, the designated method for giving notice and was also given to the Mayor and all members of the City Council. A copy of the affidavit of publication, the certificate of posting, and the council's acknowledgment of receipt of notice are hereby attached to these minutes. All proceedings shown hereafter were taken while the convened meeting was open to the public.

## Open Meetings Act

Mayor Rusty Hike announced that a copy of the Open Meetings Act is posted in the entry to the City Council Chambers.

## Approval of the Agenda

Motion was made by Burns, seconded by Welch to approve the agenda.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; Absent: None.

## Public hearing to consider the levy of liens for non-payment of costs associated with the mowing, trimming, removal of debris, branches & rubbish and/or general clean-up of properties within the City of Bellevue, identified in the attachment and in Resolution BOE No. 2021-0720-01.

Mayor Hike opened the meeting for public hearing to give opportunity for individuals to speak in favor of or in opposition to the proposed liens.

Mr. Anthony Gies, 103 Gregg Place, was present to address the Council on his charge from Code Enforcement for mowing services. He stated, in May, he had let his yard get away from him and received a code violation for mowing and cleaning his property. Mr. Gies stated he then hired a contractor to mow his yard. He stated he was confused why Code Enforcement had a crew come out and mowed the entire property again, after it was already mowed by his contractor. Bree Robbins, City Attorney, asked Mr. Gies if he had pictures after his contractor mowed it and before the city was there to mow it. Council President Cook asked Mr. Gies if he was present when it was mowed by the contractor and if he called Code Enforcement that he had his yard mowed. Mr. Gies stated he was not there when it was mowed and he didn't think he was required to call Code Enforcement.

Mr. Matt Gregurich, Code Enforcement Inspector, stated he was the inspector on this violation and on the day when the city went on the property to mow. He gave a detailed timeline, along with procedures Code Enforcement follows when a violation is given, from the day the violation was given until the day the city went in and had the property mowed.

Further discussion ensued.

Mr. Joey Bockman, Code Enforcement Supervisor, stated after he reviewed this file, the staff did everything they could to try to make contact with Mr. Gies. Mr. Bockman also commented that since this job was not completed per the violation, staff had no other choice than to proceed with mowing the property.

With no one else coming forward to speak, Mayor Hike declared the public hearing closed.

## Resolution BOE No. 2021-07-20-01: Levying of liens for non-payment of costs associated with the mowing, trimming, removal of debris, branched & rubbish, and/or general clean-up efforts on the identified properties within the City of Bellevue.

Motion was made by Cook, seconded by Preister, to approve BOE Resolution No. 2021-07-20-01: Levying of liens for non-payment of costs associated with the mowing, trimming, removal of, debris, branches & rubbish, and/or general clean-up efforts on the identified properties within the City of Bellevue.

Motion was made by Cook, seconded by Preister to amend BOE Resolution No. 2021-07-20-01 by removing property of 2002 Whitted Drive for Robert F. Yazowski c/o Trustee Revocable Family Trust, Parcel #010372342, due to it being paid in full. Roll call vote on amendment was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; Absent: None. Motion carried

Roll call vote on original motion, as amended, was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; Absent: None. Motion carried.

# MINUTE RECORD

Bellevue Board of Equalization, July 20, 2021 Page 2

## **Adjournment**

There being no further business to bring before the Board, on motion made by Preister, seconded by Welch, at 5:34 p.m., the meeting adjourned.

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Susan Kluthe, City Clerk

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Rusty Hike, Mayor

I, the undersigned, City Clerk of the City of Bellevue, Nebraska, hereby certify that the foregoing is a true and correct copy of proceedings had and done by the Mayor and Council on July 20, 2021; that all of the subjects included in the foregoing proceedings were contained in the agenda for the meeting, kept continually current and readily available for public inspection at the office of the City Clerk; that such subjects were contained in said agendas for at least twenty-four hours prior to said meeting; that at least one copy of all reproducible material discussed at the meeting was available at the meeting for examination and copying by members of the public; that the said minutes were in written form and available for public inspection within ten working days and prior to the next convened meeting of said body; that all news media requesting notification concerning meetings of said body were provided advance notification of the time and place of said meeting and the subjects to be discussed at said meeting.

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Susan Kluthe, City Clerk

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 1

A regular meeting of the Mayor and Council of the City of Bellevue was called to order by Mayor Rusty Hike at the Bellevue City Hall on the 20<sup>th</sup> of July 2021, at 6:00 p.m. Present were Council Members Bob Stinson, Paul Cook, Jerry McCaw, Don Preister, Thomas Burns, and Kathy Welch.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide, "Daily Record" and posting in two public places, the designated method for giving notice and was also given to the Mayor and all members of the City Council. A copy of the affidavit of publication, the certificate of posting, and the council's acknowledgment of receipt of notice are hereby attached to these minutes. All proceedings shown hereafter were taken while the convened meeting was open to the public.

## PLEDGE OF ALLEGIANCE AND INVOCATION

Mayor Hike led the Pledge of Allegiance. Pastor Steve Holdaway, LifeSpring Church, 13904 South 36<sup>th</sup> Street, gave the invocation.

## OPEN MEETINGS ACT

Mayor Hike announced a copy of the Open Meetings Act is posted by the entry in the City Council Chambers.

## APPROVAL OF THE AGENDA:

**Motion** was made by Stinson, seconded by Burns, to approve the agenda.

Roll call to approve the agenda was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

## APPROVAL OF THE CONSENT AGENDA:

**Motion** was made by Cook, seconded by Burns, to approve the consent agenda consisting of the following items: Approval July 6, 2021 City Council Minutes; Approval of Claims; Recommend reappointment of Sue Cutsforth and Rich Casey to the Bellevue Planning Commission for a three-year term, ending August 2024; Recommend to approve changes of City Council Members serving on Task Forces and Committees, as noted and provided on the memorandum; and Recommend reappointment of Doug Hill, Ralph Gladbach, Steve Knutson, and Steve Johnson to the Design Review Board for a three-year term, ending August 2024.

Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

## SPECIAL PRESENTATIONS: None

## ORGANIZATIONAL MATTERS: Consent Items

## APPROVED CITIZEN COMMUNICATION: None

## LIQUOR LICENSES: None

## ORDINANCES FOR ADOPTION (Third Reading):

**Ordinance No. 4040: Request to rezone Lot 1, 370 Square Replat Six, being a replat of Lots 1 and 2, 370 Square Replat IV, from BG to RG-8-PS for the purpose of multi-family residential development. Applicant: Sage Capital, LLC. General Location: 36th Street and Lexington Avenue and the Request of a Small Subdivision Plat for Lot 1, 370 Square Replat Six, being a Replat of Lots 1 and 2, 370 Square Replat IV. (Planning Manager)**

Ordinance No. 4040: An Ordinance to amend the official zoning map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about 36<sup>th</sup> Street and Lexington Avenue, more particularly described in Section 1 of the Ordinance was read by title only for the third and final time.

**Motion** was made by Cook, seconded by Welch, to approve Ordinance No. 4040. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

## **Request to small subdivision plat for Lot 1, 370 Square Replat Six, being a Replat of Lots 1 and 2, 370 Square Replat IV.**

**Motion** was made by Cook, seconded by Welch, to small subdivision plat for Lot 1, 370 Square Replat Six, being a Replat of Lots 1 and 2, 370 Square Replat IV. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 2

**Ordinance No. 4041: To make unlawful and set a penalty for those charged with violation of city ordinance, been issued a citation and who fail to appear or refuse to appear in Court and give the City Attorney an avenue to obtain a warrant for defendants who continuously or repeatedly fail or refuse to appear in Court. (Legal Department)**

Ordinance No. 4041: An Ordinance to amend Article I, Chapter 20, of the Bellevue Municipal Code by adding a new Section 20-15 regarding failure to appear and to provide an effective date was read for the third and final time.

**Motion** was made by Stinson, seconded by Welch, to approve Ordinance No. 4041. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

**Ordinance No. 4042: An ordinance to amend Chapter 7 of the Bellevue Municipal Code pertaining to bicycles. (Police Department)**

Ordinance No. 4042: An ordinance to amend Chapter 7 pertaining to bicycles by amending Article I Section 7-2 and repealing Article I Section 7-1 and Section 7-11 and Article II in its entirety and to provide for the effective date of this ordinance was read for the third and final time.

**Motion** was made by Stinson, seconded by Cook, to approve Ordinance No. 4042. Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

## **ORDINANCES FOR PUBLIC HEARING (Second Reading):**

**Ordinance No. 4044: Request to rezone Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen's Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, Nebraska from BGH and BNH to BGH and RG-50 for the purpose of existing commercial and residential development. Applicant: Svendsen Real Estate, LLC. General Location: 3501 Harrison Street. (Planning Manager)**

**Ordinance No. 4044:** An ordinance to amend the official Zoning Map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about 3501 Harrison Street, more particularly described in Section 1 of the ordinance and to provide an effective date was read for the second time and held for public hearing.

**Request to preliminary plat Lots 1 through 5, Svendsen Acres Replat One. (No Action Required)**

**Request to final plat Lots 1 through 5, Svendsen Acres Replat One. (No Action Required)**

**Waiver of Section 6-4, Subdivision Regulations, regarding Street Design Standards. (No Action Required)**

Mayor Hike opened the meeting to a public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

Mr. Patrick Sullivan, 1246 Golden Gate Drive, Papillion, was present on behalf of the applicant. He commented this is a simple application and does not imagine much controversy. He explained when city code changed, it made the property nonconforming. The purpose for the request is to bring the property back into conformance.

No one else in the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Mayor Hike stated the third and final reading of the ordinance will be heard at the Council meeting on August 3, 2021.

**Ordinance No. 4045: Request to rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest ¼ of Section 27, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG to RG-28-PS for the purpose of multi-family residential development. Applicant: Redwood USA, LLC. General Location: South 25th Street and Cornhusker Road. (Planning Manager)**

Ordinance No. 4045: An ordinance to amend the official Zoning Map of the City of Bellevue, Nebraska, as provided for by Article 3 of Ordinance No. 3619 by changing the zone classification of land located at or about South 25<sup>th</sup> Street and Cornhusker Road, more particularly described in Section 1 of the ordinance and to provide an effective date was read for the second time and public hearing was held.

**Request to preliminary plat Lot 1, Redwood 25. (No Action Required)**

**Request to final plat Lot 1, Redwood 25. (No Action Required)**

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 3

Mayor Hike opened the meeting to a public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

Mr. Paul DeKruiff, 7007 East Pleasant Valley Road, Independence, Ohio, was present on behalf of Redwood USA, LLC. He provided a brief history of Redwood, along with a presentation. The presentation outlined the company's core values, site specifications, landscaping plans, map of the southeast cross section, and traffic analysis data for other properties owned by Redwood. Interior pictures were also included, along with the square footage of the units. Mr. DeKruiff mentioned a maintenance professional and a manager will live on site. Maintenance provided will include snow removal, mowing, and landscape maintenance. He advised credit and background checks are done on those over 18 years of age. The residents are generally empty nesters and young professionals. The rent will start out around \$1700 for the smallest unit.

Mayor Hike questioned if Redwood has ever sold any of their developments. Mr. DeKruiff replied no, they never have.

Councilwoman Welch inquired if Redwood has ever built in Omaha. Mr. DeKruiff responded no. Councilwoman Welch questioned why they choose Bellevue. Mr. DeKruiff explained the company looks at their demographic and portfolio. They then look at neighborhoods and locations to match.

Councilwoman Welch requested clarification who maintains the maintenance on the streets, including snow removal. Mr. DeKruiff replied Redwood does.

Councilwoman Welch questioned if any of the units are handicap accessible. Mr. DeKruiff commented they all are.

Council President Cook stated Mr. DeKruiff mentioned on 15 acres the zoning would allow 400 units to be built. Mr. DeKruiff explained the current comp plan allows the max density of 15.5 or 400 units. Cook clarified the project is 131 units. Mr. DeKruiff responded yes.

Council President Cook inquired if the green space around the area will be maintained. Mr. DeKruiff advised all the open space on the site is maintained by Redwood. Conversation ensued.

Council President Cook questioned if there is parking on the street. Mr. DeKruiff stated there is not. Each unit has four parking spaces and there is guest parking provided.

Councilman Stinson referred to the retaining wall on the south side between Willow Springs and the proposed development. He inquired if there will be any fencing to also separate the development from Willow Springs. Mr. DeKruiff explained there is no plan for fencing to separate the two. He explained the retaining wall is ten feet tall. Conversation ensued on the retaining walls and extensive landscaping.

Councilwoman Welch questioned if Redwood has ever built in a military community. Mr. DeKruiff mentioned they have one development built in Dayton, Ohio.

Mr. Denis Neal, 10517 South 25<sup>th</sup> Street, mentioned he owns two acres located at the southwest corner of the development. He is concerned with what type of border will be in this location. His other concern is with a 100-year-old walnut tree on his property. The limbs hang over the proposed property. He inquired if anything would happen to the tree or if he is responsible for removing the limbs since his tree stretches over the proposed development. Mr. DeKruiff explained all the buffering is landscape buffering and there is a retaining wall in the location. In reference to the walnut tree, he would not need to remove his tree or trim the limbs.

Mr. Kenny Spahn, 2312 Willow Circle, questioned if the existing trees on the land will be removed for the development. He questioned if the entrance from 25<sup>th</sup> Street into the development will be a hill. Traffic now goes to Lewis and Clark Road in the winter because it is a steep hill. Mr. DeKruiff explained the existing trees would be removed. In regard to the entrance, there is grade there. The streets are posted with 25 MPH and someone would have to traverse through the development.

Ms. Diana Gordon, 1605 Ridgeview Drive, stated her mother and uncle are owners of the land. She advised she is speaking on behalf of both of them; and they are both in favor of the development.

No one else in the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

Council President Cook questioned if the exit going onto 25<sup>th</sup> Street will only be one lane in, one lane out. Mrs. Tammi Palm, Planning Manager, commented it will be two lanes. Mr. Cook questioned when coming up 25<sup>th</sup> Street if there will be a turn lane to turn into this development. Mrs. Palm stated no improvements are required at this time. Mr. Cook clarified that is because of the number of proposed units. Mrs. Palm replied correct.

Councilman President Cook mentioned an email was received regarding the connection to Jamestown. Mrs. Palms stated this was reviewed. Per the Subdivision Regulations, dead end streets are not allowed. The city requires the connection to Jamestown. She advised the developer did get creative with the street design. The layout was designed to make it very difficult for cut through traffic.

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 4

There is no straight north, south, east, west street. You would need to wind through the entire development. As the applicant pointed out it is 25 MPH and a private residential street. She feels a lot of people would not want to cut through, as it will not be advantageous to them. Conversation ensued.

Councilman President Cook mentioned in the staff report Mrs. Palm refers to a proposed Wolf Creek Road. He stated the right-of-way already exist because of the telephone poles. Mrs. Palm explained it is not a right-of-way but an easement which already exist. She stated when the application was received, the Administration and Public Works Department was looking at a solution for the congestion on 21<sup>st</sup> and Pratt Avenue. When the City's engineers reviewed the application, they thought this may be the answer. They could have the applicant dedicate right-of-way and then look at a potential future connection. The city went to applicant to inquire if they would be conducive to dedicating the right-of-way on the plat. This would facilitate connection in the future. The developer is willing to do that for the city. This is still in the preliminary stages of what this will look like. There are high voltage power lines in the area. Staff is work with OPPD and Lamp Rynearson, the applicant's engineer, to see what the potential street connection and profile would look like in the future. This would provide a connection near Menards at South 21<sup>st</sup> Street all the way to South 25<sup>th</sup> Street. It would also connect to South 23<sup>rd</sup> Street that goes along DJ's Dugout. Therefore, the city is not proposing any connections from the private street to the north. This will help prevent cut through traffic and the issues Willow Springs currently has. Mr. Cook confirmed the developer is willing to dedicate right-of-way. Mrs. Palm replied yes. If this plat is approved, the plat would be recorded with the right-of-way dedication. Mr. Cook questioned if a road could be built there without moving the poles. Mrs. Palm stated potentially. She explained discussion is taking place with OPPD.

Councilman Preister Cook inquired how many cars can park in the driveway. Mrs. Palm stated four total, two cars in garage and two in the driveway.

Mayor Hike inquired since this is a private subdivision, will there be private drive signs or trespassing signs. Mrs. Palm explained there are private street which will be maintained by the developer. This doesn't mean it's a gated community or that traffic can't go into the area.

Mayor Hike stated the third and final reading of the ordinance will be heard at the Council meeting on August 3, 2021.

**ORDINANCES FOR INTRODUCTION: (First Reading): None**

**PUBLIC HEARINGS ON MATTERS OTHER THAN ORDINANCES:**

**Public hearing to obtain citizen input on the CDBG 2021 Action Plan with proposed funding recommendations. (Finance Director/CDBG Program Specialist)**

Mayor Hike opened the meeting for public hearing to give opportunity for individuals to speak in favor of or in opposition to the ordinance.

No one from the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

**Approve and authorize Mayor to sign the 2021 Action Plan including Resolution 2021-25: Authorizing Mayor to submit the 2021 Action Plan for the October 2021 - September 2022 Program Year; SF-424/424D; and Entitlement Certifications.**

**Motion** was made by Welch, seconded by Burns, to approve and authorize Mayor to sign the 2021 Action Plan including Resolution 2021-25: Authorizing Mayor to submit the 2021 Action Plan for the October 2021 - September 2022 Program Year; SF-424/424D; and Entitlement Certifications.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

**RESOLUTIONS:** None

**CURRENT BUSINESS:**

**Approve and authorize the Mayor to sign the Interlocal Agreement with the City of Omaha with Bellevue's cost in an amount not to exceed \$154,715.00, plus a 10% contingency of \$15,471.50, for a total project cost in an amount not to exceed \$170,186.50, for the Harrison Street, 26th to 48th St., Overlay Project. (Public Works Director)**

**Motion** was made by Stinson, seconded by Burns, to approve and authorize the Mayor to sign the Interlocal Agreement with the City of Omaha with Bellevue's cost in an amount not to exceed \$154,715.00, plus a 10% contingency of \$15,471.50, for a total project cost in an amount not to exceed \$170,186.50, for the Harrison Street, 26th to 48th St., Overlay Project.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 5

**Approve and authorize the Mayor to sign the Franchise Agreement Addendum to original agreement with Waste Connections of Nebraska, Inc. dba "Papillion Sanitation" for the collection, transfer, and delivery of residential solid waste, recyclable materials, and yard waste. (Public Works Director/Wastewater & Solid Waste Superintendent)**

**Motion** was made by Stinson, seconded by Burns, to approve and authorize the Mayor to sign the Franchise Agreement Addendum to original agreement with Waste Connections of Nebraska, Inc. dba "Papillion Sanitation" for the collection, transfer, and delivery of residential solid waste, recyclable materials, and yard waste.

**Motion** was made by Preister, seconded by Burns, to amend by striking in Article 17 the two spaces where it reads "starting with and Nebraskaland Recycling located at 3900 D Street in Omaha, Nebraska 68107".

Ms. Bree Robbins, City Attorney, clarified with Mr. Preister if his intention is to remove Nebraskaland Recycling as an approved processor. Mr. Preister replied yes. Ms. Robbins suggested the motion should be to strike the amendment in Article 17 entirely. Preister agreed to pull his motion to amend above and clarify with another motion, Burns agreed to pull his second.

**Motion** was made by Preister, seconded by Burns, to amend by striking Article 17.

Ms. Robbins explained in the first addendum with the proposed amendment this would strike Nebraskaland from the contract but Firststar Recycling remains.

Councilman Preister explained all the concerns he has with Nebraskaland.

Council President Cook questioned why two companies were brought forward in this contract.

Mrs. Epiphany Ramos, Wastewater and Solid Waste Superintendent, explained when the contract was created there was only one large company with an established facility. Time progressed, competitive markets ensued, and recycling cost continued to increase. That being said, the competitive market created a facility that is capable to support and handle the hauler for the city. They are completely capable of meeting the requirements outlined in the contract.

**Motion** made by Cook, seconded by Welch, to open this item for public hearing.

Roll call vote on the motion to open for public hearing was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

Council President Cook inquired how long Nebraskaland Recycling has been in business and how long the facility has been located on D Street.

Mr. Neland Brown, Nebraskaland Recycling located at 3900 D Street in Omaha, stated the company has been in business for a little over five years. The facility has been located at the D Street for four and a half years.

Council President Cook questioned how the company handles complaints and how they are proactive. Mr. Brown explained three to four employees are sent out at different times to clean the streets. He has personally provided his cell number to neighbors to text him if there is an issue.

Council President Cook inquired what the hours of operation are. Mr. Brown stated bailing is from 6:00 a.m. to 10:30 p.m., there are two shifts.

Council President Cook initiated conversation on the operation of bailing. Mr. Brown explained the process. Discussion followed.

Councilman Preister questioned what the tipping fee charge is to Papillion Sanitation. Mr. Brown stated it is currently \$75 a ton.

Councilman Preister inquired if Nebraskaland collects orange energy bags. Mr. Brown advised they just started 6-7 months ago when Hefty contacted them. Discussion followed.

Councilman Preister questioned if Nebraskaland plans on extending to a larger space in the future. Mr. Brown stated the current lease is up in March, they are considering other options.

Councilwoman Welch questioned by approving the contract, will it give Papillion Sanitation permission to use either location. Mrs. Ramos stated correct. Conversation ensued.

Councilman Preister initiated conversation on the Master Fee Schedule and rates. Discussion took place.

Discussion took place on educating the public regarding the recycling program.

No one else from the audience came forth to speak in support of or in opposition to the application. Mayor Hike declared the public hearing closed.

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 6

Mayor Hike commented he feels it is fundamentally wrong to eliminate the competition.

Roll call vote to approve the amendment, which strikes Article 17, was as follows: Preister and Burns voting yes; Stinson, Cook, McCaw, and Welch voting no; absent: none. Motion failed.

Roll call vote on the original motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

**Resolution No. 2021-20: Approval to amend the Master Fee Schedule to set the solid waste collection, recycling and yard waste fees for the Solid Waste Contract and to add fees for street/alley vacation. (Public Works Director/Wastewater & Solid Waste Superintendent)**

**Motion** was made by Preister, seconded by Burns, to approve Resolution No. 2021-20: Approval to amend the Master Fee Schedule to set the solid waste collection, recycling, and yard waste fees for the Solid Waste Contract and to add fees for street/alley vacation.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

**Approve and authorize the Mayor to sign the agreement with Alfred Benesch & Company for professional engineering services for Capehart Road Improvements, 27th to 36th Street Project, in an amount not to exceed \$91,556.00. (Public Works Director)**

**Motion** was made by Cook, seconded by Welch, to approve and authorize the Mayor to sign the agreement with Alfred Benesch & Company for professional engineering services for Capehart Road Improvements, 27th to 36th Street Project, in an amount not to exceed \$91,556.00.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

**Approve and authorize Mayor to sign agreement with Alfred Benesch & Co. for professional services for Schilling Drive from 9th Street to 13th Street, Bridge Removal, in an amount not to exceed \$21,130.00. (Public Works Director)**

**Motion** was made by Welch, seconded by Cook, to approve and authorize Mayor to sign agreement with Alfred Benesch & Co. for professional services for Schilling Drive from 9th Street to 13th Street, Bridge Removal, in an amount not to exceed \$21,130.00.

Council President Cook expressed removing a bridge over railroad tracks. He questioned if there will be issues, down the road with the railroad, if a new bridge were to be built. Mr. Jim Ristow, City Administrator, commented he does not anticipate there will be a problem. Conversation ensued.

Roll call vote on the motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

**ADMINISTRATION REPORTS:** Comments must be limited to items on the current Reports. (Monthly reports are given at the first Council Meeting of each month – July report will be attached to the August 3<sup>rd</sup> Council Packet.

## **CLOSED SESSION:** **Litigation Update**

**Motion** was made by Cook, seconded by Preister, for the City Council to go into Closed Session at this time for prevention of needless injury to the reputation of individuals involved in this matter. The subject matter to be discussed in Closed Session are confidential litigation updates. The following individuals to be included during some and all of the Closed Session are: Mayor Rusty Hike, Jim Ristow, Mark Elbert, Bob Stinson, Paul Cook, Don Preister, Thomas Burns, Kathy Welch, Jerry McCaw, Bree Robbins, Annie Mathews, Susan Kluthe, Jani Jennings, Darryl Kuhlman, Ken Clary, and Perry Guido.

Roll call vote on motion to go into Closed Session was follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Mayor Hike stated it was 7:49 p.m. and the Council is now in Closed Session in the Council Chambers.

**Motion** was made by Cook, seconded by Burns, to come out of Closed Session and to reconvene back into Open Session at 8:50 p.m.

Roll call vote on motion to come out of Closed Session and to reconvene back into Open Session was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none. Motion carried.

Mayor Hike stated it is now 8:50 p.m. and the City Council is reconvened back into Open Session.

# MINUTE RECORD

Bellevue City Council Meeting, July 20, 2021, Page 7

## ADJOURNMENT:

There being no further business to come before the Council at this time, on motion by Welch, seconded by Cook, the meeting was adjourned at 8:51 p.m.

Roll call vote on motion to approve was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; Absent: none. Motion carried.

\_\_\_\_\_  
Susan Kluthe, City Clerk

\_\_\_\_\_  
Rusty Hike, Mayor

I, the undersigned, City Clerk of the City of Bellevue, Nebraska, hereby certify that the foregoing is a true and correct copy of proceedings had and done by the Mayor and Council on July 20, 2021; that all of the subjects included in the foregoing proceedings were contained in the agenda for the meeting, kept continually current and readily available for public inspection at the office of the City Clerk; that such subjects were contained in said agendas for at least twenty-four hours prior to said meeting; that at least one copy of all reproducible material discussed at the meeting was available at the meeting for examination and copying by members of the public; that the said minutes were in written form and available for public inspection within ten working days and prior to the next convened meeting of said body; that all news media requesting notification concerning meetings of said body were provided advance notification of the time and place of said meeting and the subjects to be discussed at said meeting.

\_\_\_\_\_  
Susan Kluthe, City Clerk

# MINUTE RECORD

## CLAIMS FOR AUGUST 3, 2021

PAGE 1

### MAYOR

U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	52.92
		<u>\$ 52.92</u>

### CITY ADMINISTRATOR

BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	129.74
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	181.93
		<u>\$ 311.67</u>

### LEGAL

ERICKSON & SEDERSTROM, PC	LEGAL FEES	3,026.00
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	90.85
		<u>\$ 3,116.85</u>

### CABLE ADVISORY

BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	110.28
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	49.92
		<u>\$ 160.20</u>

### CITY CLERK

AMAZON.COM, LLC	BINDERS, INDEX DIVIDERS	71.13
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	97.30
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	70.76
GRETNA GUIDE & NEWS	LEGAL ADS	612.55
INDOFF	OFFICE SUPPLIES	20.73
SARPY CO REGISTER OF DEEDS	CERTIFIED COPY	88.00
		<u>\$ 960.47</u>

### FINANCE/RISK MANAGEMENT

AMAZON.COM, LLC	OFFICE SUPPLIES, BANK BAGS	129.68
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	168.66
CAPITAL BUSINESS SYSTEMS, INC	PRINTER EXPENSE	13.86
INDOFF	OFFICE SUPPLIES	42.35
QUADIENT FINANCE USA, INC	POSTAGE REFILLS	3,000.00
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	54.96
		<u>\$ 3,409.51</u>

### LIBRARY

AMAZON.COM, LLC	PROGRAM SUPPLIES, VIDEOS, FACE MASKS, BANK BAGS, SCALE, OFFICE SUPPLIES, BOOKS, AIR PURIFIER	1,826.70
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	30.76
CENTER POINT LARGE PRINT	LARGE PRINT BOOKS	85.08
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	107.39
DEMCO	SUPPLIES	289.67
INGRAM LIBRARY SERVICES	BOOKS	1,617.53
KAPCO	BOOK COVERS	298.85
MENARDS	PLAY SAND	5.98
THE LIBRARY STORE	CLASSIFICATION LABELS	16.24
		<u>\$ 4,278.20</u>

### ADMINISTRATIVE SERVICES

BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	142.71
INTEGRATED REHAB	PHYSICAL TESTING	345.00
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	82.26
UPS	MAILING CHARGES	23.65
		<u>\$ 593.62</u>

# MINUTE RECORD

CLAIMS FOR AUGUST 3, 2021

PAGE 2

## CODE ENFORCEMENT

BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	2.78
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	49.59
GREAT PLAINS UNIFORMS	BALLISTIC VEST-C DAVIDSON	740.00
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/04-2021/07/06	13.78
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/10-2021/07/12	152.13
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	78.06
WATCHGUARD VIDEO	WATCHGUARD VIDEO SYSTEM	9,488.00
		<u>\$ 10,524.34</u>

## PUBLIC WORKS

ALFRED BENESCH & COMPANY	PROF SVC 2021/06/07-2021/07/04	659.00
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	4.69
ENVIRONMENTAL SYSTEMS RESEARCH	YEARLY MAINTENANCE	8,100.00
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/04-2021/07/06	23.14
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/10-2021/07/12	254.40
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	318.13
		<u>\$ 9,359.36</u>

## PARKS

ALEX MARSHALL	REIMB FOR CDL LICENSE	63.50
ALEXANDER LAWN & LANDSCAPE, INC	ROW MOWING-CYCLE 6	9,521.90
A-RELIEF SERVICES	PORTABLE RESTROOMS-CITY PARKS	654.00
BEST CUT LAWN CARE	MOWING-FOX RIDGE-HEARTLAND HILLS-JUN	4,590.33
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	30.76
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	9.43
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	214.78
CROW LAWN CARE LLC	CODE ENFORCEMENT MOWING	5,050.00
DULTMEIER SALES LLC	CADDY SYSTEM, METER	1,882.00
HGM ASSOCIATES INC	PROGRESS BILLING AHP-THRU 2021/06/30	8,742.31
J & J SMALL ENGINE SERVICE	TRIMMER LINE	19.40
MENARDS	POTHOLE PATCH, BOX FAN	131.60
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/05-2021/07/06	9,132.14
PAPILLION SANITATION	CODE DUMPSTER	312.93
PRECISE MRM LLC	DATA PLAN	200.00
SIGNIT	NO FIREWORKS SIGNS FOR PARKS	318.75
SITEONE LANDSCAPE SUPPLY	TALL FESCUE SEEDS, SEEDER	7,690.77
THOMPSON DREESSEN & DORNER	PROF SVC-LOOKINGGLASS HGTS-TO 2021/06/27	6,125.00
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	143.68
ULINE	GALVANIZED BIKE RACK	526.38
WALKERS UNIFORM RENTAL	UNIFORM SERVICE	13.42
WESTLAKE ACE HARDWARE	MARKING PAINT	7.99
		<u>\$ 55,381.07</u>

## RECREATION

ALISH OLSON	REFUND POOL PARTY DEPOSIT	100.00
AMAZON.COM, LLC	ATHLETIC EQUIPMENT	18.96
AMERICAN FOODS GROUP	CONCESSION SUPPLIES	190.00
BRIAN STEPHAN	REFUND FOR ARTS CRAFT & PAINTING	375.00
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	57.07
CAROL KIRKPATRICK	REFUND POOL PARTY DEPOSIT	100.00
CASSANDRA LUTTKUS	REFUND SWIMMING LESSONS	35.00
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	88.39
DANIELLE GREVE	REFUND POOL RENTAL DEPOSIT	75.00
JOLENE GUBALKE	REFUND WEDDING DEPOSIT	375.00
JOSE FELIX	REFUND WEDDING DEPOSIT	375.00
MELISSA HEREDIA	REFUND POOL PARTY DEPOSIT	100.00
SAVE PROGRAM	REFUND SWIMMING LESSONS-N SMITH	17.50
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	65.03
WESTLAKE ACE HARDWARE	SUPPLIES, TOP GRAIN GOATSKIN, TRIMMER LINE	136.93
		<u>\$ 2,108.88</u>

# MINUTE RECORD

CLAIMS FOR AUGUST 3, 2021

PAGE 3

## BUILDING MAINTENANCE

AQUA-CHEM	CHEMICALS FOR POOLS	1,744.35
BIG RED LOCKSMITHS	CHANGED COMBINATION, DUPL KEYS	122.50
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	408.03
CARPENTER PAPER CO	JANITORIAL SUPPLIES	456.01
ECHO GROUP, INC	WALL SENSOR	100.06
FIRE PROTECTION SERVICES, LLC	ANNUAL FIRE EXTINGUISHER INSPECTION	188.00
HILLYARD DES MOINES	JANITORIAL SUPPLIES	150.18
JACKSON SERVICES, INC	DOOR MAT SERVICE	108.39
MENARDS - RALSTON	TRAK MOUNT BRACKET, SCREWS	31.52
MENARDS	DRILL PT, HOSE, NOZZLE, SCREWS, CABLE, POTTING MIX, PLANTS, SUPPLIES, TANK SPRAYER, LUMBER	473.04
METAL LOGOS	INTERIOR SIGN	39.95
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/08-2021/07/06	272.01
MMC MECHANICAL CONTRACTORS, INC	WORK IN SERVER ROOM- 1500 WALL ST	939.40
OVERHEAD DOOR COMPANY	REPAIR GARAGE DOOR-DIST 3	2,415.50
ROCHESTER MIDLAND CORPORATION	WATER ENERGY EAM FIXED BILLING-JUL 2021	300.00
ROTO-ROOTER SERVICES CO	CLEAR MAIN SEWER PIPE-DIST 1, GILBERT POOL	2,113.07
S & W FENCE COMPANY	TROUBLESHOOT KEYPAD	950.00
THE HOME DEPOT PRO-SUPPLY WORKS	JANITORIAL SUPPLIES	504.03
THYSSENKRUPP ELEVATOR CORPORATION	SCHEDULED MAINTENANCE	939.78
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	26.01
WESTLAKE ACE HARDWARE	PLUNGER, CLEANSER, MOP BUCKET, SPRAY BOTTLES	86.55
		<b>\$ 12,368.38</b>

## CEMETERY

BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	30.76
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	83.39
MENARDS	POTTING MIX, PLANTS	59.91
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	49.92
		<b>\$ 223.98</b>

## STREETS

ALFRED BENESCH & COMPANY	CAPEHART RD IMP-2021/03/12-2021/07/04	1,071.00
AVERY RENTS	PROPANE	18.30
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	63.47
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	14.53
COMMONWEALTH ELECTRIC CO OF THE	RE-ALIGN TRAFFIC SIGNAL	2,109.60
CONCRETE SUPPLY, INC	CONCRETE	2,760.75
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	274.17
CROW LAWN CARE LLC	SKID LOADER, TRAILER, TOOLS	1,800.00
HDR ENGINEERING, INC	FT CROOK RD MASTER PLAN	3,044.82
HEIMES CORPORATION	BELLEVUE CULVERT REPAIR TO 2020/07/22	38,580.90
HGM ASSOCIATES INC	PROGRESS BILLING CORNHUSKER BRIDGE-THRU 2021/06/30	2,172.23
J & J SMALL ENGINE SERVICE	INSTALL NEW CHAIN	33.95
JACOBS ENGINEERING GROUP, INC	STORM DRAINAGE IMP PLAN	38,450.43
LOGAN CONTRACTORS SUPPLY	WOOD STAKES, WATER WAX, KEYS	1,401.69
MENARDS	CONCRETE MIX, PVD RISER, COUPLINGS, BUG SPRAY	32.49
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/08-2021/07/06	351.17
MICHAEL TODD & COMPANY	CARBIDE BLADES	14,962.97
NEWMAN SIGNS	TRAFFIC SIGNS	1,572.66
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/10-2021/07/12	1,333.64

# MINUTE RECORD

## CLAIMS FOR AUGUST 3, 2021

### STREETS (cont'd)

OMNI	ASPHALT	752.83
PLATTE RIVER CONCRETE CO	CONCRETE	2,125.00
PRECISE MRM LLC	DATA PLAN	690.00
READY MIXED CONCRETE COMPANY	CONCRETE	15,151.88
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	245.65
UNITED SEEDS	TURF MIXTURE	630.00
WALKERS UNIFORM RENTAL	UNIFORM SERVICE	13.42
WESTLAKE ACE HARDWARE	GLUE, BATTERIES	30.97
		<b>\$ 129,688.52</b>

### FLEET MAINTENANCE

911 CUSTOM, LLC	MOTION ADAPTER, CUPHOLDER, ARM REST, SPEAKER, SIREN & WARNING LIGHTS	6,320.38
ALLIED OIL & TIRE COMPANY	OIL	572.92
AMAZON.COM, LLC	TOWING MIRRORS, UNDERHOODLIGHT, SLEDGE HAMMERS, MOPS, SCOURING PADS, VEHICLE MOUNT, GENERATOR	1876.85
AUTO VALUE PARTS - SOUTH OMAHA	V-BELT	30.03
AUTOMOTIVE WAREHOUSE DIST, INC	SILICONE ADHESIVE, GATES, PARTS	193.36
BAUER BUILT	O-RINGS, SUPPLIES	255.50
BAXTER CHRYSLER DODGE JEEP	BATTERY SENSOR, STRUT TENSIONER	263.25
BAXTER FORD	PARTS, SPARK PLUGS, SENSORS, PARTS	204.18
BEARDMORE CHEVROLET	BUSHINGS, RETAINERS, PINS, ARMREST	134.90
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	42.65
CORNHUSKER INTERNATIONAL TRUCKS	COOLERS, SEAL OIL, INJECTOR KITS, DRAIN VALVE, GASKET ASSY, HEATER, CABLE TANK, TUBE KIT	3,745.41
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	107.39
DANIELSON / TECH SUPPLY	REPLACE FEEDER HOSE	680.40
DULTMEIER SALES LLC	FITTING, ADAPTORS, CAP TANKS & LIDS	142.41
EDWARDS CHEVROLET-CADILLAC	HARNES	132.26
FACTORY MOTOR PARTS CO	SPARK PLUGS, MOTOR ASSY, WATER PUMP	213.45
FARM PLAN	STARTER COVER W/REWIND STARTER, CRANKSHAFT	371.28
FORCE AMERICA, INC	BULKHEAD PANEL MOUNT	122.09
HOSE & HANDLING, INC	POLYBRAID	87.00
IDENTIFIX INC	SUBSCRIPTION 2021/09/28-2022/09/28	1,428.00
INTERSTATE BATTERIES	BATTERIES	1,537.16
J & J SMALL ENGINE SERVICE	DECK STRUT ASSY, ROD ASSY, CHAINSAW	819.49
JIM HAWK TRUCK TRAILERS	CARTRIDGE	79.85
JUDAH CASTER COMPANY	CASTERS	74.00
KRIHA FLUID POWER CO	STEEL CAPS, PLUGS, O-RINGS, SWIVEL ELBOW, BULK NIPPLES	364.32
MACQUEEN EQUIPMENT, LLC	FILTERS	307.31
MENARDS	PVC CONDUIT, CORDS	250.06
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/08-2021/07/06	121.62
NAPA AUTO PARTS	DEF, FILTERS, GLOVES, BRAKLEEN, BEARINGS, BODY HARDWARE, PARTS	1,176.53
NEBRASKA IOWA INDUSTRIAL FASTENERS	NUTS, LOCK NUTS, SHROUD BODY, BOLTS, WASHERS, DRILL BITS, TY-RAP	229.90
O'REILLY AUTOMOTIVE PARTS	HINGE PIN KIT	7.63
POWERPLAN	BREATHER, WASHER, TOOTH, SEAL KIT	737.46
STATE STEEL	STAINLESS STEEL FLAT, ROUND	904.29
SUPERIOR SIGNALS	ARROW LIGHT	376.00
TOOL SHED	CRIMPED WIRE WHEEL	40.83
TOYNE, INC	HANDLE W/O SHAFT, HAND WHEEL, WASHER FLUID	199.79
TY'S OUTDOOR POWER & SERVICE	RIMS FOR VENTRAC	161.92
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	71.98
WALKERS UNIFORM RENTAL	UNIFORM SERVICE	90.40
WATCHGUARD VIDEO	REPAIR DVR FOR POLICE FLEET	147.00
WESTLAKE ACE HARDWARE	KEYS	5.98
		<b>\$ 24,627.23</b>

# MINUTE RECORD

CLAIMS FOR AUGUST 3, 2021

PAGE 5

## SOLID WASTE

PAPILLION SANITATION	GLASS RECYCLING-JUNE 2021	685.04
		<u>\$ 685.04</u>

## PLANNING

AMAZON.COM, LLC	OFFICE SUPPLIES	4.81
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	4.22
GRETN A GUIDE & NEWS	LEGAL ADS	103.01
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/04-2021/07/06	20.93
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/10-2021/07/12	230.11
		<u>\$ 363.08</u>

## PERMITS & INSPECTIONS

BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	5.63
JOSE D CORREA-GERRILLO	REFUND PRE-CONNECT DEPOSIT	500.00
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/04-2021/07/06	27.96
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/10-2021/07/12	306.81
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	307.06
		<u>\$ 1,147.46</u>

## POLICE

AMAZON.COM, LLC	OFFICE SUPPLIES, POCKET FOLDERS, PHOTO PAPER, FLASH DRIVE, FRAMES	451.76
AUTO BODY AUTHORITY	REPAIR BODY DAMAGE-UNIT 111	2,233.62
BELLEVUE ANIMAL HOSPITAL	VET VISITS	127.84
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	99.87
CITY OF OMAHA	OFF-SITE BILLING FOR INCINERATION	977.40
CITY OF OMAHA	FORENSIC BILLING Q2/2021	3,200.00
COMPCHOICE OCCUPATIONAL HEALTH	MEDICAL TESTING FOR OFFICER	64.00
CONSOLIDATED MANAGEMENT CO	MEALS FOR TRAINING AT THE ACADEMY	163.20
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	184.99
CULLIGAN OF OMAHA	BOTTLED WATER	372.30
DANIEL GERMAN	ADVANCE PER DIEM FOR TRAINING	178.50
DAVID J SAUM	REIMB PER DIEM EXPENSE FOR TRAINING	702.46
DON'S PIONEER UNIFORMS	UNIFORM ITEMS-2 EMPLOYEES	663.98
DONTRELL DUCKER	REIMB PER DIEM EXPENSE FOR TRAINING	350.39
DOUGLAS COUNTY SHERIFF OFFICE	FORENSIC FEES	912.50
FEDERAL EXPRESS CORPORATION	SHIPPING CHARGES	28.24
GOVDIRECT, INC	CRUISER COMPUTERS AND DOCKING STATIONS	21,476.25
GREAT PLAINS UNIFORMS	POLOS, BALLISTIC VEST	1,979.50
J P COOKE COMPANY	NOTARY STAMP-GREINER	35.95
JACKSON SERVICES, INC	DOOR MAT SERVICE	148.78
JEFF KEEFE	REIMB PER DIEM EXPENSE FOR TRAINING	86.60
JOSHUA MARRS	REIMB PER DIEM EXPENSE FOR TRAINING	536.55
LINDSEY BETSWORTH	ADVANCE PER DIEM FOR TRAINING	178.50
MARCUS LARR	REIMB PER DIEM EXPENSE FOR TRAINING	304.89
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/04-2021/07/06	495.50
MIDLANDS PRINTING	BUSINESS CARDS-KRIPAL	108.00
OMAHA PUBLIC POWER DISTRICT	MONTHLY SERVICE 2021/06/10-2021/07/12	5,448.52
PROGRESSIVE BUSINESS TECHNOLOGIES	TONER SUPPLIES	333.00
RAY ALLEN MANUFACTURING CO	LEATHER HAND PROTECTOR	69.98
SECRETARY OF STATE	NOTARY BOND-BETSWORTH	30.00
SETCOM CORP	SETCOM HELMETS	1,110.22
SPRINT	MONTHLY SERVICE 2021/06/06-2021/07/05	125.22
SUPER SEER CORPORATION	MOTORCYCLE HELMETS	980.80
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	3,992.95
VOICE PRODUCTS, INC	DRAGON LAW ENFORCEMENT LICENSES	13,007.10
WATCHGUARD VIDEO	MICROPHONE, BATTERIES	165.00
WESTLAKE ACE HARDWARE	VACUUM, TRASH CANS & BAGS, PADLOCKS, SUPPLIES	209.69
		<u>\$ 61,534.05</u>

# MINUTE RECORD

CLAIMS FOR AUGUST 3, 2021

PAGE 6

## FIRE & RESCUE

AIRGAS USA, LLC	MEDICAL SUPPLIES	249.60
BLACK HILLS NEBRASKA GAS UTILITY	MONTHLY SERVICE 2021/06/01-2021/06/30	96.67
BODY BASICS FITNESS EQUIPMENT	FITNESS EQUIPMENT MAINTENANCE	500.00
BOUND TREE MEDICAL, LLC	MEDICAL SUPPLIES	3,337.61
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	576.95
ED M FELD EQUIPMENT CO	SCBA REPAIR	388.62
GREAT PLAINS UNIFORMS	UNIFORMS FOR EMPLOYEES	4,532.94
JEFF ROBISON	REIMB FOR PARAMEDIC COURSE	74.25
MARCO TECHNOLOGIES, LLC	COPIER EXPENSE	237.46
MARGARET LARSEN	REIMB DOUBLE PAYMENT FOR SERVICE	150.00
MATHESON TRI-GAS INC	METHANE	37.25
MENARDS	SUPPLIES, KITCHEN BRUSH, WASTEBASKET	86.14
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/08-2021/07/06	2,019.28
SHRED-IT USA	DOCUMENT SHREDDING SERVICE	180.00
THE NEBRASKA MEDICAL CENTER	MEDICAL DIRECTOR SERVICE-Q4 APR/JUN 2021	10,755.99
U.S. CELLULAR	MONTHLY SERVICE 2021/07/04-2021/08/03	815.30
ZOLL DATA SYSTEMS INC	MONTHLY HOSTED BILLING-AUG 2021	1,105.00
		<u>\$ 25,143.06</u>

## NON-DEPARTMENTAL/CONTRACTS

CENTURY LINK	MONTHLY SERVICE 2021/06/04-2021/07/03	972.16
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	445.47
JUSTIN THOMS	SPRING PLANTING	24,197.32
LEAGUE OF NEBRASKA MUNICIPALITIES	LEAGUE OF NEB MUNICIPALITIES DUES-2021/09/01-2022/08/31	51,238.00
QUADIENT, INC	POSTAGE METER LEASE-1500 & 1510 WALL ST	927.84
		<u>\$ 77,780.79</u>

## INFORMATION TECHNOLOGY

CORE TECHNOLOGIES, INC	PHONE MAINTENANCE, NEW PHONE SYSTEM	5,269.00
MILLER DISTRIBUTORS, INC	PROGRESS BILLING	
ONE CALL CONCEPTS	BATTERIES	217.67
TJ CABLE	REGULAR LOCATE	10.00
U.S. CELLULAR	LOCATES FOR IT	300.00
	MONTHLY SERVICE 2021/07/04-2021/08/03	40.29
		<u>\$ 5,836.96</u>

## WASTEWATER

AMAZON.COM, LLC	PRINTER SUPPLIES, MONITOR FOR TV VAN, CABLE, HARD DRIVE, OFFICE SUPPLIES	403.68
CAPITAL BUSINESS SYSTEMS, INC	COPIER EXPENSE	19.35
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/07/04-2021/08/03	220.00
COX BUSINESS SERVICES	MONTHLY SERVICE 2021/06/23-2021/07/22	83.39
ELLIOTT EQUIPMENT CO	FLAT BLADE FOR 3 WAY CUTTER	178.50
MENARDS	TRASH BAGS, DRUM FAN, POP UP CANOPY, WASHERS, CONNECTORS, BUG SPRAY	288.20
METROPOLITAN UTILITIES DIST	MONTHLY SERVICE 2021/06/08-2021/07/06	300.85
NAPA AUTO PARTS	PRIMARY WIRE	28.96
U.S. CELLULAR	MONTHLY SERVICE 2021/07/09-2021/08/08	842.85
WESTLAKE ACE HARDWARE	REPLACEMENT KEYS	4.98
		<u>\$ 2,370.76</u>

## COMMUNITY DEVELOPMENT

BELLEVUE JR SPORTS ASSOCIATION	BJSA SCHOLARSHIP PROGRAM	1,250.00
		<u>\$ 1,250.00</u>

# MINUTE RECORD

**CLAIMS FOR AUGUST 3, 2021**

PAGE 7

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**FEDERAL FORFEITURES**

CLYDE ARMORY	SERVICE RIFLES AND ACCESSORIES	37,609.00
DAI SOURCE	ANALYSTS NOTEBOOK USER LICENSE	8,069.21
		<u>\$ 45,678.21</u>

**G.O. BONDS**

DEPOSITORY TRUST/CLEARING CORP	SID 279 GORB, SERIES 2016 \$340,000 (SPRING CREEK, 2019/11/01	10,090.00
		<u>\$ 10,090.00</u>

**TOTAL CLAIMS FOR AUGUST 3, 2021** \$ **489,044.61**

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**TOTAL PAYROLL FOR JULY 23, 2021** \$ **1,107,146.46**

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\*8a.  
08/03/2021



## CITY OF BELLEVUE

OFFICE OF THE MAYOR

1500 Wall Street – Bellevue, NE 68005 – (402) 293-3022

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# MEMORANDUM

**TO:** Council President Paul Cook & Council Members

**FROM:** Mayor Rusty Hike

**DATE:** July 23rd, 2021

**SUBJECT:** Appointment to the Bellevue Planning Commission

Please consider the following for appointment to the Bellevue Planning Commission.

Dave Compton  
113 W 22<sup>nd</sup> Ave  
Bellevue, NE 68005  
402-679-9457  
He will serve a three-year term ending August 2024.

July 23<sup>rd</sup>, 2021

Dave Compton  
113 W 22<sup>nd</sup> Ave  
Bellevue, NE 68005  
402-679-9457  
Mrdcelectric@gmail.com

Dear Council President Paul Cook & Council Members,

Please consider myself for appointment to the Bellevue Planning Commission, below are just a few of the things I am serving on or have served on:

Owner of D.C. Electric for over 33 years.  
Previously served two terms on the Bellevue Planning Commission  
Served on the Bellevue Chamber Board of Directors for six-years.  
Served on the Sarpy County Personnel Board for six-years.  
Served nine-years on the Sarpy County Tourism Board.  
One of the founding members of Light Up Bellevue.  
Currently Serving on the Bellevue Community Foundation.

I am married and have five children.

Thank you for your consideration.

Sincerely,

  
Dave Compton

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

10a.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Susan Kluthe, City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input checked="" type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Application for new Manager for Buck's LLC dba "Bucky's Express 33", Bellevue.

SYNOPSIS/BACKGROUND:

Buck's LLC dba "Bucky's Express 33" would like recommendation to approve Krystal M. Carter as a new Manager for the stores located at 3003 Samson Way, Bellevue. Applications are turned directly into the NE Liquor Control Commission by the applicant then forwarded on to the City Clerk's Office by the NE Liquor Control Commission. The Clerk sends application to be reviewed by the Police and then submitted to the City Council for review and recommendation, and then forwarded to the NE Liquor Control Commission for final approval (if there are no issues).

FISCAL IMPACT:  BUDGETED FUNDS?:  GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: <input type="text" value="NO"/>	COUNTER-PARTY: <input type="text"/>	INTERLOCAL AGREEMENT: <input type="text" value="NO"/>
CONTRACT DESCRIPTION: <input type="text"/>		
CONTRACT EFFECTIVE DATE: <input type="text"/>	CONTRACT TERM: <input type="text"/>	CONTRACT END DATE: <input type="text"/>
PROJECT NAME: <input type="text"/>		
START DATE: <input type="text"/>	END DATE: <input type="text"/>	PAYMENT DATE: <input type="text"/>
INSURANCE REQUIRED: <input type="text" value="NO"/>		
CIP PROJECT NAME: <input type="text"/>	CIP PROJECT NUMBER: <input type="text"/>	
STREET DISTRICT NAME (S): <input type="text"/>	STREET DISTRICT NUMBER (S): <input type="text"/>	
ACCOUNTING DISTRUBUTION CODE: <input type="text"/>	ACCOUNT NUMBER: <input type="text"/>	

RECOMMENDATION:

Recommend approval of application for Krystal M. Carter as the new Manager for Buck's LLC dba "Bucky's Express 33" at 3003 Samson Way, Bellevue.

ATTACHMENTS:

- |   |   |                         |
|---|---|-------------------------|
| 1. <input type="text" value="Application"/> | 2. <input type="text" value="Police Report"/> | 3. <input type="text"/> |
| 4. <input type="text"/>                     | 5. <input type="text"/>                       | 6. <input type="text"/> |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*A. Greg Roblin*  
*[Signature]*  
*[Signature]*

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**MUST BE:**

- ✓ Include copy of US birth certificate, naturalization paper or current US passport
- ✓ Nebraska resident. Include copy of voter registration card or print out document from Secretary of State website
- ✓ Fingerprinted. See form 147 for further information, read form carefully to avoid delays in processing, this form MUST be included with your application
- ✓ 21 years of age or older

**Corporation/LLC information**

Name of Corporation/LLC: CASEY'S RETAIL COMPANY *Bucky's LLC*

**Premise information**

Liquor License Number: 124055 Class Type \_\_\_\_\_ (if new application leave blank)

Premise Trade Name/DBA: Bucky's Express 33

Premise Street Address: 33 3003 SAMSON WAY

City: BELLEVUE County: SARPY Zip Code: 68123

Premise Phone Number: (515) 446-6517

Premise Email address: MIKAEL.LAGE@CASEYS.COM

**The individual whose name is listed as a corporate officer or managing member as reported on insert form 3a or 3b or listed with the Commission. To see authorized officers or members search your license information [here](#).**

*Julia J. Jackowski* CASEY'S RETAIL COMPANY SECRETARY/OFFICER  
**SIGNATURE REQUIRED BY CORPORATE OFFICER / MANAGING MEMBER**  
(Faxed signatures are acceptable)



2100007084

*0400  
2019*

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov

Office Use

**RECEIVED**

JUN 28 2021

**NEBRASKA LIQUOR  
CONTROL COMMISSION**

**FORM MUST BE COMPLETELY FILLED OUT IN ORDER FOR APPLICATION TO BE PROCESSED**

**MANAGER MUST:**

- Complete all sections of the application. Be sure it is signed by a member or corporate officer. corporate officer or member must be an individual on file with the Liquor Control Commission
- Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: US birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the State of Nebraska, include a copy of voter card or print document from Secretary of State website with application

Spouse who will not participate in the business, spouse must:

- Complete the Spousal Affidavit of Non Participation Insert (must be notarized). The non-participating spouse completes the top half, the manager completes the bottom half. Be sure to complete both halves of this form.
- Need not answer question #1 of the application

Spouse who will participate in the business, the spouse must:

- Sign the application
- Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the state of Nebraska, include a copy of voter card with application
- Spousal Affidavit of Non Participation Insert **not** required

BARCODE

Manager's information must be completed below PLEASE PRINT CLEARLY

Last Name: CARTER First Name: KRYSTAL MI: M

Home Address: 1616 NW 54th Ct.

City: Lincoln County: Lancaster Zip Code: 68528

Home Phone Number: 515-782-2301

Driver's License Number & State: [REDACTED]

Social Security Number: [REDACTED]

Date Of Birth: [REDACTED] Place Of Birth: Lincoln Nebraska

Email address: KRYSTAL.CARTER@CASEYS.COM

Are you married? If yes, complete spouse's information (Even if a spousal affidavit has been submitted)

YES  NO

Spouse's information

Spouses Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_

Driver's License Number & State: \_\_\_\_\_

Date Of Birth: \_\_\_\_\_ Place Of Birth: \_\_\_\_\_

APPLICANT & SPOUSE MUST LIST RESIDENCE(S) FOR THE PAST TEN (10) YEARS  
APPLICANT SPOUSE

CITY & STATE	YEAR FROM	YEAR TO	CITY & STATE	YEAR FROM	YEAR TO
Palmyra, Ne.	2017	2018			
Bennet, Ne.	2011	2017			

**MANAGER'S LAST TWO EMPLOYERS**

YEAR FROM TO		NAME OF EMPLOYER	NAME OF SUPERVISOR	TELEPHONE NUMBER
2009	2021	Casey's General Stores	Dave Johnson	605-370-4654
2008	2009	Picture Me Portraits	No longer in business	N/A

**1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY.**

**Must be completed by both applicant and spouse, unless spouse has filed an affidavit of non-participation.**

Has anyone who is a party to this application, or their spouse, EVER been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea, include traffic violations. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES       NO

If yes, please explain below or attach a separate page.

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (City & State)	Description of Charge	Disposition
Krystal Carter	Jan 2021	Lincoln Ne	SPD 11-15 MPH	Paid Citation

**2. Have you or your spouse ever been approved or made application for a liquor license in Nebraska or any other state?**

YES       NO

**IF YES, list the name of the premise(s):**

CASEY'S GENERAL STORES - MULTIPLE NEBRASKA STORES- PLEASE SEE LIST

**3. Do you, as a manager, qualify under Nebraska Liquor Control Act (§53-131.01) and do you intend to supervise, in person, the management of the business?**

YES       NO

4. List the alcohol related training and/or experience (when and where) of the person making application.

\*NLCC Training Certificate Issued: 6/22/2021 Name on Certificate: Krystal Marie Carter

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)
KRYSTAL MARIE CARTER	6/22/2021	RBST

\*For list of NLCC Certified Training Programs see training

Experience:

Applicant Name / Job Title	Date of Employment:	Name & Location of Business:
Krystal Carter Region Director	Aug 2009	Casey's General Stores Nebraska Locations

5. Have you enclosed form 147 regarding fingerprints?

YES       NO

**PERSONAL OATH AND CONSENT OF INVESTIGATION**

The above individual(s), being first duly sworn upon oath, deposes and states that the undersigned is the applicant and/or spouse of applicant who makes the above and foregoing application that said application has been read and that the contents thereof and all statements contained therein are true. If any false statement is made in any part of this application, the applicant(s) shall be deemed guilty of perjury and subject to penalties provided by law. (Sec §53-131.01) Nebraska Liquor Control Act.

The undersigned applicant hereby consents to an investigation of his/her background including all records of every kind and description including police records, tax records (State and Federal), and bank or lending institution records, and said applicant and spouse waive any rights or causes of action that said applicant or spouse may have against the Nebraska Liquor Control Commission and any other individual disclosing or releasing said information to the Nebraska Liquor Control Commission. If spouse has NO interest directly or indirectly, a spousal affidavit of non-participation may be attached.

The undersigned understand and acknowledge that any license issued, based on the information submitted in this application, is subject to cancellation if the information contained herein is incomplete, inaccurate, or fraudulent.

*Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in FBI identification record. The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.*

*Ken Carter*

Signature of Manager Applicant

Signature of Spouse

ACKNOWLEDGEMENT

State of Nebraska  
County of Lancaster The foregoing instrument was acknowledged before me this

24<sup>th</sup> day of June, 2021

date

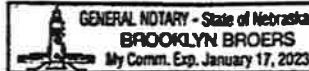
by

Krystal M. Carter

NAME OF PERSON BEING ACKNOWLEDGED

*[Signature]*  
Notary Public signature

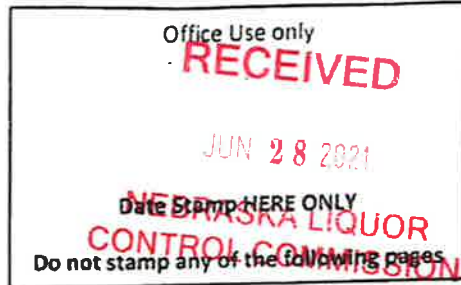
Affix Seal



In compliance with the ADA, this application is available in other formats for persons with disabilities. A ten day advance period is required in writing to produce the alternate format.

**PRIVACY ACT STATEMENT/  
SUBMISSION OF FINGERPRINTS /  
PAYMENT OF FEES TO NSP-CID**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**THIS FORM IS REQUIRED TO BE SIGNED BY EACH PERSON BEING FINGERPRINTED:  
DIRECTIONS FOR SUBMITTING FINGERPRINTS AND FEE PAYMENTS:**

- **FAILURE TO FILE FINGERPRINT CARDS AND PAY THE REQUIRED FEE TO THE NEBRASKA STATE PATROL WILL DELAY THE ISSUANCE OF YOUR LIQUOR LICENSE**
- Fee payment of \$45.25 per person **MUST** be made **DIRECTLY** to the Nebraska State Patrol;  
It is recommended to make payment through the NSP PayPort online system at [www.ne.gov/go/nsp](http://www.ne.gov/go/nsp)  
Or a check made payable to **NSP** can be mailed directly to the following address:  
**\*\*\*Please indicate on your payment who the payment is for (the name of the person being fingerprinted) and the payment is for a Liquor License\*\*\***  
The Nebraska State Patrol – CID Division  
4600 Innovation Drive  
Lincoln, NE 68521

- Fingerprints taken at NSP LIVESCAN locations will be forwarded to NSP – CID  
*Applicant(s) will not have cards to include with license application.*
- Fingerprints taken at local law enforcement offices may be released to the applicants;  
*Fingerprint cards should be submitted with the application.*

*Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record. The procedures for obtaining a change, correction, or updating a FBI identification record are set forth in Title 28, CFR, 16.34.*

\*\*\*\*Please Submit this form with your completed application to the Liquor Control Commission\*\*\*\*

Trade Name CASEY'S RETAIL COMPANY

Name of Person Being Fingerprinted: KRYSTAL CARTER

Date of Birth: [REDACTED] Last 4 SSN: [REDACTED]

Date fingerprints were taken: 6/21/2021

Location where fingerprints were taken: NEBRASKA STATE PATROL 3800 NW 12TH LINCOLN NE.

How was payment made to NSP?

NSP PAYPORT  CASH  CHECK SENT TO NSP CK # \_\_\_\_\_

My fingerprints are already on file with the commission – fingerprints completed for a previous application less than 2 years ago? YES

*Kristal Carter*

SIGNATURE REQUIRED OF PERSON BEING FINGERPRINTED

APPLICATION FOR LIQUOR LICENSE  
AND CORPORATE MANAGER

**POLICE REPORT**

Date of City Council Meeting: August 3, 2021 Due to City Clerk: July 28, 2021

Applicant: Buck's LLC dba "Bucky's Express 33"

Location/Address: 3003 Samson Way, Bellevue

Requested Action:

Recommendation to approve application for Krystal M Carter as Corporate Manager of Buck's LLC dba "Bucky's Express 33 Bellevue, NE

Individuals to be Checked:

	<u>Name &amp; Address</u>	<u>DOB</u>
1.	<u>Krystal M. Carter, 1616 NW 54th Ct., Lincoln, NE 68528</u>	<u>[REDACTED]</u>
2.	<u>[REDACTED]</u>	<u>[REDACTED]</u>

Comments:

*Approved*

Signature of Reviewer: *Asst Chief [Signature]*

Date: 7-26-21

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

10b.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Susan Kluthe, City Clerk		
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>		
LIQUOR LICENSE <input checked="" type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>		

**SUBJECT:**

Application for new Manager for Casey's Retail Company dba "Casey's General Store 2966 & Casey's Retail Store 3830" at 52104 Platt Ave. and 7724 S. 22nd St. (respectively), Bellevue.

**SYNOPSIS/BACKGROUND:**

Casey's Retail Company dba "Casey's General Store 2966 and Casey's Retail Store 3830" would like recommendation to approve Krystal M. Carter as a new Manager for the stores located at 2104 Pratt Ave. and 7724 S. 22nd St. (respectively), Bellevue. Applications are turned directly into the NE Liquor Control Commission by the applicant then forwarded on to the City Clerk's Office by the NE Liquor Control Commission. The Clerk sends application to be reviewed by the Police and then submitted to the City Council for review and recommendation, and then forwarded to the NE Liquor Control Commission for final approval (if there are no issues).

FISCAL IMPACT:  BUDGETED FUNDS?:  GRANT/MATCHING FUNDS?:

**TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:**

IS THIS A CONTRACT?:  COUNTER-PARTY:  INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED:

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

**RECOMMENDATION:**

Recommend approval of application for Krystal M. Carter as the new Manager for Casey's Retail Company dba "Casey's General Store 2966 and Casey's Retail Store 3830" at 2104 Pratt Avenue and 7724 S. 22nd Street (respectively), Bellevue.

**ATTACHMENTS:**

1. Application	2. Police Report	3. <input type="text"/>
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

**SIGNATURES:**

LEGAL APPROVAL AS TO FORM: \_\_\_\_\_

FINANCE APPROVAL AS TO FORM: \_\_\_\_\_

ADMINISTRATOR APPROVAL AS TO FORM: \_\_\_\_\_

*A. Bruce Robinson*  


APPLICATION FOR LIQUOR LICENSE  
AND CORPORATE MANAGER

**POLICE REPORT**

Date of City Council Meeting: August 3, 2021 Due to City Clerk: July 28, 2021

Applicant: Casey's Retail Company dba "Casey's General Store 2966 & Casey's Retail Store 383

Location/Address: 2104 Pratt Ave. and 7724 S. 22nd St (respectively), Bellevue

Requested Action:

Recommendation to approve application for Krystal M Carter as Corporate Manager of Casey's Retail Company dba "Casey's General Store 2966 & Casey's Retail Store 3830" at 2104 Pratt Avenue & 7724 S. 22nd Street (respectively), Bellevue, NE

Individuals to be Checked:

<u>Name &amp; Address</u>	<u>DOB</u>
1. <u>Krystal M. Carter, 1616 NW 54th Ct., Lincoln, NE 68528</u>	<u>[REDACTED]</u>
2. <u>_____</u>	<u>[REDACTED]</u>

Comments:

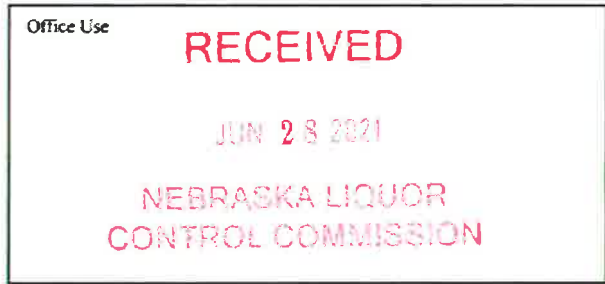
*Approved*

Signature of Reviewer: *Asst Chief [Signature]*

Date: 7-26-21

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**MUST BE:**

- ✓ Include copy of US birth certificate, naturalization paper or current US passport
- ✓ Nebraska resident. Include copy of voter registration card or print out document from Secretary of State website
- ✓ Fingerprinted. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application
- ✓ 21 years of age or older

---

Corporation/LLC information

Name of Corporation/LLC: CASEY'S RETAIL COMPANY

---

Premise information

Liquor License Number: 92584 Class Type \_\_\_\_\_ (if new application leave blank)

Premise Trade Name/DBA: CASEY'S GENERAL STORE 2966

Premise Street Address: 2966 2104 PRATT AVE

City: BELLEVUE County: LANCASTER Zip Code: 685022502

Premise Phone Number: 4024745120

Premise Email address: MIKAEL.LAGE@CASEYS.COM

---

The individual whose name is listed as a corporate officer or managing member as reported on insert form 3a or 3b or listed with the Commission. To see authorized officers or members search your license information [here](#).

*Julia T. Jankowski* CASEY'S RETAIL COMPANY SECRETARY/OFFICER  
**SIGNATURE REQUIRED BY CORPORATE OFFICER / MANAGING MEMBER**

(Faxed signatures are acceptable)

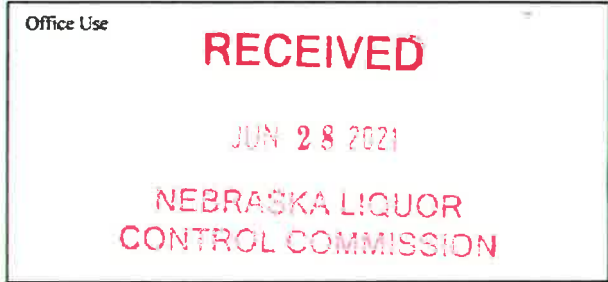


2100007232

0460  
2019

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**MUST BE:**

- ✓ Include copy of US birth certificate, naturalization paper or current US passport
- ✓ Nebraska resident. Include copy of voter registration card or print out document from Secretary of State website
- ✓ Fingerprinted. See form 147 for further information, read form carefully to avoid delays in processing, this form MUST be included with your application
- ✓ 21 years of age or older

---

**Corporation/LLC information**

Name of Corporation/LLC: CASEY'S RETAIL COMPANY

---

**Premise information**

Liquor License Number: 123084 Class Type \_\_\_\_\_ (if new application leave blank)

Premise Trade Name/DBA: CASEY'S GENERAL STORE 3830

Premise Street Address: 7724 S 22ND ST

City: BELLEVUE County: SARPY Zip Code: 68147

Premise Phone Number: (402) 731-2410

Premise Email address: MIKAEL.LAGE@CASEYS.COM

---

**The individual whose name is listed as a corporate officer or managing member as reported on insert form 3a or 3b or listed with the Commission. To see authorized officers or members search your license information [here](#).**

*Julia T. Jackowski* CASEY'S RETAIL COMPANY SECRETARY/OFFICER  
**SIGNATURE REQUIRED BY CORPORATE OFFICER / MANAGING MEMBER**  
(Faxed signatures are acceptable)



*0400  
2019*

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov

Office Use

**RECEIVED**

JUN 28 2021

**NEBRASKA LIQUOR  
CONTROL COMMISSION**

**FORM MUST BE COMPLETELY FILLED OUT IN ORDER FOR APPLICATION TO BE PROCESSED**

**MANAGER MUST:**

- Complete all sections of the application. Be sure it is signed by a member or corporate officer, corporate officer or member must be an individual on file with the Liquor Control Commission
- Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: US birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the State of Nebraska, include a copy of voter card or print document from Secretary of State website with application

Spouse who will not participate in the business, spouse must:

- Complete the Spousal Affidavit of Non Participation Insert (must be notarized). The non-participating spouse completes the top half; the manager completes the bottom half. **Be sure to complete both halves of this form.**
- Need not answer question #1 of the application

Spouse who will participate in the business, the spouse must:

- Sign the application
- Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the state of Nebraska, include a copy of voter card with application
- Spousal Affidavit of Non Participation Insert not required

BARCODE

**Manager's information must be completed below PLEASE PRINT CLEARLY**

Last Name: **CARTER** First Name: **KRYSTAL** MI: **M**

Home Address: **1616 NW 54th Ct.**

City: **Lincoln** County: **Lancaster** Zip Code: **68528**

Home Phone Number: **515-782-2301**

Driver's License Number & State: [REDACTED]

Social Security Number: [REDACTED]

Date Of Birth: [REDACTED] Place Of Birth: **Lincoln Nebraska**

Email address: **KRYSTAL.CARTER@CASEYS.COM**

**Are you married? If yes, complete spouse's information (Even if a spousal affidavit has been submitted)**

YES  NO

**Spouse's information**

Spouses Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_

Driver's License Number & State: \_\_\_\_\_

Date Of Birth: \_\_\_\_\_ Place Of Birth: \_\_\_\_\_

**APPLICANT & SPOUSE MUST LIST RESIDENCE(S) FOR THE PAST TEN (10) YEARS**  
**APPLICANT SPOUSE**

CITY & STATE	YEAR FROM	YEAR TO	CITY & STATE	YEAR FROM	YEAR TO
Palmyra, Ne.	2017	2018			
Bennet, Ne.	2011	2017			

**MANAGER'S LAST TWO EMPLOYERS**

YEAR FROM TO		NAME OF EMPLOYER	NAME OF SUPERVISOR	TELEPHONE NUMBER
2009	2021	Casey's General Stores	Dave Johnson	605-370-4654
2008	2009	Picture Me Portraits	No longer in business	N/A

**1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY.**

Must be completed by both applicant and spouse, unless spouse has filed an affidavit of non-participation.

Has anyone who is a party to this application, or their spouse, EVER been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea, include traffic violations. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES       NO

If yes, please explain below or attach a separate page.

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (City & State)	Description of Charge	Disposition
Krystal Carter	Jan 2021	Lincoln Ne	SPD 11-15 MPH	Paid Citation

**2. Have you or your spouse ever been approved or made application for a liquor license in Nebraska or any other state?**

YES       NO

IF YES, list the name of the premise(s):

CASEY'S GENERAL STORES - MULTIPLE NEBRASKA STORES- PLEASE SEE LIST

**3. Do you, as a manager, qualify under Nebraska Liquor Control Act (§53-131.01) and do you intend to supervise, in person, the management of the business?**

YES       NO

4. List the alcohol related training and/or experience (when and where) of the person making application.

\*NLCC Training Certificate Issued: 6/22/2021 Name on Certificate: Krystal Marie Carter

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)
KRYSTAL MARIE CARTER	6/22/2021	RBST

\*For list of NLCC Certified Training Programs see training

Experience:

Applicant Name / Job Title	Date of Employment:	Name & Location of Business:
Krystal Carter Region Director	Aug 2009	Casey's General Stores Nebraska Locations

5. Have you enclosed form 147 regarding fingerprints?

YES       NO

**PERSONAL OATH AND CONSENT OF INVESTIGATION**

The above individual(s), being first duly sworn upon oath, deposes and states that the undersigned is the applicant and/or spouse of applicant who makes the above and foregoing application that said application has been read and that the contents thereof and all statements contained therein are true. If any false statement is made in any part of this application, the applicant(s) shall be deemed guilty of perjury and subject to penalties provided by law. (Sec §53-131.01) Nebraska Liquor Control Act.

The undersigned applicant hereby consents to an investigation of his/her background including all records of every kind and description including police records, tax records (State and Federal), and bank or lending institution records, and said applicant and spouse waive any rights or causes of action that said applicant or spouse may have against the Nebraska Liquor Control Commission and any other individual disclosing or releasing said information to the Nebraska Liquor Control Commission. If spouse has NO interest directly or indirectly, a spousal affidavit of non-participation may be attached.

The undersigned understand and acknowledge that any license issued, based on the information submitted in this application, is subject to cancellation if the information contained herein is incomplete, inaccurate, or fraudulent.

*Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in FBI identification record. The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.*

*Ken Carter*

Signature of Manager Applicant

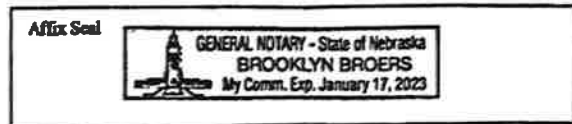
Signature of Spouse

ACKNOWLEDGEMENT

State of Nebraska  
County of Lancaster The foregoing instrument was acknowledged before me this

24<sup>th</sup> day of June, 2021 by Krystal M. Carter  
date NAME OF PERSON BEING ACKNOWLEDGED

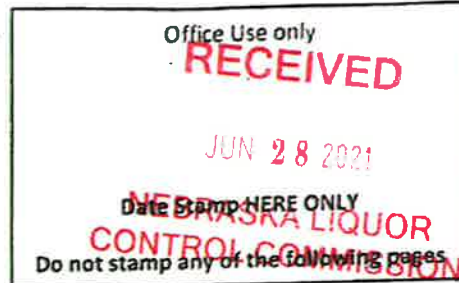
*[Signature]*  
Notary Public signature



In compliance with the ADA, this application is available in other formats for persons with disabilities. A ten day advance period is required in writing to produce the alternate format.

**PRIVACY ACT STATEMENT/  
SUBMISSION OF FINGERPRINTS /  
PAYMENT OF FEES TO NSP-CID**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**THIS FORM IS REQUIRED TO BE SIGNED BY EACH PERSON BEING FINGERPRINTED:  
DIRECTIONS FOR SUBMITTING FINGERPRINTS AND FEE PAYMENTS:**

- **FAILURE TO FILE FINGERPRINT CARDS AND PAY THE REQUIRED FEE TO THE NEBRASKA STATE PATROL WILL DELAY THE ISSUANCE OF YOUR LIQUOR LICENSE**
- Fee payment of \$45.25 per person **MUST** be made **DIRECTLY** to the Nebraska State Patrol;  
It is recommended to make payment through the NSP PayPort online system at [www.ne.gov/go/nsp](http://www.ne.gov/go/nsp)  
Or a check made payable to **NSP** can be mailed directly to the following address:  
**\*\*\*Please indicate on your payment who the payment is for (the name of the person being fingerprinted) and the payment is for a Liquor License\*\*\***  
The Nebraska State Patrol – CID Division  
4600 Innovation Drive  
Lincoln, NE 68521

- Fingerprints taken at NSP LIVESCAN locations will be forwarded to NSP – CID  
*Applicant(s) will not have cards to include with license application.*
- Fingerprints taken at local law enforcement offices may be released to the applicants;  
*Fingerprint cards should be submitted with the application.*

*Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record. The procedures for obtaining a change, correction, or updating a FBI identification record are set forth in Title 28, CFR, 16.34.*

**\*\*\*\*Please Submit this form with your completed application to the Liquor Control Commission\*\*\*\***

Trade Name CASEY'S RETAIL COMPANY

Name of Person Being Fingerprinted: KRYSTAL CARTER

Date of Birth: [REDACTED] Last 4 SSN: [REDACTED]

Date fingerprints were taken: 6/21/2021

Location where fingerprints were taken: NEBRASKA STATE PATROL 3800 NW 12TH LINCOLN NE.

How was payment made to NSP?

NSP PAYPORT  CASH  CHECK SENT TO NSP CK # \_\_\_\_\_

My fingerprints are already on file with the commission – fingerprints completed for a previous application less than 2 years ago? YES

Kris Carter  
SIGNATURE REQUIRED OF PERSON BEING FINGERPRINTED

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

10c.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Susan Kluthe, City Clerk		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input checked="" type="checkbox"/>		ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>		CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Application for Luvimart LLC dba "Dinah Mart Chandler Road" for Class "DK" Liquor License at 2609 Chandler Road, Bellevue to sell beer, wine, and distilled spirits and Noel Vargas as Manager.

SYNOPSIS/BACKGROUND:

Luvimart LLC dba "Dinah Mart Chandler Road" would like a Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only at 2609 Chandler Road, Bellevue and for Noel Vargas as Manager. Applications are turned directly into the NE Liquor Control Commission by the applicant then forwarded on to the City Clerk's Office by the NE Liquor Control Commission. The Clerk publishes a hearing notice and the application is reviewed by the Police, Planning and Clerk and then submitted to the City Council for review and recommendation, and then forwarded to the NE Liquor Control Commission for final approval (if there are no issues).

FISCAL IMPACT: \$815.00/year BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO	COUNTER-PARTY:	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION:		
CONTRACT EFFECTIVE DATE:	CONTRACT TERM:	CONTRACT END DATE:
PROJECT NAME:		
START DATE:	END DATE:	PAYMENT DATE:
		INSURANCE REQUIRED: NO
CIP PROJECT NAME:	CIP PROJECT NUMBER:	
STREET DISTRICT NAME (S):	STREET DISTRICT NUMBER (S):	
ACCOUNTING DISTRIBUTION CODE:	ACCOUNT NUMBER:	

RECOMMENDATION:

Recommend approval of application Luvimart LLC dba "Dinah Mart Chandler Road" for a Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only at 2609 Chandler Road, Bellevue and for Noel Vargas as Manager.

ATTACHMENTS:

- |                  |                   |                    |
|------------------|-------------------|--------------------|
| 1. Application   | 2. Clerk's Report | 3. Planning Report |
| 4. Police Report | 5.                | 6.                 |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*[Handwritten signatures]*

# LIQUOR LICENSE APPLICATION REPORT

## City Clerk

APPLICANT: Luvimart LLC dba "Dinah Mart Chandler Road"  
LOCATION/ADDRESS: 2609 Chandler Road, Bellevue, 68147  
REQUESTED ACTION: Recommendation to approve new application for Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only, at 2609 Chandler Road, Bellevue, AND for Noel Vargas as Manager.

DATE APPLICATION RECEIVED: 07/07/21

FINAL DATE HEARING CAN BE HELD (45 days from receipt): 08/23/21

DATE ADVERTISED (not less than 7 nor more than 14 days): 07/21/21

### CURRENT NUMBER OF LICENSES:

Class A (Beer on sale only):	<u>2</u>
Class B (Beer off sale only):	<u>0</u>
Class C (Alcoholic liquor, on and off sale):	<u>22</u>
Class D (Alcoholic liquor, off sale only):	<u>27</u>
Class I (Alcoholic liquor on sale only):	<u>27</u>
Class K (Catering License with Class B, C or D license):	<u>5</u>
Class X (Wholesale Liquor)	<u>1</u>
TOTAL	<u>84</u>

**LIQUOR LICENSE APPLICATION REPORT  
CITY OF BELLEVUE  
PLANNING DEPARTMENT**

DATE OF CITY COUNCIL PUBLIC HEARING: August 3, 2021

DATE REPORT DUE TO CITY CLERK: July 28, 2021

APPLICANT: Luvimart LLC dba "Dinah Mart Chandler Road"

ADDRESS: 2609 Chandler Road, Bellevue 98147

REQUESTED ACTION: Recommendation to approve application for a Class "DK" Liquor License to sell beer, wine, and distilled spirits, Off Sale Only, 2609 Chandler Road, Bellevue, and for Noel Vargas as Manager

BACKGROUND: New Application for Class "DK" Liquor License

**IS THIS LOCATION WITHIN THE CITY LIMITS OF BELLEVUE?** Yes

**IS THIS LOCATION WITHIN THE CITY'S TWO-MILE ZONING JURISDICTION?** Yes

EXISTING ZONING: BG (General Business District)

WILL ZONING ALLOW A LIQUOR LICENSE? Yes

EXISTING LAND USE: Commercial

IS THE CURRENT USE NON-CONFORMING? No EXPLANATION: N/A

**ADJACENT LAND USE AND ZONING:**

NORTH: West Chandler Road Right-of-way

SOUTH: BG, Commercial

EAST: BG, Commercial – Vacant Gas Station

WEST: BG, Commercial – Car Wash

DISTANCE FROM SCHOOL (if applicable): N/A

DISTANCE FROM COLLEGE (if applicable): N/A

DISTANCE FROM CHURCH (if applicable): N/A

**IMMEDIATE NEIGHBORHOOD/AREA LAND USES:** Luvimart LLC dba "Dinah Mart Chandler Road" is located in a small commercial area of the Prokupek Subdivision. 24 Hour Super Wash car wash and Milt's Mini Stroage is to the west. The commercial property to the east is vacant at the time of this report.

---

**NUMBER OF PARKING SPACES REQUIRED:**     N/A     **PROVIDED:**     N/A    

**ANALYSIS OF NEIGHBORHOOD EFFECTS:** \_\_\_\_\_

**TRAFFIC:**   There is no traffic impact expected.  

**STREET/ACCESS:**     There is no street/access impact expected.    

**PEDESTRIAN:**     There is no pedestrian impact expected.    

**NOISE:**     There is no noise impact expected.    

**LIGHTING:**   There is no lighting impact expected.  

**GENERAL COMMENTS:** This is a commercial area that would accommodate on sale liquor sales.

---

APPLICATION FOR LIQUOR LICENSE  
AND CORPORATE MANAGER

**POLICE REPORT**

Date of City Council Meeting: August 3, 2021 Due to City Clerk: July 28, 2021

Applicant: Luvimart LLC dba "Dinah Mart Chandler Road"

Location/Address: 2609 Chandler Road, Bellevue 68147

Requested Action:

Recommendation to approve application for a Class "DK" Liquor License to sell, beer, wine, and distilled spirits, Off Sale Only, for Luvimart LLC dba "Dinah Mart Chandler Road" at 2609 Chandler Road, Bellevue, NE 68147 and Noel Vargas as Manager.

Individuals to be Checked:

	<u>Name &amp; Address</u>	<u>DOB</u>
1.	<u>Noel Vargas, 4708 Glasgow, Omaha, NE 68157</u>	<u>[Redacted]</u>
2.	<u>[Redacted]</u>	<u>[Redacted]</u>

Comments:

*Approved*

Signature of Reviewer: *Asst Chief [Signature]*

Date: 7-26-21

**APPLICATION FOR LIQUOR LICENSE  
CHECKLIST - RETAIL**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov

<b>RECEIVED</b>		
JUL 02 2021		
NEBRASKA LIQUOR CONTROL COMMISSION		
Hot List: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	New/Replacing #	101264
Class Type	<b>DK</b>	<b>124414</b> Initial <b>TB</b>

Applicant name Luv Mart hhc  
 Trade name Dinah Mart Chandler Rd  
 Previous trade name \_\_\_\_\_  
 Contact email address \_\_\_\_\_

Provide all the items requested. Failure to provide any item will cause this application to be returned or placed on hold. All documents must be legible. Any false statement or omission may result in the denial, suspension, cancellation or revocation of your license. If your operation depends on receiving a liquor license, the Nebraska Liquor Control Commission cautions you that if you purchase, remodel, start construction, spend or commit money that you do so at your own risk. Prior to submitting your application review the application carefully to ensure that all sections are complete, and that any omissions or errors have not been made. You may want to check with the city/village or county clerk, where you are making application, to see if any additional requirements must be met before submitting application to the Nebraska Liquor Control Commission.

505

Need hhc Activated Top Req ✓

*Ret 170166*

Office use only	PAYMENT TYPE <u>check 64</u>
	AMOUNT: <u>\$500-</u>
	Received: <i>[Signature]</i>



2100006952

**RECEIVED**

1.  Fingerprints are required for each person as defined in new application guide, found on our website under "Licensing Tab" in "Guidelines/Brochures". See Form 147 for further information, this form **MUST** be included with your application.
2.  Enclose application fee of \$400 (nonrefundable), check made payable to the Nebraska Liquor Control Commission or you may pay online at PAYPORT.
3.  Enclose the appropriate application forms;
  - Individual License (requires insert form 1)
  - Partnership License (requires insert form 2)
  - Corporate License (requires insert form 3a & 3c)
  - Limited Liability Company (LLC) (requires form 3b & 3c)
4.  If building is being leased send a copy of signed lease. Be sure the lease reads in the name of the individual(s), corporation or Limited Liability Company (LLC) making application. Lease term must run through the license year being applied for.
5.  If building is owned or being purchased send a copy of the deed or purchase agreement in the name of the applicant.
6.  If buying the business of a current liquor license holder:
  - a. Provide a copy of the purchase agreement from the seller (must read applicants name)
  - b. Provide a copy of alcohol inventory being purchased (must include brand names and container size)
  - c. Enclose a list of the assets being purchased (furniture, fixtures and equipment)
7.  If requesting to operate on current liquor license; enclose Temporary Operating Permit (TOP) (Form 125).
8.  Enclose a list of any inventory or property owned by other parties that are on the premises.
9.  For citizenship enclose U.S. birth certificate; U.S. passport or naturalization paper
  - a. For residency enclose proof of registered voter in Nebraska
  - b. If permanent resident include Employment Authorization Card or Permanent Resident Card
  - c. See guideline for further assistance
10.  Corporation or Limited Liability Company (LLC) must enclose a copy of articles of incorporation; as filed with the Secretary of State's Office.
11.  Submit a copy of your business plan.

**I acknowledge that this application is not a guarantee that a liquor license will be issued to me, and that the average processing period is 60 days. Furthermore, I understand that all the information is truthful and I accept all responsibility for any false documents.**

x Moel Vogel  
 Signature

7/2/2021  
 Date

# APPLICATION FOR CATERING ENDORSEMENT TO LICENSE

NEBRASKA LIQUOR CONTROL COMMISSION  
 301 CENTENNIAL MALL SOUTH  
 PO BOX 95046  
 LINCOLN, NE 68509-5046  
 PHONE: (402) 471-2571  
 FAX: (402) 471-2814  
 website: [www.lcc.nebraska.gov](http://www.lcc.nebraska.gov)

License  
 Class:     K    

License  
 Number: \_\_\_\_\_



- Application fee \$100.00
- Please pay online at: [www.ne.gov/go/NLCCpayport](http://www.ne.gov/go/NLCCpayport)
- Processing time is approx. 45-60 days from receipt of application by the Nebraska Liquor Control Commission

**LICENSEE**

Luvimart, LLC

**TRADE NAME**

Luvimart

**PREMISES ADDRESS**

2609 Chandler Rd W

**CITY**

Bethvue Ne

**ZIP CODE**

68147

**CONTACT PERSON**

Noel Vargas

**PHONE NUMBER**

402-290-0888

**EMAIL**

lestyvargas711@yahoo.com

Noel Vargas  
 Signature of AUTHORIZED LICENSEE REPRESENTATIVE  
 (Do not sign until in the presence of the Notary Public)

Noel Vargas  
 Printed Name of AUTHORIZED LICENSEE REPRESENTATIVE

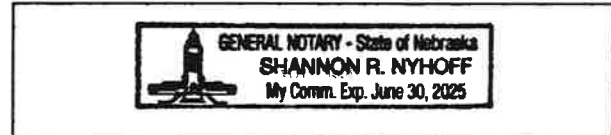
State of Nebraska, County of Lancaster

The foregoing instrument was acknowledged before me this:

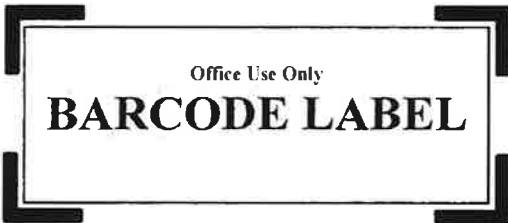
2nd day of July 2021  
 (Date)

By: Noel Vargas  
 Name of person signing document in front of Notary

Shannon R. Nyhoff  
 Notary Public Signature

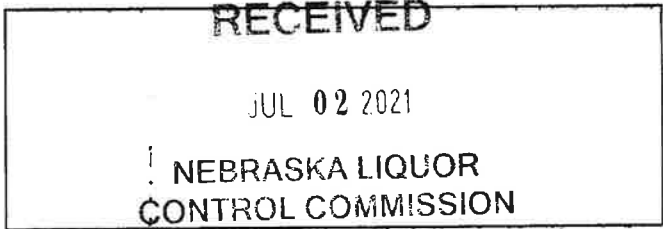


*Ret 1701166  
 Check 64  
 \$500 -*



**APPLICATION FOR LIQUOR LICENSE  
RETAIL**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov/



**RETAIL LICENSE(S)**

Application Fee \$400 (nonrefundable)

- A BEER, ON SALE ONLY
- B BEER, OFF SALE ONLY
- C BEER, WINE, DISTILLED SPIRITS, ON AND OFF SALE
- D BEER, WINE, DISTILLED SPIRITS, OFF SALE ONLY
- I BEER, WINE, DISTILLED SPIRITS, ON SALE ONLY
- J LIMITED ALCOHOLIC LIQUOR, OFF SALE – MUST INCLUDE SUPPLEMENTAL FORM 120
- AB BEER, ON AND OFF SALE
- AD BEER ON SALE ONLY, BEER, WINE, DISTILLED SPIRITS OFF SALE
- IB BEER, WINE, DISTILLED SPIRITS ON SALE, BEER OFF SALE ONLY

Class K Catering license (requires catering application form 106) \$100.00

Additional fees will be assessed at city/village or county level when license is issued

Class C license term runs from November 1 – October 31  
All other licenses run from May 1 – April 30  
Catering license (K) expires same as underlying retail license

**CHECK TYPE OF LICENSE OF WHICH YOU ARE APPLICANT**

- Individual License (requires insert 1 FORM 104)
- Partnership License (requires insert 2 FORM 105)
- Corporate License (requires insert 3a FORM 101 & 3c FORM 103)
- Limited Liability Company (LLC) (requires form 3b FORM 102 & 3c FORM 103)



Name \_\_\_\_\_ Phone number: \_\_\_\_\_

Firm Name \_\_\_\_\_

Trade Name (doing business as) Dinah Mart Chandler Road

Street Address #1 2609 Chandler Rd W

Street Address #2 \_\_\_\_\_

City Bellevue County Sarpy Zip Code 68147

Premises Telephone number 402-614-0344

Business e-mail address armanineil@yahoo.com

Is this location inside the city/village corporate limits: YES  NO

Mailing address (where you want to receive mail from the Commission)

Name Noel Vargas

Street Address #1 4708 Glasgow Ave

Street Address #2 \_\_\_\_\_

City Omaha State NE Zip Code 68157-3901

In the space provided or on an attachment draw the area to be licensed. This should include storage areas, basement, outdoor area, sales areas and areas where consumption or sales of alcohol will take place. If only a portion of the building is to be covered by the license, you must still include dimensions (length x width) of the licensed area as well as the dimensions of the entire building. No blue prints please. Be sure to indicate the direction north and **number of floors** of the building.

\*\*For on premises consumption liquor licenses minimum standards must be met by providing at least two restrooms

Building: length 60 x width 480 in feet

Is there a basement? Yes \_\_\_\_\_ No

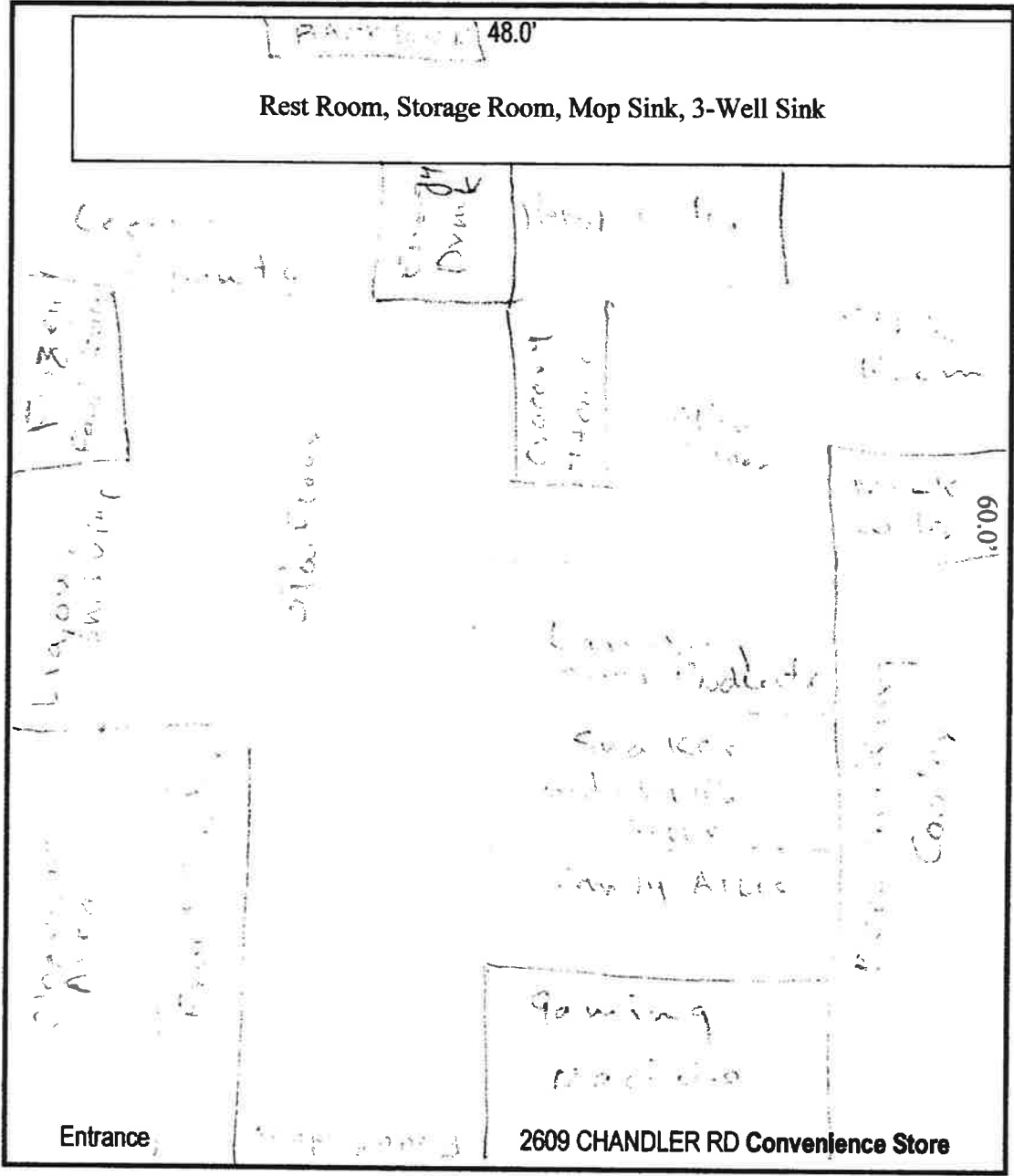
If yes, length \_\_\_\_\_ x width \_\_\_\_\_ in feet

Is there an outdoor area? Yes \_\_\_\_\_ No

If yes, length \_\_\_\_\_ x width \_\_\_\_\_ in feet

PROVIDE DIAGRAM OF AREA TO BE LICENSED BELOW OR ATTACH SEPARATE SHEET

60 x 480



48.0'

Rest Room, Storage Room, Mop Sink, 3-Well Sink

Men's Rest Room

Liaison

Entrance

Grocery

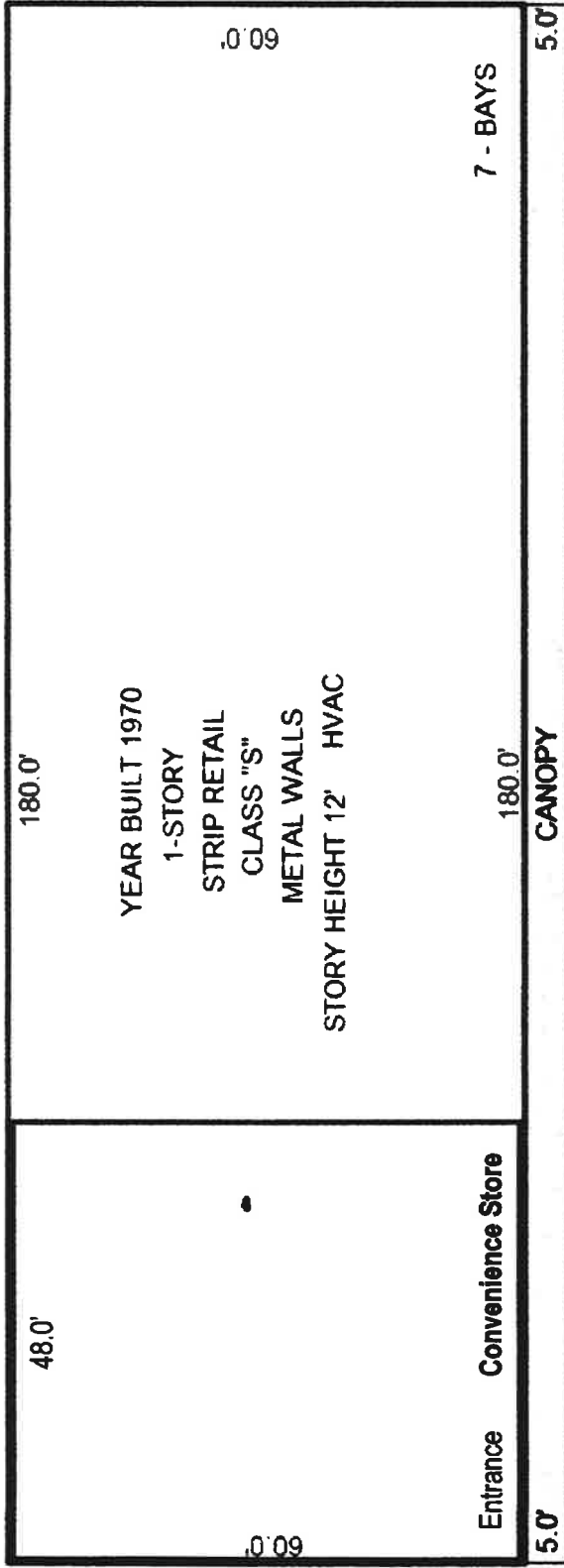
Candy

Gaming

10.09

2609 CHANDLER RD Convenience Store

Delivery / Emergency Exit



ASPHALT PAVING - 28,746 SF  
3 LIGHT POLES 20 HGT  
3 FIXTURES

**2609-2619 CHANDLER RD**

**1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY §53-125(5)**

Has anyone who is a party to this application, or their spouse, EVER been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. Include traffic violations. Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES  NO

If yes, please explain below or attach a separate page

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (city & state)	Description of Charge	Disposition
			traffic violation	dont remember dates

**2. Are you buying the business of a current retail liquor license?**

YES  NO

If yes, give name of business and liquor license number \_\_\_\_\_

- a) Submit a copy of the sales agreement
- b) Include a list of alcohol being purchased, list the name brand, container size and how many
- c) Submit a list of the furniture, fixtures and equipment

**3. Was this premise licensed as liquor licensed business within the last two (2) years?**

YES  NO

If yes, give name and license number \_\_\_\_\_

**4. Are you filing a temporary operating permit (TOP) to operate during the application process?**

YES  NO

If yes:

- a) Attach temporary operating permit (TOP) (Form 125)
- b) TOP will only be accepted at a location that currently holds a valid liquor license.

5. Are you borrowing any money from any source, include family or friends, to establish and/or operate the business?

YES  NO

If yes, list the lender(s) \_\_\_\_\_

6. Will any person or entity, other than applicant, be entitled to a share of the profits of this business?

YES  NO

If yes, explain. (all involved persons must be disclosed on application)

**No silent partners**

7. Will any of the furniture, fixtures and equipment to be used in this business be owned by others?

YES  NO

If yes, list such item(s) and the owner. \_\_\_\_\_

8. Is premises to be licensed within 150 feet of a church, school, hospital, home for the aged or indigent persons or for veterans, their wives, and children, or within 300 feet of a college or university campus?

YES  NO

If yes, provide name and address of such institution and where it is located in relation to the premises (Neb. Rev. Stat. 53-177)(1)  
Provide letter of support or opposition, see FORM 134 – church or FORM 135 - campus

9. Is anyone listed on this application a law enforcement officer?

YES  NO

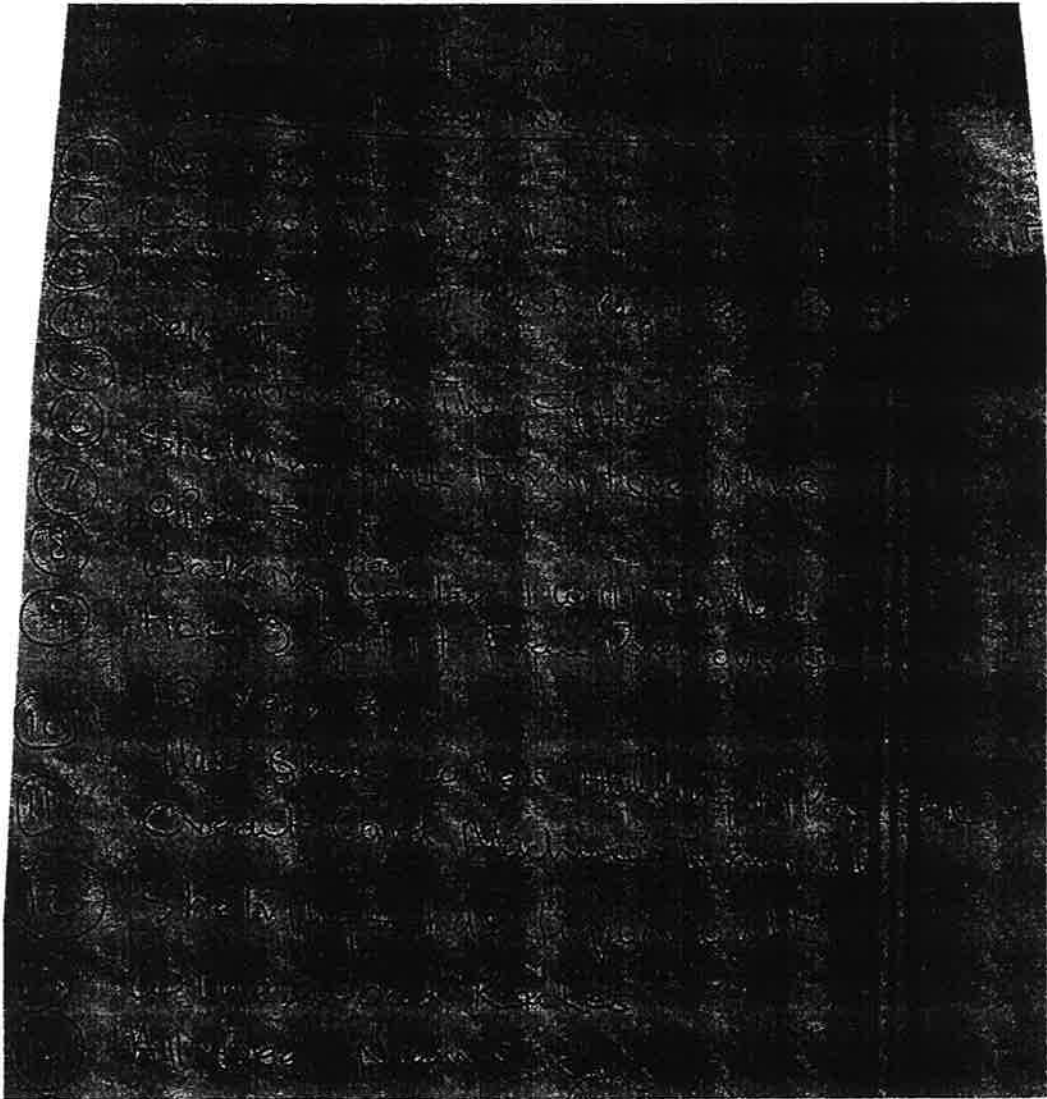
If yes, list the person, the law enforcement agency involved and the person's exact duties.

10. List the primary bank and/or financial institution (branch if applicable) to be utilized by the business.  
a) List the individual(s) who will be authorized to write checks and/or withdrawals on accounts at this institution.

First National Bank / Noel Vargas

11. List all past and present liquor licenses held in Nebraska or any other state by any person named in this application. Include license holder name, location of license and license number. Also list reason for termination of any license(s) previously held.

N/A.



List of Equipment owned  
By Vendor

- ① ALL Monster Cooler owned by Coke Co
- ② ALL Rock Star Energy Drink and  
Gatorade cooler owned by Pepsi Co
- ④ ALL Red Bull By The Front door  
Cooler owned by The Premier Midwest Co
- ⑤ ALL NOS Full Throttle Energy drink  
Owned by The Coke Co
- ⑥ Other Floor stand cooler has  
Beer in it owned by Bud weiser
- ⑦ Other Counter Top Cooler like  
Monster and Star Bucks Coffee  
Cooler owned by Coke Co also

12. List the alcohol related training and/or experience (when and where) of the person(s) making application. Those persons required are listed as followed:

- Individual: Applicant and spouse; spouse is exempt if they filed Form 116 – Affidavit of Non-Participation.
- Partnership: All partners and spouses, spouses are exempt if they filed Form 116 – Affidavit of Non-Participation.
- Limited Liability Company: All member of LLC, Manager and all spouses; spouses are exempt if they filed Form 116 – Affidavit of Non-Participation.
- Corporation: President, Stockholders holding 25% or more of shares, Manager and all spouses; spouses are exempt if they filed Form 116 – Affidavit of Non-Participation.

NLCC certified training program completed:

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)

List of NLCC certified training programs Experience:

Applicant Name/Job Title	Date of Employment:	Name & Location of Business

13. If the property for which this license is sought is owned, submit a copy of the deed, or proof of ownership. If leased, submit a copy of the lease covering the entire license year. **Documents must show title or lease held in name of applicant as owner or lessee in the individual(s) or corporate name for which the application is being filed.**

Lease: expiration date Feb 26, 2026  
 Deed  
 Purchase Agreement

14. When do you intend to open for business? as soon as possible. (7/14/2021)

15. What will be the main nature of business? grocery and liquor store.

16. What are the anticipated hours of operation? 7am - 10pm

17. List the principal residence(s) for the past 10 years for all persons required to sign, including spouses.

APPLICANT: CITY & STATE	YEAR		SPOUSE: CITY & STATE	YEAR	
	FROM	TO		FROM	TO
<u>4708 Blasgow Ave Omaha NE</u>	<u>2018</u>	<u>Present</u>			
<u>3010 S 38th St Omaha NE</u>	<u>2004</u>	<u>2018</u>			

If necessary attach a separate sheet.

The undersigned applicant(s) hereby consent(s) to an investigation of his/her background and release present and future records of every kind and description including police records, tax records (State and Federal), and bank or lending institution records, and said applicant(s) and spouse(s) waive(s) any right or causes of action that said applicant(s) or spouse(s) may have against the Nebraska Liquor Control Commission, the Nebraska State Patrol, and any other individual disclosing or releasing said information. Any documents or records for the proposed business or for any partner or stockholder that are needed in furtherance of the application investigation of any other investigation shall be supplied immediately upon demand to the Nebraska Liquor Control Commission or the Nebraska State Patrol. The undersigned understand and acknowledge that any license issued, based on the information submitted in this application, is subject to cancellation if the information contained herein is incomplete, inaccurate or fraudulent.

Individual applicants agree to supervise in person the management and operation of the business and that they will operate the business authorized by the license for themselves and not as an agent for any other person or entity. Corporate applicants agree the approved manager will superintend in person the management and operation of the business. Partnership applicants agree one partner shall superintend the management and operation of the business. All applicants agree to operate the licensed business within all applicable laws, rules, regulations, and ordinances and to cooperate fully with any authorized agent of the Nebraska Liquor Control Commission.

**Applicant Notification and Record Challenge:** Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in FBI identification record. The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.

Must be signed in the presence of a notary public by applicant(s) and spouse(s). See guideline for required signatures

Noel Vargas  
Signature of Applicant

\_\_\_\_\_  
Signature of Spouse

Noel Vargas  
Print Name

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Spouse

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Print Name

ACKNOWLEDGEMENT

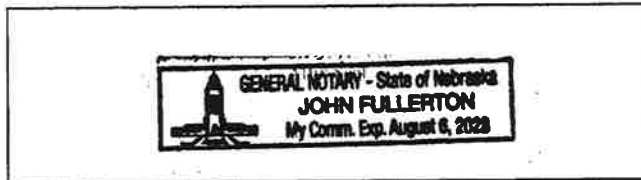
State of Nebraska  
County of Sarpy

The foregoing instrument was acknowledged before me this

7/21/2021  
date

by Noel Vargas  
name of person(s) acknowledged (individual(s) signing)

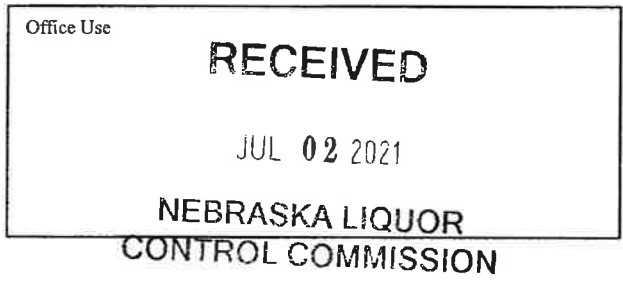
John Fullerton  
Notary Public signature



In compliance with the ADA, this application is available in other formats for persons with disabilities. A ten day advance period is required in writing to produce the alternate format.

**APPLICATION FOR LIQUOR LICENSE  
LIMITED LIABILITY COMPANY (LLC)  
INSERT - FORM 3b**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: [www.lcc.nebraska.gov](http://www.lcc.nebraska.gov)



All members including spouse(s), are required to adhere to the following requirements:

- 1) All members spouse(s) must be listed
- 2) Managing/Contact member and all members holding over 25% interest and their spouse(s) (if applicable) must submit fingerprints. See Form 147 for further information, this form MUST be included with your application.
- 3) Managing/Contact member and all members holding over 25 % shares of stock and their spouse (if applicable) must sign the signature page of the Application for License form 100 (even if a spousal affidavit has been submitted)

Attach copy of Articles of Organization (must show electronic stamp or barcode receipt by Secretary of States office)

Name of Registered Agent: \_\_\_\_\_

Name of Limited Liability Company that will hold license as listed on the Articles of Organization

LUVIMART, LLC

LLC Address: 4708 Glasgow Ave

City: Omaha State: NE Zip Code: 68157

LLC Phone Number: 402-290-0888 LLC Fax Number: 402-934-6666

Name of Managing/Contact Member

Name and information of contact member must be listed on following page

Last Name: Vargas First Name: Noel MI: \_\_\_\_\_

Home Address: 4708 Glasgow Ave City: Omaha

State: NE Zip Code: 68157 Home Phone Number: 402-290-0888

Noel Varga  
Signature of Managing/Contact Member

**ACKNOWLEDGEMENT**

State of Nebraska  
County of Sarpy

The foregoing instrument was acknowledged before me this

Date

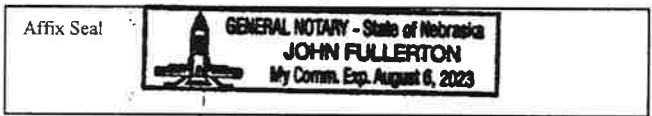
7/2/2021

by

Noel Vargas

name of person acknowledge

Affix Seal



List names of all members and their spouses (even if a spousal affidavit has been submitted)

Last Name: Vargas First Name: Noel MI: \_\_\_\_\_  
Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Spouse Full Name (indicate N/A if single): N/A  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership 100%

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_  
Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_  
Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_  
Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership \_\_\_\_\_

List names of all members and their spouses (even if a spousal affidavit has been submitted)

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Is the applying Limited Liability Company controlled by another corporation/company?

YES

NO

If yes, provide the following:

- 1) Name of corporation \_\_\_\_\_
- 2) Supply an organizational chart of the controlling corporation named above
- 3) Controlling corporation **MUST** be registered with the Nebraska Secretary of State, copy of articles must be submitted with application §53-126

---

Indicate the company's tax year with the IRS (Example January through December)

Starting Date: January Ending Date: December

---

Is this a Non Profit Corporation?

YES

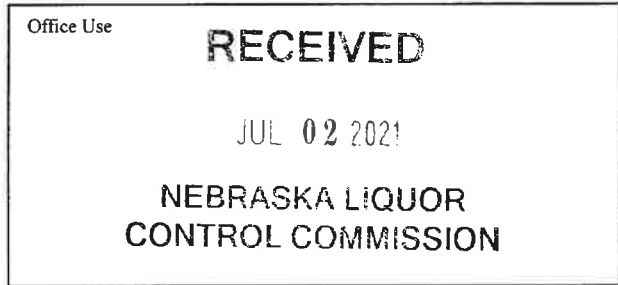
NO

If yes, provide the Federal ID #. \_\_\_\_\_

In compliance with the ADA, this corporation insert form 3a is available in other formats for persons with disabilities. A ten day advance period is requested in writing to produce the alternate format.

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**MUST BE:**

- ✓ Include copy of US birth certificate, naturalization paper or current US passport
- ✓ Nebraska resident. Include copy of voter registration card or print out document from Secretary of State website
- ✓ Fingerprinted. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application
- ✓ 21 years of age or older

**Corporation/LLC information**

Name of Corporation/LLC: LUVIMART LLC

**Premise information**

Liquor License Number: \_\_\_\_\_ Class Type \_\_\_\_\_ (if new application leave blank)

Premise Trade Name/DBA: Luvimart

Premise Street Address: 21009 Chandler Rd W

City: Bellevue County: Sarpy Zip Code: 68147

Premise Phone Number: 402-290-0888

Premise Email address: ladyvargas711@yahoo.com

The individual whose name is listed as a corporate officer or managing member as reported on insert form 3a or 3b or listed with the Commission. To see authorized officers or members search your license information [here](#).

  
**SIGNATURE REQUIRED BY CORPORATE OFFICER / MANAGING MEMBER**  
(Faxed signatures are acceptable)

**Manager's information must be completed below PLEASE PRINT CLEARLY**

Last Name: Vargas First Name: Noel MI: \_\_\_\_\_  
 Home Address: 4708 Glasgow Ave  
 City: Omaha County: Sarpy Zip Code: 68157  
 Home Phone Number: 402-290-0888  
 Driver's License Number & State: [REDACTED] Nebraska  
 Social Security Number: [REDACTED]  
 Date Of Birth: [REDACTED] Of Birth: Mexico  
 Email address: leslyvargas711@yahoo.com

Are you married? If yes, complete spouse's information (Even if a spousal affidavit has been submitted)

YES

NO

**Spouse's information**

Spouses Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_  
 Social Security Number: \_\_\_\_\_  
 Driver's License Number & State: \_\_\_\_\_  
 Date Of Birth: \_\_\_\_\_ Place Of Birth: \_\_\_\_\_

**APPLICANT & SPOUSE MUST LIST RESIDENCE(S) FOR THE PAST TEN (10) YEARS**  
 APPLICANT SPOUSE

CITY & STATE	YEAR FROM	YEAR TO	CITY & STATE	YEAR FROM	YEAR TO
4708 Glasgow Ave	2018	Present	Omaha NE 68157		
3010 S 38th St	2004	2018	Omaha NE 68105		

**MANAGER'S LAST TWO EMPLOYERS**

YEAR FROM	TO	NAME OF EMPLOYER	NAME OF SUPERVISOR	TELEPHONE NUMBER
		Self-employed		402-290-0888

**1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY.**

**Must be completed by both applicant and spouse, unless spouse has filed an affidavit of non-participation.**

Has anyone who is a party to this application, or their spouse, EVER been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea, include traffic violations. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES       NO

If yes, please explain below or attach a separate page.

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (City & State)	Description of Charge	Disposition

2. Have you or your spouse ever been approved or made application for a liquor license in Nebraska or any other state?

YES       NO

**IF YES,** list the name of the premise(s):

---

3. Do you, as a manager, qualify under Nebraska Liquor Control Act (§53-131.01) and do you intend to supervise, in person, the management of the business?

YES       NO

4. List the alcohol related training and/or experience (when and where) of the person making application.

\*NLCC Training Certificate Issued: \_\_\_\_\_ Name on Certificate: \_\_\_\_\_

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)

\*For list of NLCC Certified Training Programs see training

Experience:

Applicant Name / Job Title	Date of Employment:	Name & Location of Business:

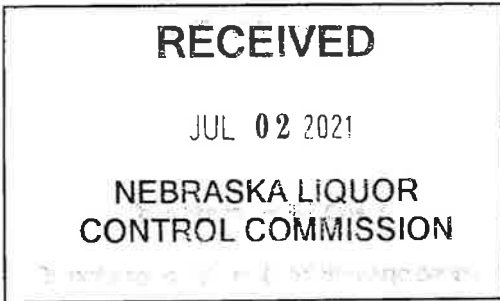
5. Have you enclosed form 147 regarding fingerprints?

YES       NO



**PRIVACY ACT STATEMENT/  
SUBMISSION OF FINGERPRINTS /  
PAYMENT OF FEES TO NSP-CID**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**THIS FORM IS REQUIRED TO BE SIGNED BY EACH PERSON BEING FINGERPRINTED:  
DIRECTIONS FOR SUBMITTING FINGERPRINTS AND FEE PAYMENTS:**

- **FAILURE TO FILE FINGERPRINT CARDS AND PAY THE REQUIRED FEE TO THE NEBRASKA STATE PATROL WILL DELAY THE ISSUANCE OF YOUR LIQUOR LICENSE**
- Fee payment of **\$45.25 per person** **MUST** be made **DIRECTLY** to the Nebraska State Patrol;  
It is recommended to make payment through the NSP PayPort online system at [www.ne.gov/go/nsp](http://www.ne.gov/go/nsp)  
Or a check made payable to **NSP** can be mailed directly to the following address:  
**\*\*\*Please indicate on your payment who the payment is for (the name of the person being fingerprinted) and the payment is for a Liquor License\*\*\***  
The Nebraska State Patrol – CID Division  
4600 Innovation Drive  
Lincoln, NE 68521
- Fingerprints taken at NSP LIVESCAN locations will be forwarded to NSP – CID  
*Applicant(s) will not have cards to include with license application.*
- Fingerprints taken at local law enforcement offices may be released to the applicants;  
*Fingerprint cards should be submitted with the application.*

**Applicant Notification and Record Challenge:** *Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record. The procedures for obtaining a change, correction, or updating a FBI identification record are set forth in Title 28, CFR, 16.34.*

\*\*\*\*Please Submit this form with your completed application to the Liquor Control Commission\*\*\*\*

Trade Name Luvimart

Name of Person Being Fingerprinted: Noel Vargas

Date of Birth [REDACTED] Last 4 SSN: [REDACTED]

Date fingerprints were taken: \_\_\_\_\_

Location where fingerprints were taken: Nebraska State Patrol (4411 S 108th St Omaha NE 68137)

How was payment made to NSP?

NSP PAYPORT  CASH  CHECK SENT TO NSP CK # \_\_\_\_\_

My fingerprints are already on file with the commission – fingerprints completed for a previous application less than 2 years ago? YES

Noel Vargas  
SIGNATURE REQUIRED OF PERSON BEING FINGERPRINTED

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

10d.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Susan Kluthe, City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input checked="" type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Application for A&K Sun Valley dba "Sundowner Bar" for Class "I" Liquor License at 5031 Harrison St., Bellevue to sell beer, wine, and distilled spirits and Kimberly M. Blecha as Manager.

SYNOPSIS/BACKGROUND:

A&K Sun Valley dba "Sundowner Bar" would like a Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only at 5031 Harrison St., Bellevue and for Kimberly M. Blecha as Manager. Applications are turned directly into the NE Liquor Control Commission by the applicant then forwarded on to the City Clerk's Office by the NE Liquor Control Commission. The Clerk publishes a hearing notice and the application is reviewed by the Police, Planning and Clerk and then submitted to the City Council for review and recommendation, and then forwarded to the NE Liquor Control Commission for final approval (if there are no issues).

FISCAL IMPACT: \$765.00/year BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO	COUNTER-PARTY:	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION:		
CONTRACT EFFECTIVE DATE:	CONTRACT TERM:	CONTRACT END DATE:
PROJECT NAME:		
START DATE:	END DATE:	PAYMENT DATE:
		INSURANCE REQUIRED: NO
CIP PROJECT NAME:	CIP PROJECT NUMBER:	
STREET DISTRICT NAME (S):	STREET DISTRICT NUMBER (S):	
ACCOUNTING DISTRIBUTION CODE:	ACCOUNT NUMBER:	

RECOMMENDATION:

Recommend approval of application A&K Sun Valley dba "Sundowner Bar" for a Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only at 5031 Harrison St., Bellevue and for Kimberly M. Blecha as Manager.

ATTACHMENTS:

- |                  |                   |                    |
|------------------|-------------------|--------------------|
| 1. Application   | 2. Clerk's Report | 3. Planning Report |
| 4. Police Report | 5.                | 6.                 |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*[Handwritten signatures in blue ink]*

# LIQUOR LICENSE APPLICATION REPORT

## City Clerk

APPLICANT: A&K Sun Valley LLC dba "Sundowner Bar"  
LOCATION/ADDRESS: 5031 Harrison Street, Bellevue, 68157  
REQUESTED ACTION: Recommendation to approve new application for Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only, at 5031 Harrison Street, Bellevue, AND for Kimberly Blecha as Manager.

DATE APPLICATION RECEIVED: 07/08/21

FINAL DATE HEARING CAN BE HELD (45 days from receipt): 08/13/21

DATE ADVERTISED (not less than 7 nor more than 14 days): 07/21/21

### CURRENT NUMBER OF LICENSES:

Class A (Beer on sale only): 2

Class B (Beer off sale only): 0

Class C (Alcoholic liquor, on and off sale): 22

Class D (Alcoholic liquor, off sale only): 27

Class I (Alcoholic liquor on sale only): 27

Class K (Catering License with Class B, C or D license): 5

Class X (Wholesale Liquor) 1

TOTAL 84

**LIQUOR LICENSE APPLICATION REPORT  
CITY OF BELLEVUE  
PLANNING DEPARTMENT**

**DATE OF CITY COUNCIL PUBLIC HEARING:** August 3, 2021

**DATE REPORT DUE TO CITY CLERK:** July 28, 2021

**APPLICANT:** A&K Sun Valley LLC dba "Sundowner Bar"

**ADDRESS:** 5031 Harrison Street, Bellevue 98004

**REQUESTED ACTION:** Recommendation to approve application for a Class "I" Liquor License to sell beer, wine, and distilled spirits, On Sale Only, 5031 Harrison St., Bellevue, and for Kimberly Blecha as Manager

**BACKGROUND:** New Application for Class "I" Liquor License

**IS THIS LOCATION WITHIN THE CITY LIMITS OF BELLEVUE?** Yes

**IS THIS LOCATION WITHIN THE CITY'S TWO-MILE ZONING JURISDICTION?** Yes

**EXISTING ZONING:** BGH – Heavy General Business District

**WILL ZONING ALLOW A LIQUOR LICENSE?** Yes

**EXISTING LAND USE:** Commercial - Bar

**IS THE CURRENT USE NON-CONFORMING?** No **EXPLANATION:** \_\_\_\_\_

**ADJACENT LAND USE AND ZONING:**

**NORTH:** Harrison Street Right-of-way

**SOUTH:** BGH, Commercial – Beauty Salon

**EAST:** RS-72, Single Family Residential

**WEST:** BG-PCO, Commercial – Family Fare Supermarket

**DISTANCE FROM SCHOOL (if applicable):** N/A

**DISTANCE FROM COLLEGE (if applicable):** N/A

**DISTANCE FROM CHURCH (if applicable):** N/A

**IMMEDIATE NEIGHBORHOOD/AREA LAND USES:** A&K Sun Valley LLC dba "Sundowner Bar" is located in a small area known as Sun Valley. This area consists of both commercial and residential properties. Family Fare Supermarket is to the west and residential properties to the east. Harrison Street right – of – way is to the north and Rudy's Salon is to the south.

**NUMBER OF PARKING SPACES REQUIRED:**       N/A       **PROVIDED:**       N/A      

**ANALYSIS OF NEIGHBORHOOD EFFECTS:** \_\_\_\_\_

**TRAFFIC:**   There is no traffic impact expected.  

**STREET/ACCESS:**       There is no street/access impact expected.      

**PEDESTRIAN:**       There is no pedestrian impact expected.      

**NOISE:**       There is no noise impact expected.      

**LIGHTING:**   There is no lighting impact expected  

**GENERAL COMMENTS:**   This is a commercial area that would accommodate on sale liquor sales.

APPLICATION FOR LIQUOR LICENSE  
AND CORPORATE MANAGER

**POLICE REPORT**

Date of City Council Meeting: August 3, 2021 Due to City Clerk: July 28, 2021


Applicant: A&K Sun Valley dba "Sundowner Bar"

Location/Address: 5031 Harrison St., Bellevue 68157

Requested Action:

Recommendation to approve application for a Class "I" Liquor License to sell, beer, wine, and distilled spirits, On Sale Only, for A&K Sun Valley dba "Sundowner Bar" at 5031 Harrison St., Bellevue, NE 68157 and Kimberly M. Blecha as Manager.

Individuals to be Checked:

<u>Name &amp; Address</u>	<u>DOB</u>
1. <u>Kimberly M. Blecha, 6917 Sun Valley Drive, Omaha, NE 68157</u>	
2. _____	

Comments:

*Approved*

Signature of Reviewer: Asst Chief [Signature] Date: 7-26-21

**APPLICATION FOR LIQUOR LICENSE  
CHECKLIST - RETAIL**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov

<b>RECEIVED</b>		
JUN 14 2021		
NEBRASKA LIQUOR CONTROL COMMISSION		
Hot List: YES <input type="radio"/> NO <input checked="" type="radio"/>	New/Replacing # <u>027334</u>	
Class Type <u>I</u>	<b>124375</b>	Initial <u>KF</u>

Applicant name A&K Sun Valley LLC

Trade name Sundowner Bar

Previous trade name N/A

Contact email address kmblech1975@gmail.com


Provide all the items requested. Failure to provide any item will cause this application to be returned or placed on hold. All documents must be legible. Any false statement or omission may result in the denial, suspension, cancellation or revocation of your license. If your operation depends on receiving a liquor license, the Nebraska Liquor Control Commission cautions you that if you purchase, remodel, start construction, spend or commit money that you do so at your own risk. Prior to submitting your application review the application carefully to ensure that all sections are complete, and that any omissions or errors have not been made. You may want to check with the city/village or county clerk, where you are making application, to see if any additional requirements must be met before submitting application to the Nebraska Liquor Control Commission.

*(Item list)*

*June 30, 21*

- Wrong Form 125*
- Wrong Form 100*
- Lease - Tenant is*
- A&K Sun Valley LLC*
- Sig Form 100 pg 8*
- Voter Reg*
- Residence #x*
- Diagram*

*TOP*

<p><small>Office use only</small></p> <p>PAYMENT TYPE <u>PayPort</u></p> <p>AMOUNT: <u>\$400-</u></p> <p>Received <u>BK</u></p>	 <p>2100006709</p>
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Kim Blecha <kmblech1975@gmail.com>

### Nebraska Liquor Control Commission - Receipt

1 message

nebraska <NoReplyOTC@egov.com>  
To: kmblech1975@gmail.com

Sun, Jun 13, 2021 at 9:13 PM

**PURCHASE RECEIPT**

**Nebraska Liquor Control Commission**

P.O. Box 95046  
Lincoln NE 68509-5046  
(402)471-4881  
jackie.matulka@nebraska.gov  
OTC Local Ref ID: 61445254  
6/13/2021 09:13 PM

Status: **APPROVED**  
Customer Name: Adam campbell  
Type: MasterCard  
Credit Card Number: \*\*\*\* \* 6548

Items	Quantity	TPE Order ID	Total Amount
Retail Liquor License (Class A, B, C, D, I, J, AB, AD, IB)	1	63421156	\$400.00
Applicant Name:: <b>A&amp;K Sun Valley LLC / Kimberly Blecha</b>			
Trade Name (DBA):: <b>Sundowner Bar</b>			
Address:: <b>5031 Harrison St</b>			
City:: <b>Omaha</b>			
State:: <b>NE</b>			
Zip Code:: <b>68157</b>			
Phone Number:: <b>4029810316</b>			
Email Address:: <b>Kmblech1975@gmail.com</b>			
Total remitted to the Nebraska Liquor Control Commission			\$400.00
Total Amount Charged			\$409.96

1.  Fingerprints are required for each person as defined in new application guide, found on our website under "Licensing Tab" in "Guidelines/Brochures". See Form 147 for further information, this form **MUST** be included with your application.
2.  Enclose application fee of \$400 (nonrefundable), check made payable to the Nebraska Liquor Control Commission or you may pay online at PAYPORT.
3.  Enclose the appropriate application forms;
  - Individual License (requires insert form 1)
  - Partnership License (requires insert form 2)
  - Corporate License (requires insert form 3a & 3c)
  - Limited Liability Company (LLC) (requires form 3b & 3c)
4.  If building is being leased send a copy of signed lease. Be sure the lease reads in the name of the individual(s), corporation or Limited Liability Company (LLC) making application. Lease term must run through the license year being applied for.
5.  If building is owned or being purchased send a copy of the deed or purchase agreement in the name of the applicant.
6.  If buying the business of a current liquor license holder:
  - a. Provide a copy of the purchase agreement from the seller (must read applicants name)
  - b. Provide a copy of alcohol inventory being purchased (must include brand names and container size)
  - c. Enclose a list of the assets being purchased (furniture, fixtures and equipment)
7.  If requesting to operate on current liquor license; enclose Temporary Operating Permit (TOP) (Form 125).
8.  Enclose a list of any inventory or property owned by other parties that are on the premises.
9.  For citizenship enclose U.S. birth certificate; U.S. passport or naturalization paper
  - a. For residency enclose proof of registered voter in Nebraska
  - b. If permanent resident include Employment Authorization Card or Permanent Resident Card
  - c. See guideline for further assistance
10.  Corporation or Limited Liability Company (LLC) must enclose a copy of articles of incorporation; as filed with the Secretary of State's Office.
11.  Submit a copy of your business plan.

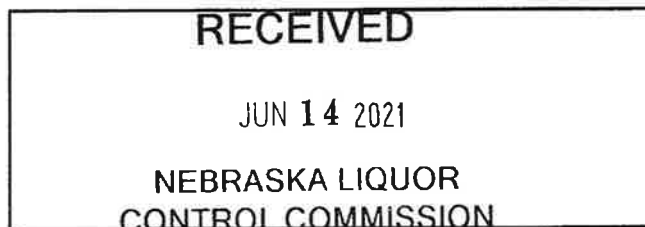
**I acknowledge that this application is not a guarantee that a liquor license will be issued to me, and that the average processing period is 60 days. Furthermore, I understand that all the information is truthful and I accept all responsibility for any false documents.**

✓ Kimberly Blaska  
 Signature

6-13-21  
 Date

**APPLICATION FOR LIQUOR LICENSE  
RETAIL**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov/



**CLASS OF LICENSE FOR WHICH APPLICATION IS MADE AND FEES  
CHECK DESIRED CLASS**

- RETAIL LICENSE(S)** Application Fee \$400 (nonrefundable)
- A BEER, ON SALE ONLY
  - B BEER, OFF SALE ONLY
  - C BEER, WINE, DISTILLED SPIRITS, ON AND OFF SALE
  - D BEER, WINE, DISTILLED SPIRITS, OFF SALE ONLY
  - I BEER, WINE, DISTILLED SPIRITS, ON SALE ONLY
  - J LIMITED ALCOHOLIC LIQUOR, OFF SALE – MUST INCLUDE SUPPLEMENTAL FORM 120
  - AB BEER, ON AND OFF SALE
  - AD BEER ON SALE ONLY, BEER, WINE, DISTILLED SPIRITS OFF SALE
  - IB BEER, WINE, DISTILLED SPIRITS ON SALE, BEER OFF SALE ONLY

Class K Catering license (requires catering application form 106) \$100.00

Additional fees will be assessed at city/village or county level when license is issued

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Class C license term runs from November 1 – October 31  
All other licenses run from May 1 – April 30  
Catering license (K) expires same as underlying retail license

**CHECK TYPE OF LICENSE FOR WHICH YOU ARE APPLYING**

- Individual License (requires insert 1 FORM 104)
- Partnership License (requires insert 2 FORM 105)
- Corporate License (requires insert 3a FORM 101 & 3c FORM 103)
- Limited Liability Company (LLC) (requires form 3b FORM 102 & 3c FORM 103)

**NAME OF ATTORNEY OR FIRM ASSISTING WITH APPLICATION (if applicable)  
Commission will call this person with any questions we may have on this application**

Name N/A Phone number: \_\_\_\_\_

Firm Name \_\_\_\_\_

**PREMISES INFORMATION**

Trade Name (doing business as) Sundowner Bar

Street Address #1 5031 Harrison St

Street Address #2 \_\_\_\_\_

City Omaha

County Sarpy

59

Zip Code 68157

T 2246

Premises Telephone number 402-934-5484

Business e-mail address Sundowner5031@gmail.com

Is this location inside the city/village corporate limits:

YES

x

NO

\_\_\_\_\_

Mailing address (where you want to receive mail from the Commission)

Name Kimberly Blecha

Street Address #1 5031 Harrison St

Street Address #2 \_\_\_\_\_

City Omaha

State NE

Zip Code 68157

**DESCRIPTION AND DIAGRAM OF THE STRUCTURE TO BE LICENSED**  
**READ CAREFULLY**

In the space provided or on an attachment draw the area to be licensed. This should include storage areas, basement, outdoor area, sales areas and areas where consumption or sales of alcohol will take place. If only a portion of the building is to be covered by the license, you must still include dimensions (length x width) of the licensed area as well as the dimensions of the entire building. No blue prints please. **Be sure to indicate the direction north and number of floors of the building.**

\*\*For on premises consumption liquor licenses minimum standards must be met by providing at least two restrooms

Building: length 45.5 x width 48.5 in feet

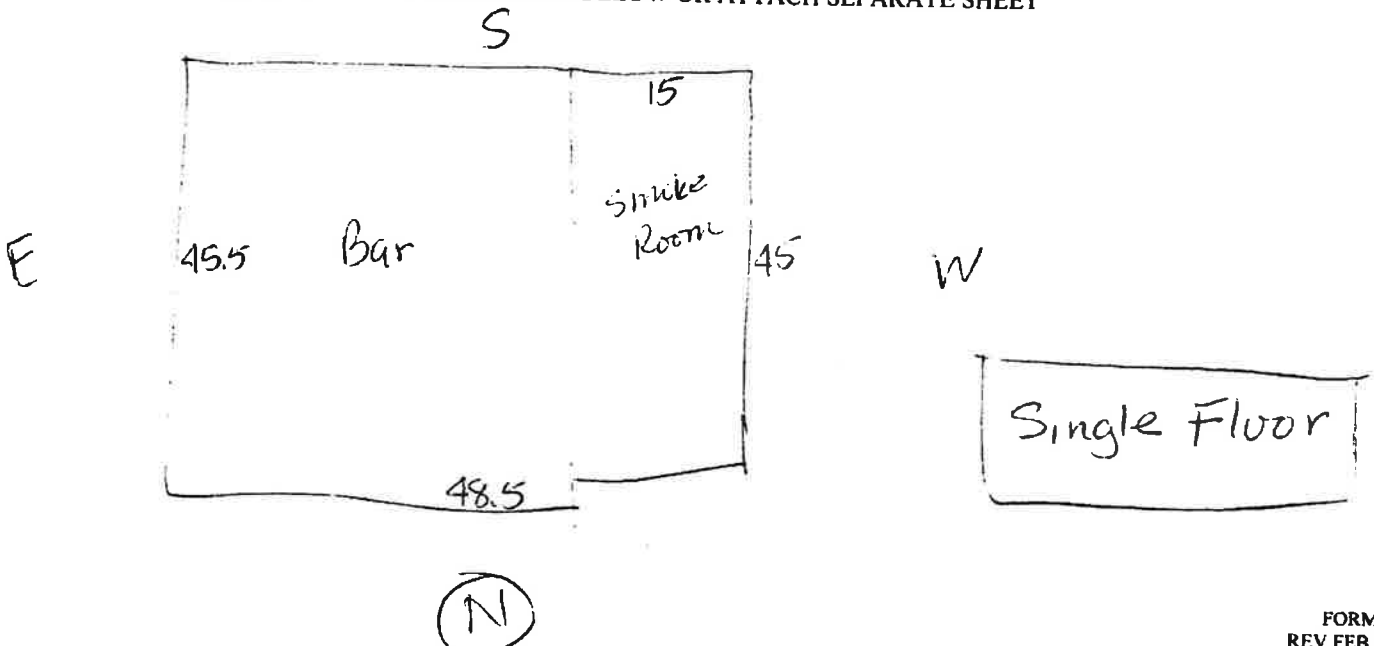
Is there a basement? Yes \_\_\_\_\_ No x

If yes, length \_\_\_\_\_ x width \_\_\_\_\_ in feet

Is there an outdoor area? Yes x No \_\_\_\_\_

If yes, length 45 x width 15 in feet

PROVIDE DIAGRAM OF AREA TO BE LICENSED BELOW OR ATTACH SEPARATE SHEET



**APPLICANT INFORMATION**

**1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY §53-125(5)**

Has anyone who is a party to this application, or their spouse, **EVER** been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. **Include traffic violations.** Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES  NO

If yes, please explain below or attach a separate page

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (city & state)	Description of Charge	Disposition
Kimberly Blecha	1992?	Bellevue, NE	Speeding Ticket	paid fine
Kimberly Blecha	1995?	Omaha, NE	Speeding Ticket	took class and paid fine
Kimberly Blecha	2001?	Lincoln, NE	Parking Ticket	paid fine

√ 2. Are you buying the business of a current retail liquor license?

YES  NO

If yes, give name of business and liquor license number KDL INC dba SUNDOWNER BAR 027334

- a) Submit a copy of the sales agreement
- b) Include a list of alcohol being purchased, list the name brand, container size and how many
- c) Submit a list of the furniture, fixtures and equipment

√ 3. Was this premise licensed as liquor licensed business within the last two (2) years?

YES  NO

If yes, give name and license number KDL INC dba SUNDOWNER BAR 027334

√ 4. Are you filing a temporary operating permit (TOP) to operate during the application process?

YES  NO

If yes:

- a) Attach temporary operating permit (TOP) (Form 125)
- b) TOP will only be accepted at a location that currently holds a valid liquor license.

5. Are you borrowing any money from any source, include family or friends, to establish and/or operate the business?

YES  NO

If yes, list the lender(s) ADAM CAMPBELL

6. Will any person or entity, other than applicant, be entitled to a share of the profits of this business?

YES  NO

If yes, explain. (all involved persons must be disclosed on application)

ADAM CAMPBELL - member of LLC

**No silent partners**

7. Will any of the furniture, fixtures and equipment to be used in this business be owned by others?

YES  NO

If yes, list such item(s) and the owner. Dart Boards (NTS)

8. Is premises to be licensed within 150 feet of a church, school, hospital, home for the aged or indigent persons or for veterans, their wives, and children, or within 300 feet of a college or university campus?

YES  NO

If yes, provide name and address of such institution and where it is located in relation to the premises (Neb. Rev. Stat. 53-177)(1)

Provide letter of support or opposition, see FORM 134 - church or FORM 135 - campus

9. Is anyone listed on this application a law enforcement officer?

YES  NO

If yes, list the person, the law enforcement agency involved and the person's exact duties.

10. List the primary bank and/or financial institution (branch if applicable) to be utilized by the business.

a) List the individual(s) who will be authorized to write checks and/or withdrawals on accounts at this institution.

Wells Fargo - Kimberly Blecha & Adam Campbell

11. List all past and present liquor licenses held in Nebraska or any other state by any person named in this application. Include license holder name, location of license and license number. Also list reason for termination of any license(s) previously held.

N/A

12. List the alcohol related training and/or experience (when and where) of the person(s) making application. Those persons required are listed as followed:

- Individual: Applicant and spouse; spouse is exempt if they filed Form 116 – Affidavit of Non-Participation.
- Partnership: All partners and spouses, spouses are exempt if they filed Form 116 – Affidavit of Non-Participation.
- Limited Liability Company: All member of LLC, Manager and all spouses; spouses are exempt if they filed Form 116 – Affidavit of Non-Participation.
- Corporation: President, Stockholders holding 25% or more of shares, Manager and all spouses; spouses are exempt if they filed Form 116 – Affidavit of Non-Participation.

NLCC certified training program completed:

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)
N/A		

List of NLCC certified training programs Experience:

Applicant Name/Job Title	Date of Employment:	Name & Location of Business
Kim Blecha/Bar Manager/Bartender	2008-2021	Shooters Pool & Sports Bar

13. If the property for which this license is sought is owned, submit a copy of the deed, or proof of ownership. If leased, submit a copy of the lease covering the entire license year. **Documents must show title or lease held in name of applicant as owner or lessee in the individual(s) or corporate name for which the application is being filed.**

- Lease: expiration date June 30, 2031  
 Deed  
 Purchase Agreement

14. When do you intend to open for business? July 1, 2021

15. What will be the main nature of business? Bar and Lounge

16. What are the anticipated hours of operation? 3pm-2am M-TH - noon to 2am F,Sa,Su

17. List the principal residence(s) for the past 10 years for all persons required to sign, including spouses.

RESIDENCES FOR THE PAST 10 YEARS, APPLICANT AND SPOUSE MUST COMPLETE					
APPLICANT: CITY & STATE	YEAR		SPOUSE: CITY & STATE	YEAR	
	FROM	TO		FROM	TO
<u>Kimberly Blecha</u> Omaha & Bellevue NE	<u>1975</u>	<u>2021</u>	<u>Present</u>		
<u>Adam Campbell:</u> Bellevue, NE	<u>1996</u>	<u>present</u>			

If necessary attach a separate sheet.

The undersigned applicant(s) hereby consent(s) to an investigation of his/her background and release present and future records of every kind an description including police records, tax records (State and Federal), and bank or lending institution records, and said applicant(s) and spouse(s) waive( any right or causes of action that said applicant(s) or spouse(s) may have against the Nebraska Liquor Control Commission, the Nebraska State Patrol, an any other individual disclosing or releasing said information. Any documents or records for the proposed business or for any partner or stockholder th are needed in furtherance of the application investigation of any other investigation shall be supplied immediately upon demand to the Nebraska Liqu Control Commission or the Nebraska State Patrol. The undersigned understand and acknowledge that any license issued based on the informatio submitted in this application, is subject to cancellation if the information contained herein is incomplete, inaccurate or fraudulent.

Individual applicants agree to supervise in person the management and operation of the business and that they will operate the business authorized by th license for themselves and not as an agent for any other person or entity. Corporate applicants agree the approved manager will superintend in person th management and operation of the business. Partnership applicants agree one partner shall superintend the management and operation of the business. Al applicants agree to operate the licensed business within all applicable laws, rules, regulations, and ordinances and to cooperate fully with any authorize agent of the Nebraska Liquor Control Commission.

**Applicant Notification and Record Challenge:** Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunit to complete or challenge the accuracy of the information contained in FBI identification record. The procedures for obtaining a change, correction, o updating an FBI identification record are set forth in Title 28, CFR, 16.34.

Must be signed in the presence of a notary public by applicant(s) and spouse(s). See guideline for required signatures

Kimberly M. Blecha  
Signature of Applicant

\_\_\_\_\_  
Signature of Spouse

Kimberly M. Blecha  
Print Name

\_\_\_\_\_  
Print Name

[Signature]  
Signature of Applicant

\_\_\_\_\_  
Signature of Spouse

Adam C. Campbell  
Print Name

\_\_\_\_\_  
Print Name

ACKNOWLEDGEMENT

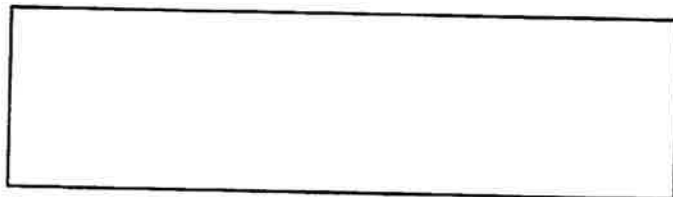
State of Nebraska  
County of \_\_\_\_\_

The foregoing instrument was acknowledged before me this

\_\_\_\_\_ by \_\_\_\_\_  
date

\_\_\_\_\_ name of person(s) acknowledged (individual(s) signing)

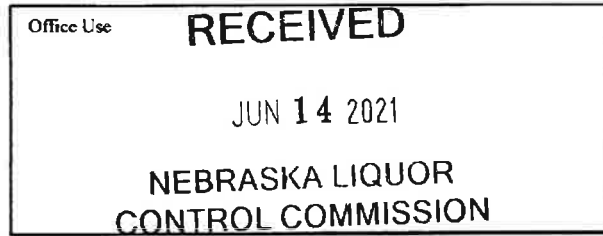
\_\_\_\_\_  
Notary Public signature



In compliance with the ADA, this application is available in other formats for persons with disabilities. A ten day advance period is required in writing to produce the alternate format.

**APPLICATION FOR LIQUOR LICENSE  
LIMITED LIABILITY COMPANY (LLC)  
INSERT - FORM 3b**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: [www.lcc.nebraska.gov](http://www.lcc.nebraska.gov)



All members including spouse(s), are required to adhere to the following requirements:

- 1) All members spouse(s) must be listed
- 2) Managing/Contact member and all members holding over 25% interest and their spouse(s) (if applicable) must submit fingerprints. See Form 147 for further information, this form MUST be included with your application.
- 3) Managing/Contact member and all members holding over 25 % shares of stock and their spouse (if applicable) must sign the signature page of the Application for License form 100 (even if a spousal affidavit has been submitted)

Attach copy of Articles of Organization (must show electronic stamp or barcode receipt by Secretary of States office)

Name of Registered Agent: Zachary Ahlf

Name of Limited Liability Company that will hold license as listed on the Articles of Organization  
A&K Sun Valley LLC

LLC Address: 5031 <sup>Harrison</sup> Harrison St

City: Omaha State: NE Zip Code: 68157 +3246

LLC Phone Number: 402-981-0316 LLC Fax Number: \_\_\_\_\_

Name of Managing/Contact Member

Name and information of contact member must be listed on following page

Last Name: Blecha First Name: Kimberly MI: M

Home Address: 6917 Sun Valley Dr City: Omaha

State: NE Zip Code: 68157 +2105 Home Phone Number: 402-981-0316

*Kimberly M. Blecha*

Signature of Managing/Contact Member

**ACKNOWLEDGEMENT**

State of Nebraska  
County of \_\_\_\_\_

The foregoing instrument was acknowledged before me this

Date

by

name of person acknowledge

Affix Seal

List names of all members and their spouses (even if a spousal affidavit has been submitted)

Last Name: Blecha First Name: Kimberly MI: M  
Social Security Number: [REDACTED] Date of Birth: [REDACTED]  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership 50%

---

Last Name: Campbell First Name: Adam MI: C  
Social Security Number: [REDACTED] Date of Birth: [REDACTED]  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership 50%

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_  
Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_  
Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Spouse Full Name (indicate N/A if single): \_\_\_\_\_  
Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_  
Percentage of member ownership \_\_\_\_\_

List names of all members and their spouses (even if a spousal affidavit has been submitted)

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Spouse Full Name (indicate N/A if single): \_\_\_\_\_

Spouse Social Security Number: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Percentage of member ownership \_\_\_\_\_

---

Is the applying Limited Liability Company controlled by another corporation/company?

YES

NO

If yes, provide the following:

- 1) Name of corporation \_\_\_\_\_
- 2) Supply an organizational chart of the controlling corporation named above
- 3) Controlling corporation **MUST** be registered with the Nebraska Secretary of State, copy of articles must be submitted with application §53-126

---

Indicate the company's tax year with the IRS (Example January through December)

Starting Date: January 1 Ending Date: December 31

---

Is this a Non Profit Corporation?

YES

NO

If yes, provide the Federal ID #. \_\_\_\_\_

# Nebraska Secretary of State

## A&K SUN VALLEY, LLC

Mon Jun 14 10:24:04 2021

**SOS Account Number**

2106201958

**Status**

Active

**Principal Office Address**

No address on file

**Registered Agent and Office Address**

ZACHARY AHLF

SUITE 1

11590 WEST DODGE ROAD

OMAHA, NE 68154

**Designated Office Address**

5031 HARRISON STREET

OMAHA, NE 68157

**Nature of Business**

Not Available

**Entity Type**

Domestic LLC

Qualifying State: NE

**Date Filed**

Jun 02 2021

**Next Report Due Date**

Jan 01 2023

### Filed Documents

Filed documents for A&K SUN VALLEY, LLC may be available for purchase and downloading by selecting the Purchase Now button. Your Nebraska.gov account will be charged the indicated amount for each item you view. If no Purchase Now button appears, please contact Secretary of State's office to request document(s).

Document	Date Filed	Price	
Certificate of Organization	Jun 02 2021	\$0.45 = 1 page(s) @ \$0.45 per page	Purchase Now

### Good Standing Documents

- If you need your Certificate of Good Standing Apostilled or Authenticated for use in another country, you must contact the Nebraska Secretary of State's office directly for information and instructions. Documents obtained from this site cannot be Apostilled or Authenticated.

#### Online Certificate of Good Standing with Electronic Validation

**\$6.50**

This certificate is available for immediate viewing/printing from your desktop. A Verification ID is provided on the certificate to validate authenticity online at the Secretary of State's website.

# STATE OF NEBRASKA

United States of America,     } ss.  
State of Nebraska                }

Secretary of State  
State Capitol  
Lincoln, Nebraska

I, Robert B. Evnen, Secretary of State of the  
State of Nebraska, do hereby certify that

## A&K SUN VALLEY, LLC

**a Limited Liability Company filed a Certificate of Organization on June 2,  
2021.**

**I further certify that attached is a true and correct copy of the above  
mentioned Certificate of Organization.**

*This certificate is not to be construed as an endorsement,  
recommendation, or notice of approval of the entity's financial  
condition or business activities and practices.*

In Testimony Whereof,



I have hereunto set my hand and  
affixed the Great Seal of the  
State of Nebraska on this date of

**June 2, 2021**

A handwritten signature in black ink, appearing to read "Robert B. Evnen".

Secretary of State

**CERTIFICATE OF ORGANIZATION  
OF  
A&K SUN VALLEY, LLC**

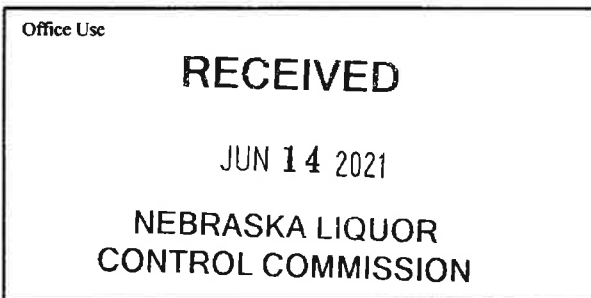
I, the undersigned, a natural person of the age of twenty-one years or more, acting as Organizer of a Limited Liability Company under the Nebraska Uniform Limited Liability Company Act, adopt the following Certificate of Organization for such Limited Liability Company.

1. **Name:** The name of this Limited Liability Company is A&K SUN VALLEY, LLC.
2. **Duration:** The period of duration of the Company shall be perpetual.
3. **Purpose:** The purposes for which the Company is organized are to engage in any and all lawful business for which a limited liability company may be organized under the laws of the State of Nebraska, including, but not limited to, the acquisition, ownership, leasing, subleasing, and operation of real property, and the provision of administrative services.
4. **Powers:** The Company shall have and exercise all powers and rights conferred upon a Limited Liability Company by the Nebraska Uniform Limited Liability Company Act (the "Act"), and any enlargement of such powers conferred by subsequent legislative acts.
5. **Initial Designated Office:** The address of the initial designated office of the Company in Nebraska is 5031 Harrison Street, Omaha, NE 68157.
6. **Initial Registered Office and Initial Registered Agent:** The street address of the initial registered office of the Limited Liability Company is 11590 West Dodge Road, Suite 1, Omaha, Nebraska 68154, and the initial registered agent at such address is Zachary Ahlf.
7. **Name and Address of Organizer:** The name and address of the Organizer is Zachary Ahlf, 11590 West Dodge Road, Suite 1, Omaha, Nebraska, 68154.

 \_\_\_\_\_ DATE: 6-2-21

**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: [www.lcc.nebraska.gov](http://www.lcc.nebraska.gov)



**FORM MUST BE COMPLETELY FILLED OUT IN ORDER FOR APPLICATION TO BE PROCESSED**

**MANAGER MUST:**

- Complete all sections of the application. Be sure it is signed by a **member or corporate officer**, corporate officer or member must be an individual on file with the Liquor Control Commission
- Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: US birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the State of Nebraska, include a copy of voter card or print document from Secretary of State website with application

Spouse who **will not** participate in the business, **spouse must:**

- Complete the Spousal Affidavit of Non Participation Insert (must be notarized). The non-participating spouse completes the top half; the manager completes the bottom half. **Be sure to complete both halves of this form.**
- Need not answer question #1 of the application

Spouse who **will** participate in the business, the **spouse must:**

- Sign the application
- Fingerprints are required. See form 147 for further information, read form carefully to avoid delays in processing, this form **MUST** be included with your application.
- Provide a copy of one of the following: birth certificate, naturalization papers or current US passport (even if you have provided this before)
- Be a registered voter in the state of Nebraska, include a copy of voter card with application
- Spousal Affidavit of Non Participation Insert **not** required



**MANAGER APPLICATION  
INSERT - FORM 3c**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov

Office Use
<b>RECEIVED</b>
JUN 14 2021
NEBRASKA LIQUOR CONTROL COMMISSION

**MUST BE:**

- ✓ Include copy of US birth certificate, naturalization paper or current US passport
- ✓ Nebraska resident. Include copy of voter registration card or print out document from Secretary of State website
- ✓ Fingerprinted. See form 147 for further information, read form carefully to avoid delays in processing, this form MUST be included with your application
- ✓ 21 years of age or older

---

**Corporation/LLC information**

Name of Corporation/LLC: A&K Sun Valley LLC

---

**Premise information**

Liquor License Number: \_\_\_\_\_ Class Type I (if new application leave blank)

Premise Trade Name/DBA: Sundowner Bar

Premise Street Address: 5031 Harrison St

City: Omaha County: Sarpy Zip Code: 68157 <sup>r</sup> 2246

Premise Phone Number: 402-934-5484

Premise Email address: sundowner5031@gmail.com

---

The individual whose name is listed as a corporate officer or managing member as reported on insert form 3a or 3b or listed with the Commission. To see authorized officers or members search your license information [here](#).



**SIGNATURE REQUIRED BY CORPORATE OFFICER / MANAGING MEMBER**

(Faxed signatures are acceptable)

**Manager's information must be completed below PLEASE PRINT CLEARLY**

Last Name: Blecha First Name: Kimbery MI: M

Home Address: 6917 Sun Valley Dr

City: Omaha County: Sarpy Zip Code: 68157 +2105

Home Phone Number: 402-981-0316

Driver's License Number & State: NE [REDACTED]

Social Security Number: [REDACTED]

Date Of Birth: [REDACTED] Place Of Birth: Omaha, NE

Email address: kmblech1975@gmail.com

Are you married? If yes, complete spouse's information (Even if a spousal affidavit has been submitted)

YES  NO

**Spouse's information**

Spouses Last Name: \_\_\_\_\_ First Name: \_\_\_\_\_ MI: \_\_\_\_\_

Social Security Number: \_\_\_\_\_

Driver's License Number & State: \_\_\_\_\_

Date Of Birth: \_\_\_\_\_ Place Of Birth: \_\_\_\_\_

**APPLICANT & SPOUSE MUST LIST RESIDENCE(S) FOR THE PAST TEN (10) YEARS**  
**APPLICANT SPOUSE**

CITY & STATE	YEAR FROM	YEAR TO	CITY & STATE	YEAR FROM	YEAR TO
Omaha/Bellevue, NE	1975	2021			

**MANAGER'S LAST TWO EMPLOYERS**

YEAR FROM TO		NAME OF EMPLOYER	NAME OF SUPERVISOR	TELEPHONE NUMBER
2008	2021	Shooters Pool & Sports Bar	Daris Peterson	402-960-1911
1994	2019	Diamond Marketing Communications	Pat Sullivan	402-981-3989

**1. READ CAREFULLY. ANSWER COMPLETELY AND ACCURATELY.**

**Must be completed by both applicant and spouse, unless spouse has filed an affidavit of non-participation.**

Has anyone who is a party to this application, or their spouse, **EVER** been convicted of or plead guilty to any charge. Charge means any charge alleging a felony, misdemeanor, violation of a federal or state law; a violation of a local law, ordinance or resolution. List the nature of the charge, where the charge occurred and the year and month of the conviction or plea, **include traffic violations**. Also list any charges pending at the time of this application. If more than one party, please list charges by each individual's name. Commission must be notified of any arrests and/or convictions that may occur after the date of signing this application.

YES       NO

If yes, please explain below or attach a separate page.

Name of Applicant	Date of Conviction (mm/yyyy)	Where Convicted (City & State)	Description of Charge	Disposition
Kimberly Blecha	1992?	Bellevue, NE	speeding	paid fine
Kimberly Blecha	1995?	Omaha, NE	speeding	took class, paid fine
Kimberly Blecha	2001?	Lincoln, NE	parking ticket	paid fine

**2. Have you or your spouse ever been approved or made application for a liquor license in Nebraska or any other state?**

YES       NO

**IF YES, list the name of the premise(s):**

---

**3. Do you, as a manager, qualify under Nebraska Liquor Control Act (§53-131.01) and do you intend to supervise, in person, the management of the business?**

YES       NO

4. List the alcohol related training and/or experience (when and where) of the person making application.

\*NLCC Training Certificate Issued: \_\_\_\_\_ Name on Certificate: \_\_\_\_\_

Applicant Name	Date (mm/yyyy)	Name of program (attach copy of course completion certificate)
NA		

\*For list of NLCC Certified Training Programs see training

Experience:

Applicant Name / Job Title	Date of Employment:	Name & Location of Business:
Kim Blecha / Bar Manager	2008-2021	Shooters Pool & Sports Bar

5. Have you enclosed form 147 regarding fingerprints?

YES       NO

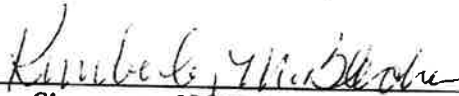
**PERSONAL OATH AND CONSENT OF INVESTIGATION**

The above individual(s), being first duly sworn upon oath, deposes and states that the undersigned is the applicant and/or spouse of applicant who makes the above and foregoing application that said application has been read and that the contents thereof and all statements contained therein are true. If any false statement is made in any part of this application, the applicant(s) shall be deemed guilty of perjury and subject to penalties provided by law. (Sec §53-131.01) Nebraska Liquor Control Act.

The undersigned applicant hereby consents to an investigation of his/her background including all records of every kind and description including police records, tax records (State and Federal), and bank or lending institution records, and said applicant and spouse waive any rights or causes of action that said applicant or spouse may have against the Nebraska Liquor Control Commission and any other individual disclosing or releasing said information to the Nebraska Liquor Control Commission. If spouse has **NO** interest directly or indirectly, a spousal affidavit of non-participation may be attached.

The undersigned understand and acknowledge that any license issued, based on the information submitted in this application, is subject to cancellation if the information contained herein is incomplete, inaccurate, or fraudulent.

***Applicant Notification and Record Challenge:** Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in FBI identification record. The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.*

  
\_\_\_\_\_  
**Signature of Manager Applicant**

\_\_\_\_\_  
**Signature of Spouse**

**ACKNOWLEDGEMENT**

State of Nebraska  
County of Sarpy

The foregoing instrument was acknowledged before me this

\_\_\_\_\_ date

by \_\_\_\_\_  
**NAME OF PERSON BEING ACKNOWLEDGED**

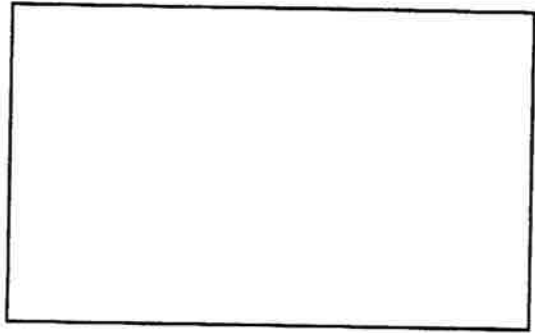
\_\_\_\_\_  
Notary Public signature

Affix Seal

In compliance with the ADA, this application is available in other formats for persons with disabilities. A ten day advance period is required in writing to produce the alternate format.

**PRIVACY ACT STATEMENT/  
SUBMISSION OF FINGERPRINTS /  
PAYMENT OF FEES TO NSP-CID**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: www.lcc.nebraska.gov



**THIS FORM IS REQUIRED TO BE SIGNED BY EACH PERSON BEING FINGERPRINTED:  
DIRECTIONS FOR SUBMITTING FINGERPRINTS AND FEE PAYMENTS:**

- **FAILURE TO FILE FINGERPRINT CARDS AND PAY THE REQUIRED FEE TO THE NEBRASKA STATE PATROL WILL DELAY THE ISSUANCE OF YOUR LIQUOR LICENSE**
- Fee payment of **\$45.25 per person** **MUST** be made **DIRECTLY** to the Nebraska State Patrol;  
It is recommended to make payment through the **NSP PayPort** online system at [www.ne.gov/go/osp](http://www.ne.gov/go/osp)  
Or a check made payable to **NSP** can be mailed directly to the following address:  
**\*\*\*Please indicate on your payment who the payment is for (the name of the person being fingerprinted) and the payment is for a Liquor License\*\*\***  
The Nebraska State Patrol – CID Division  
4600 Innovation Drive  
Lincoln, NE 68521
- Fingerprints taken at NSP LIVESCAN locations will be forwarded to NSP – CID  
*Applicant(s) will not have cards to include with license application.*
- Fingerprints taken at local law enforcement offices may be released to the applicants;  
*Fingerprint cards should be submitted with the application.*

*Applicant Notification and Record Challenge: Your fingerprints will be used to check the criminal history records of the FBI. You have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record. The procedures for obtaining a change, correction, or updating a FBI identification record are set forth in Title 28, CFR, 16.34.*

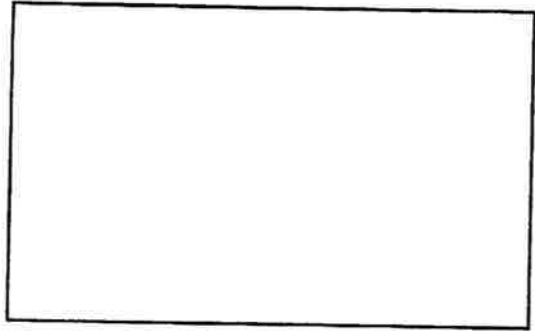
\*\*\*\*Please Submit this form with your completed application to the Liquor Control Commission\*\*\*\*

Trade Name A&K Sun Valley LLC (dba Sundowner)  
Name of Person Being Fingerprinted: Kimberly M. Beecher  
Date of Birth: [REDACTED] Last 4 SSN: [REDACTED]  
Date fingerprints were taken: 05-12-2021 [REDACTED]  
Location where fingerprints were taken: NE St. Patrol 4411 S. 108th St.  
How was payment made to NSP?  
 NSP PAYPORT  CASH  CHECK SENT TO NSP CK # \_\_\_\_\_  
My fingerprints are already on file with the commission – fingerprints completed for a previous application less than 2 years ago? YES

Kimberly M. Beecher  
SIGNATURE REQUIRED OF PERSON BEING FINGERPRINTED

**PRIVACY ACT STATEMENT/  
SUBMISSION OF FINGERPRINTS /  
PAYMENT OF FEES TO NSP-CID**

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
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- **FAILURE TO FILE FINGERPRINT CARDS AND PAY THE REQUIRED FEE TO THE NEBRASKA STATE PATROL WILL DELAY THE ISSUANCE OF YOUR LIQUOR LICENSE**
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It is recommended to make payment through the **NSP PayPort** online system at [www.ne.gov/go/nsp](http://www.ne.gov/go/nsp)  
Or a check made payable to **NSP** can be mailed directly to the following address:  
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**\*\*\*\*Please Submit this form with your completed application to the Liquor Control Commission\*\*\*\***

Trade Name A&K Sun Valley LLC (dba Sundowner)

Name of Person Being Fingerprinted: Adam C. Carnobell

Date of Birth: [REDACTED] Last 4 SSN: [REDACTED]

Date fingerprints were taken: 06-15-2021

Location where fingerprints were taken: NE St. Patrol 4411 S. 108th St.

How was payment made to NSP?

NSP PAYPORT  CASH  CHECK SENT TO NSP CK # \_\_\_\_\_

My fingerprints are already on file with the commission – fingerprints completed for a previous application less than 2 years ago? YES

[Signature]  
SIGNATURE REQUIRED OF PERSON BEING FINGERPRINTED

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

COUNCIL MEETING DATE: 07/20/2021		SUBMITTED BY: Tammi Palm		TITLE: Planning Manager	
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>		SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>		ORDINANCE <input checked="" type="checkbox"/>		PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>		CURRENT BUSINESS <input type="checkbox"/>		OTHER <input type="checkbox"/>	

SUBJECT:

Approval of a request to rezone Lot 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres and a platting of Tax Lots D9H, D9D, D9C, and D9B all located in the Northwest 1/4 of Section 16, T14N, R13E, of the 6th P.M., Sarpy County, Nebraska from BGH and BNH to BGH and RG-50 for the purpose of existing commercial and residential development; preliminary plat Lots 1 through 5, Svendsen Acres Replat One; final plat Lots 1 through 5, Svendsen Acres Replat One; and waiver of Section 6-4, Subdivision Regulations, Street Design Standards. Applicant: Svendsen Real Estate, LLC, Barbara Shannon. General Location: 3501 Harrison Street.

SYNOPSIS/BACKGROUND:

Barbara Shannon, on behalf of Svendsen Real Estate, LLC, is requesting approval of a change of zone and to preliminary plat and final plat Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B, to bring existing commercial and residential development into conformance with the Zoning Ordinance. The property is currently zoned BNH and BGH. Proposed Lots 1 and 2 will be zoned BGH, while Lots 3, 4, and 5 will be zoned RG-50 for residential lots. The proposed zoning aligns with the existing uses and structures and would bring the properties into conformance.

FISCAL IMPACT:  BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: YES

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Department and Planning Commission have recommended approval of this application.

ATTACHMENTS:

1. Planning Commission Recommendation Sheet 2. Staff Report 3. Rezoning Ordinance 4044

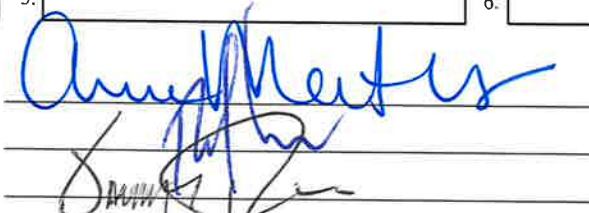
4.  5.  6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

APPLICANT: Svendsen Real Estate, LLC  
CASE #'s: Z-2105-05, S-2105-08, S-2105-09  
CITY COUNCIL HEARING DATE: July 20, 2021

REQUEST: to rezone Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen's Acres and a platting of Tax Lots D9H, D9D, D9C, and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska from BGH and BNH to BGH and RG-50 for the purpose of existing commercial and residential development; preliminary plat Lots 1 through 5, Svendsen Acres Replat One; final plat of Lots 1 through 5, Svendsen Acres Replat One; and waiver of Section 6-4, Subdivision Regulations, Street Design Standards.

On June 24, 2021 the City of Bellevue Planning Commission voted six yes, zero no, three absent and zero abstained:

**APPROVAL** based upon conformance with the Zoning Ordinance, Subdivision Regulations, and lack of perceived negative impact to the surrounding area.

### VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Three:
	Casey						Cain
	Aerni						Perrin
	Ritz						Jacobson
	Ackley						
	Hankins						
	Cutsforth						

Planning Commission Hearing (s) was held on: June 24, 2021

# CITY OF BELLEVUE PLANNING DEPARTMENT

## RECOMMENDATION REPORT # 2

CASE NUMBERS: Z-2105-05  
S-2105-08  
S-2105-09

FOR HEARING OF:  
REPORT #1: June 24, 2021  
REPORT #2: July 20, 2021

### I. GENERAL INFORMATION

#### A. APPLICANT:

Svendsen Real Estate, LLC  
Attn: Barbara Shannon  
3351 Harrison Street  
Bellevue, NE 68147

#### B. PROPERTY OWNER:

Svendsen Real Estate, LLC  
3351 Harrison Street  
Bellevue, NE 68147  
C/O Barbara Shannon

Barbara Shannon  
3341 Harrison Street  
Bellevue, NE 68147

#### C. GENERAL LOCATION:

3501 Harrison Street

#### D. LEGAL DESCRIPTION:

Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, NE.

**E. REQUESTED ACTIONS:**

1. Rezone Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C and D9B, from BGH and BNH to BGH and RG-50.
2. Preliminary plat Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C and D9B.
3. Final plat Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C and D9B.
4. Waiver of Section 6-4, Subdivision Regulations, regarding Street Design Standards.

**F. EXISTING ZONING AND LAND USE:**

BGH and BNH, Single Family Residential and Commercial.

**G. PURPOSE OF REQUEST:**

The purpose of this request is to obtain a change in zone, preliminary plat, and final plat approval to bring existing commercial and residential development into conformance with the Zoning Ordinance.

**H. SIZE OF SITE:**

The site is approximately 4.69 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:**

Proposed Lot 1 is currently developed as a commercial building for automotive repair with a parking lot on the north side of the building and a cell tower. Proposed Lot 2 is currently developed with commercial buildings. Proposed Lot 3 is currently developed with a single family residence. Proposed Lot 4 is currently built with a single family residence and an accessory building on the northeast portion of the property. Proposed Lot 5 is currently built with a single family residence and an accessory building on the southeast portion of the property.

**B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

1. **North:** Harrison Street/Bellevue Zoning Limits
2. **East:** Single Family Residential, RG-50
3. **South:** Single Family Residential, RG-50
4. **West:** Commercial, BG-PCO

**C. REVELANT CASE HISTORY:**

On June 24, 2021, the Planning Commission recommended approval of a request to rezone Lots 1 through 5, Svendsen Acres Replat One, being a platting of Tax Lots D9H, D9D, D9C, and D9B, from BGH and BNH to BGH and RG-50 for the purpose of existing commercial and residential development; preliminary plat Lots 1 through 5, Svendsen Acres Replat One; final plat Lots 1 through 5, Svendsen Acres Replat One; and waiver of Section 6-4, Subdivision Regulations, Street Design Standards.

**D. APPLICABLE REGULATIONS:**

1. Section 5.12, Zoning Ordinance, regarding RG-50 uses and requirements.
2. Section 5.24, Zoning Ordinance, regarding BGH uses and requirements.
3. Chapter 3, Subdivision Regulations, regarding Preliminary Plats.
4. Chapter 4, Subdivision Regulations, regarding Final Plats.
5. Chapter 7, Subdivision Regulations, regarding Hardship and Waivers

**III. ANALYSIS**

**A. COMPREHENSIVE PLAN:**

The Future Land Use Map of the Comprehensive Plan designates this area as commercial.

**B. OTHER PLANS:**

None

**C. TRAFFIC AND ACCESS:**

1. MAPA traffic data indicates 5,500 vehicles per day along Harrison Street near the intersection of South 36<sup>th</sup> Street.
2. This property will have access from existing drives along Harrison Street.

**D. UTILITES:**

All utilities are available to this location.

## E. ANALYSIS:

1. Barbara Shannon, on behalf of Svendsen Real Estate LLC has submitted a request to preliminary plat and final plat Lots 1 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B.

2. In conjunction with the replat, the applicant is also requesting a change of zone for Lots 1 through 5, Svendsen Acres Replat One, from BNH and BGH to BGH and RG-50.

Proposed Lots 1 and 2 will be zoned BGH, while Lots 3, 4, and 5 will be zoned RG-50 for residential lots. The proposed zoning aligns with the existing uses and structures, bringing the properties into conformance. Under the previous zoning regulations, the pyramidal zoning structure allowed for residential uses in commercial zoning districts. The current Zoning Ordinance grandfathered the residential structures on this property.

The proposed lots conform with their requested zoning designations.

3. This application was sent out to the following departments/individuals for review: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, Sarpy County Planning Director, Deputy County Administrator, Sarpy County Public Works Department, Sarpy County IS/GIS/Public Safety, Metro Area Planning Agency, Metropolitan Utilities District, CenturyLink, Omaha Public Power District, Black Hills Energy, Cox Communications, Papio NRD, and the Omaha Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Matt Knight, Public Works Engineer, and Michael Sharp, Sarpy County Public Works Surveyor, made comments pertaining to technical revisions to the preliminary plat and final plat. The applicant's engineer has since satisfied these comments.

No other comments were received on this case.

4. Along with the zoning and platting requests, the applicant is requesting a waiver of Section 6-4, Subdivision Regulations, pertaining to minimum design standards for private streets. The Subdivision Regulations require access drives serving more than one property meet the standards outlined in Section 6-4. Proposed Lots 3, 4, and 5 currently share one residential driveway. The applicant is requesting this continue to be allowed without conforming to the standards of a private street. Due to the existing conditions and the fact no additional residences are being added as a part of this request, staff is supportive of the waiver.

Existing easements are in place for the shared access. This will not change with the requested platting.

5. The Future Land Use Map of the Comprehensive Plan shows this property commercial. A motion to approve should also include a motion to amend the Future Land Use Map to medium density residential for proposed Lots 3, 4, and 5.

**F. TECHNICAL DEFICIENCIES:**

None

**IV. DEPARTMENT RECOMMENDATION**

APPROVAL based upon conformance with the Zoning Ordinance, Subdivision Regulations, and lack of perceived negative impact to the surrounding area.

**V. PLANNING COMMISSION RECOMMENDATION**

APPROVAL based upon conformance with the Zoning Ordinance, Subdivision Regulations, and lack of perceived negative impact to the surrounding area.

**VI. ATTACHMENTS TO REPORT**

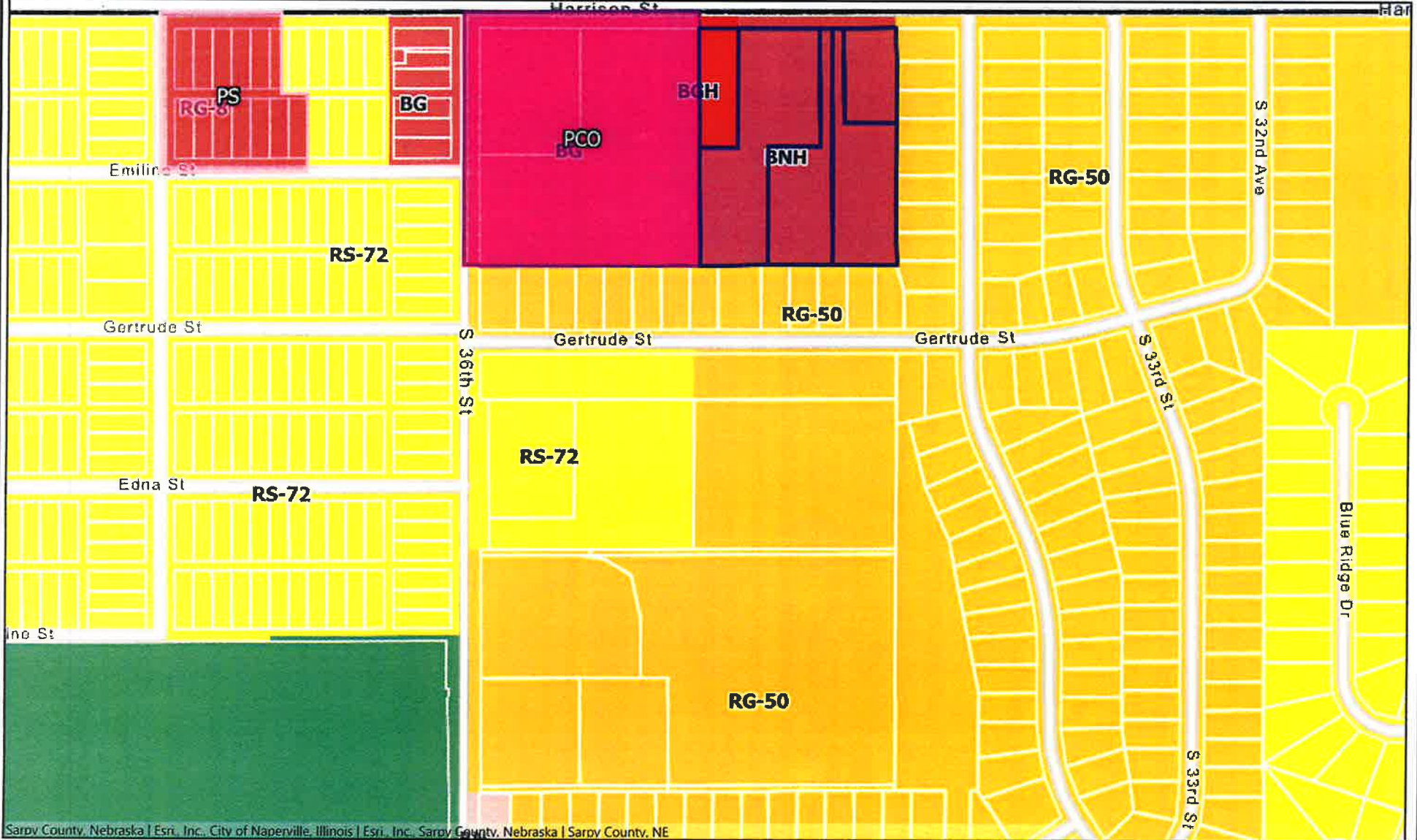
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Zoning justification from Jeff Stoll dated May 21, 2021
4. Zoning exhibit received June 15, 2021
5. Waiver request from Jeff Stoll dated May 21, 2021
6. Preliminary plat received June 15, 2021
7. Final plat received June 15, 2021

**VII. COPIES OF REPORT TO:**

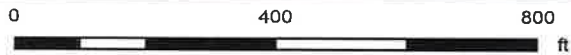
1. Svendsen Real Estate, LLC (Barbara Shannon)
2. Pat Sullivan, Adams and Sullivan
3. E & A Consulting Group, Inc. (Jeff Stoll)
4. Public Upon Request

  
Assistant Planning Manager Date 6/28/21

  
Planning Manager Date 06/28/21



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 4514

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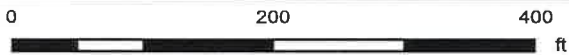


Notes





Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

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Notes





E & A CONSULTING GROUP, INC.

*Engineering Answers*

10909 Mill Valley Road, Suite 100 • Omaha, NE 68154-3950

P 402.895.4700 • F 402.895.3599

www.eacg.com

May 21, 2021

Tammi Palm  
City of Bellevue, NE  
1510 Wall Street  
Bellevue, NE 68005

RE: Svendsen Acres Replat One – Zoning Justification Letter  
E & A File: P2020.225.002

Dear Tammi,

On behalf of our client, Svendsen Real Estate, LLC, we recommend that the Svendsen Acres Replat One development, which is currently zoned as BGH (Heavy General Business District) and BNH (Heavy Neighborhood Business District), be rezoned to BGH (Heavy General Business District) and RG-50 (General Residential District). We believe that the proposed rezoning request is in line with the type of zoning districts surrounding the proposed plat. The RG-50 zoning compliments with the adjacent Chandler Acres development to the East and South and the BGH zoning compliments with the Harrison Square development to the west. We believe that both zoning requests will generally comply with the City of Bellevue Comprehensive Plan.

If you have any questions regarding this justification letter, please contact me at 402-895-4700 or by email at [jstoll@eacg.com](mailto:jstoll@eacg.com).

Sincerely,  
E & A Consulting Group, Inc.

A handwritten signature in blue ink, appearing to read 'Jeff Stoll', is written over a faint, larger blue signature graphic.

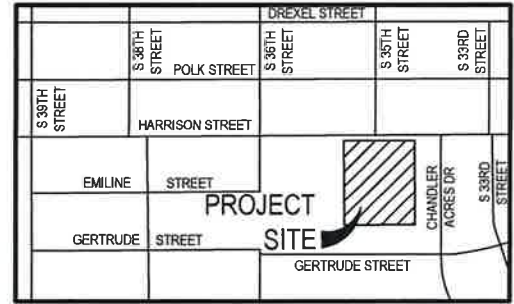
Jeff Stoll  
Platting Services Assistant Manager

RECEIVED  
MAY 21 2021  
PLANNING DEPT.

# SVENDSEN ACRES REPLAT ONE

LOTS 1 THRU 5 INCLUSIVE

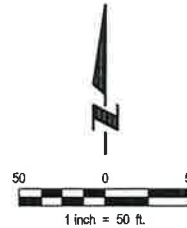
A TRACT OF LAND BEING LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH TAX LOTS D9H, D9D, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH, P.M., SARPY COUNTY NEBRASKA.



VICINITY MAP

BGH ZONING SETBACK TABLE	
FRONT YARD	0'
SIDE YARD	0'
STREET SIDE YARD	0'
REAR YARD	0'

RG-50 ZONING SETBACK TABLE	
FRONT YARD	35'
SIDE YARD	5'
STREET SIDE YARD	15'
REAR YARD	25'



LEGEND

- BOUNDARY LINE
- LOT LINE
- - - CHANGE OF ZONE LINE

LEGAL DESCRIPTION

A TRACT OF LAND BEING LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH TAX LOTS D9H, D9D, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH, P.M., SARPY COUNTY NEBRASKA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, SVENDSEN ACRES, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 2, HARRISON SQUARE, A SUBDIVISION LOCATED IN SAID SECTION 16, AND ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET, THENCE N89°48'41"E (ASSUMED BEARING) ALONG THE NORTH LINE OF SAID LOT 1, SVENDSEN ACRES, SAID LINE ALSO BEING THE NORTH LINE OF SAID TAX LOTS D9H, D9D, D9C AND D9A, SAID LINE ALSO BEING SAID SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET, A DISTANCE OF 412.83 FEET TO THE NORTHEAST CORNER OF SAID TAX LOT D9B, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 230, CHANDLER ACRES, A SUBDIVISION LOCATED IN SAID SECTION 16; THENCE S00°17'30"E ALONG THE EAST LINE OF SAID TAX LOT D9B, SAID LINE ALSO BEING THE EAST LINE OF SAID TAX LOT D9C, AND ALSO BEING THE WEST LINE OF LOTS 222 THRU 230, SAID CHANDLER ACRES, A DISTANCE OF 494.85 FEET TO THE SOUTHEAST CORNER OF SAID TAX LOT D9C, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 220, SAID CHANDLER ACRES, THENCE S89°45'23"W ALONG THE SOUTH LINE OF SAID TAX LOTS D9C, D9D AND D9H, SAID LINE ALSO BEING THE NORTH LINE OF LOTS 214 THRU 220, SAID CHANDLER ACRES, A DISTANCE OF 412.44 TO THE SOUTHWEST CORNER OF SAID TAX LOT D9H, THENCE N66°20'12"W ALONG THE WEST LINE OF SAID TAX LOT D9H, SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 1, SVENDSEN ACRES, AND ALSO THE EAST LINE OF SAID LOT 2, HARRISON SQUARE, A DISTANCE OF 495.25 FEET TO THE POINT OF BEGINNING.

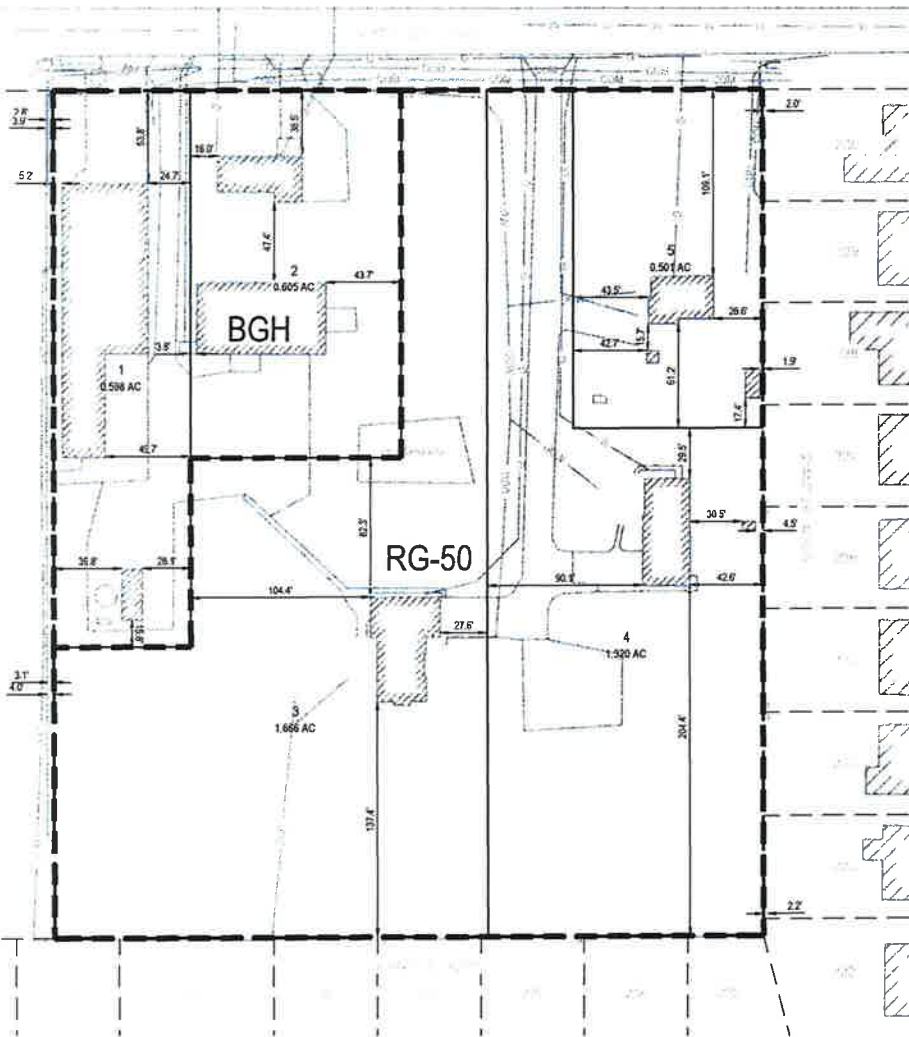
SAID TRACT OF LAND CONTAINS AN AREA OF 204,278 SQUARE FEET OR 4.680 ACRES, MORE OR LESS

RECEIVED  
JUN 15 2021  
PLANNING DEPT

DEVELOPER/OWNER  
SVENDSEN REAL ESTATE, LLC  
3351 HARRISON STREET  
BELLEVUE, NE 68147

OWNER  
BARBARA A. SHANNON  
3341 HARRISON STREET  
BELLEVUE, NE 68147

ZONING:	
EXISTING	BGH, BNH
PROPOSED:	BGH, LOTS 1 & 2 1.203 AC
	RG-50, LOTS 3 THRU 5 3.487 AC
TOTAL	4.680 AC



Proj No:	P2020 225.002
Date:	05/21/2021
Designed By:	JRS
Drawn By:	EHN
Scale:	1" = 50'
Sheet:	1 of 1

Revisions	
Date	Description

CHANGE OF ZONE EXHIBIT

SVENDSEN ACRES REPLAT ONE  
LOTS 1 THRU 5 INCLUSIVE  
BELLEVUE, NEBRASKA



**E & A CONSULTING GROUP, INC.**  
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May 21, 2021

Tammi Palm  
Planning Department  
City of Bellevue, NE  
1510 Wall Street  
Bellevue, NE 68005

RE: Svendsen Acres Replat One – Preliminary Plat, Final Plat & Change of Zone Submittal  
E & A File: P2020.225.002

Dear Tammi,

On behalf of our client, Svendsen Real Estate, LLC, we hereby submit an application for the above referenced project. The subject property is located near the Southeast Corner of 36<sup>th</sup> Street and Harrison Street. We are proposing to rezone this property from BGH and BNH to BDH and RG-50, which will comply with the City of Bellevue Comprehensive Plan.

With this submittal we are requesting a waiver on the Section 6-4 – Street Design Standards of the Subdivision Regulations.

Justification: Due do the existing structure located on the site, we request to continue to utilize the existing shared driveway for the three residential lots. This will help to reduce the amount driveway access points and help with any potential sight distancing concerns to Harrison Street as Harrison Street is classified as a major arterial street. Utilizing the existing shared drive, which has an easement over top, will help with the three residential lots meet the zoning lot width requirements for RG-50.

All documents included are listed on the attached transmittal. If you have any questions regarding this application, please contact me at 402-895-4700 or by email at [jstoll@eacg.com](mailto:jstoll@eacg.com).

Sincerely,  
E & A Consulting Group, Inc.

Jeff Stoll  
Planning Services Assistant Manager

RECEIVED

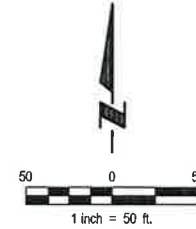
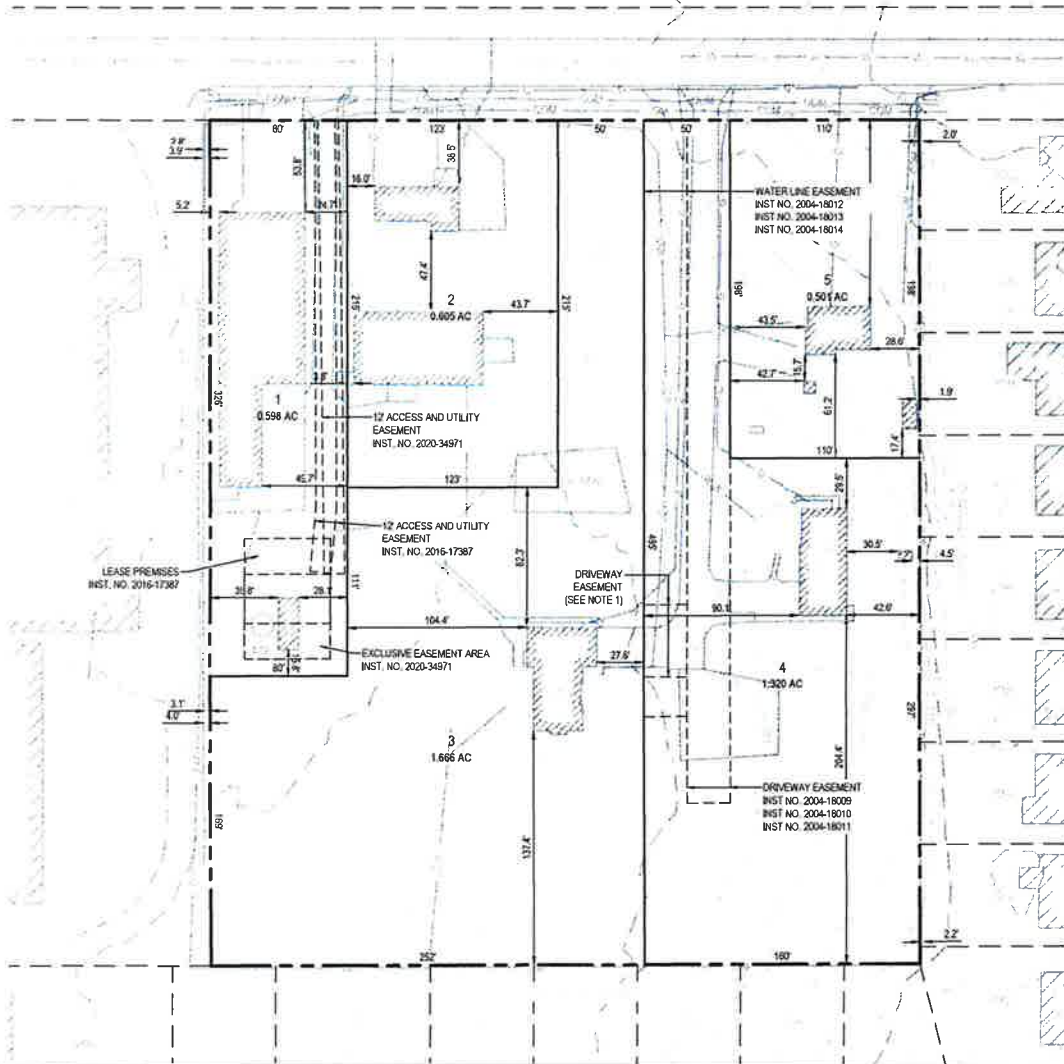
MAY 21 2021

PLANNING DEPT.

# SVENDSEN ACRES REPLAT ONE

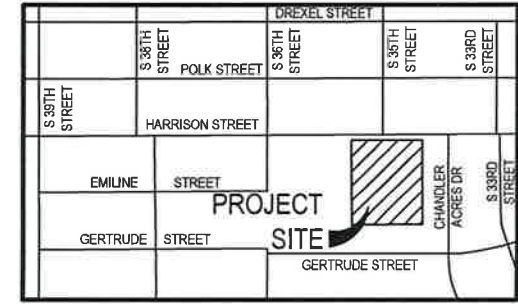
LOTS 1 THRU 5 INCLUSIVE

BEING A REPLATTING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH A PLATTING OF TAX LOTS D9H, D9D, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH, P.M., SARPY COUNTY NEBRASKA.



### LEGEND

- BOUNDARY LINE
- LOT LINE
- - - EASEMENTS
- SETBACK LINE
- ▨ EXIST. BUILDING
- EXIST. MAJOR CONTOURS
- EXIST. MINOR CONTOURS
- G - G - GAS LINE
- W - W - WATER LINE
- OHP - OHP - POWER LINE (OVERHEAD)
- UGP - UGP - POWER LINE (UNDER GROUND)
- UGW - UGW - WATER LINE (UNDER GROUND)
- SS - SS - SANITARY SEWER LINE
- ST - ST - STORM SEWER LINE
- COM - COM - COMMUNICATIONS LINE



### VICINITY MAP

BGH ZONING SETBACK TABLE	
FRONT YARD	0'
SIDE YARD	0'
STREET SIDE YARD	0'
REAR YARD	0'

RG-50 ZONING SETBACK TABLE	
FRONT YARD	35'
SIDE YARD	5'
STREET SIDE YARD	15'
REAR YARD	25'

### LEGAL DESCRIPTION

A TRACT OF LAND BEING LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH TAX LOTS D9H, D9D, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH, P.M., SARPY COUNTY NEBRASKA.

SAID TRACT OF LAND CONTAINS AN AREA OF 204,278 SQUARE FEET OR 4.690 ACRES, MORE OR LESS.

### DEVELOPER/OWNER

SVENDSEN REAL ESTATE, LLC  
3351 HARRISON STREET  
BELLEVUE, NE 68147

### OWNER

BARBARA A. SHANNON  
3341 HARRISON STREET  
BELLEVUE, NE 68147

### ZONING:

EXISTING	BGH, BNH	
PROPOSED:	BGH, LOTS 1 & 2	1.203 AC
	RG-50, LOTS 3 THRU 5	3.487 AC
TOTAL		4.690 AC

### NOTES:

- ALL EASEMENTS THAT ARE NOT LABELED WITH ANY RECORDING INFORMATION WILL BE RECORDED BY A SEPARATE DOCUMENT.
- TYPICAL UTILITY EASEMENTS WILL BE DEDICATED WITH THE FINAL PLAT.

RECEIVED

JUN 15 2021

PLANNING DEPT.

Revisions	
Date	Description
05/21/2021	REVISED PER CITY COMMENTS

PRELIMINARY PLAT

SVENDSEN ACRES REPLAT ONE  
LOTS 1 THRU 5 INCLUSIVE  
BELLEVUE, NEBRASKA



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Phone: 402.895.4700 • Fax: 402.895.3599  
www.eaag.com

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JUN 15 2021

PLANNING DEPT.

# SVENDSEN ACRES REPLAT ONE

LOTS 1 THRU 5 INCLUSIVE  
BEING A REPLATING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 18, ALSO TOGETHER WITH A PLATTING OF TAX LOTS D98, D99, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 18, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY NEBRASKA.

### DEDICATION

I HEREBY CERTIFY THAT I HAVE MADE A GROUND SURVEY OF THE SUBDIVISION DESCRIBED HEREIN AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED ON THE BOUNDARY OF THE WITHIN PLAT AND STAKES AT ALL CORNERS OF ALL LOTS, STREETS AND ANGLE POINTS IN SVENDSEN ACRES REPLAT ONE (THE LOTS NUMBERED AS SHOWN) BEING A REPLATTING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 18, ALSO TOGETHER WITH A PLATTING OF TAX LOTS D98, D99, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 18, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS

### SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT I HAVE MADE A GROUND SURVEY OF THE SUBDIVISION DESCRIBED HEREIN AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED ON THE BOUNDARY OF THE WITHIN PLAT AND STAKES AT ALL CORNERS OF ALL LOTS, STREETS AND ANGLE POINTS IN SVENDSEN ACRES REPLAT ONE (THE LOTS NUMBERED AS SHOWN) BEING A REPLATTING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 18, ALSO TOGETHER WITH A PLATTING OF TAX LOTS D98, D99, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 18, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, SVENDSEN ACRES, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 2, HARRISON SQUARE, A SUBDIVISION LOCATED IN SAID SECTION 18, AND ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET; THENCE N89°48'41"E (AS SHOWN HEREON) ALONG THE NORTH LINE OF SAID LOT 1, SVENDSEN ACRES, SAID LINE ALSO BEING THE NORTH LINE OF SAID TAX LOTS D98, D9C AND D9A, SAID LINE ALSO BEING SAID SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET, A DISTANCE OF 412.50 FEET TO THE NORTHEAST CORNER OF SAID TAX LOT D9B, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 226, CHANDLER ACRES, A SUBDIVISION LOCATED IN SAID SECTION 18; THENCE S89°17'39"E ALONG THE EAST LINE OF SAID TAX LOT D9B, SAID LINE ALSO BEING THE EAST LINE OF SAID TAX LOT D9C, AND ALSO BEING THE WEST LINE OF LOTS 222 THRU 220, SAID CHANDLER ACRES, A DISTANCE OF 464.45 FEET TO THE SOUTHEAST CORNER OF SAID TAX LOT D9C, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 220, SAID CHANDLER ACRES; THENCE S89°48'41"E ALONG THE SOUTH LINE OF SAID TAX LOTS D9C, D9D AND D9B, SAID LINE ALSO BEING THE NORTH LINE OF LOTS 214 THRU 209, SAID CHANDLER ACRES, A DISTANCE OF 412.44 TO THE SOUTHWEST CORNER OF SAID TAX LOT D9B; THENCE S89°20'27"W ALONG THE WEST LINE OF SAID TAX LOT D9B, SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 1, SVENDSEN ACRES AND ALSO THE EAST LINE OF SAID LOT 2, HARRISON SQUARE, A DISTANCE OF 465.25 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS AN AREA OF 294,275 SQUARE FEET OR 4.89 ACRES, MORE OR LESS.

SVENDSEN REAL ESTATE, L.L.C. A NEBRASKA LIMITED LIABILITY COMPANY

BARBARA A. SHANNON, MEMBER DATE

BARBARA A. SHANNON

BARBARA A. SHANNON, OWNER DATE

### ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA )

COUNTY OF \_\_\_\_\_ )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY CAME BARBARA A. SHANNON, MEMBER OF SVENDSEN REAL ESTATE, L.L.C. A NEBRASKA LIMITED LIABILITY COMPANY, WHO IS PERSONALLY KNOWN TO ME THE IDENTICAL PERSON WHOSE NAME IS AFFIXED TO THE DEDICATION ON THIS PLAT AND ACKNOWLEDGED THE SAME TO BE HER VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC

### ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA )

COUNTY OF \_\_\_\_\_ )

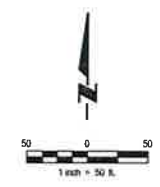
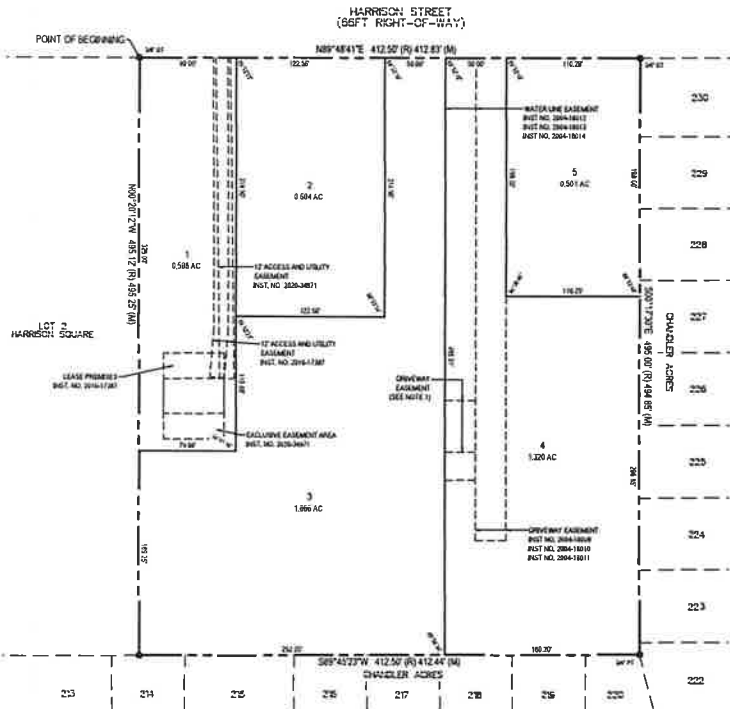
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY CAME BARBARA A. SHANNON, OWNER, WHO IS PERSONALLY KNOWN TO ME THE IDENTICAL PERSON WHOSE NAME IS AFFIXED TO THE DEDICATION ON THIS PLAT AND ACKNOWLEDGED THE SAME TO BE HER VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC

### NOTES:

- 1. ALL EASEMENTS THAT ARE NOT LABELED WITH ANY RECORDING INFORMATION WILL BE RECORDED BY A SEPARATE DOCUMENT.
- 2. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.



### LEGEND

- MONUMENTS FOUND (60" REBAR) OR AS NOTED
- BOUNDARY LINE
- LOT LINE
- EASEMENTS
- EXIST. PROPERTY LINES
- SETBACK LINE
- RECORDED DISTANCE
- MEASURED DISTANCE

R1-ZONING SETBACK TABLE (LOTS 1 & 2)

FRONT YARD	0'
SIDE YARD	0'
STREET SIDE YARD	0'
REAR YARD	0'

R2-SO ZONING SETBACK TABLE (LOTS 3 - 5)

FRONT YARD	32'
SIDE YARD	5'
STREET SIDE YARD	15'
REAR YARD	25'

E & A CONSULTING GROUP, INC.  
Engineering • Planning • Environmental & Field Services  
15804 148th Plank, Lenexa, KS 66245, NE 48154  
Phone 402.296.4700 • Fax 402.296.3960  
www.eag.com



SVENDSEN ACRES REPLAT ONE  
LOTS 1 THRU 5 INCLUSIVE  
BELLEVUE NEBRASKA

FINAL PLAT

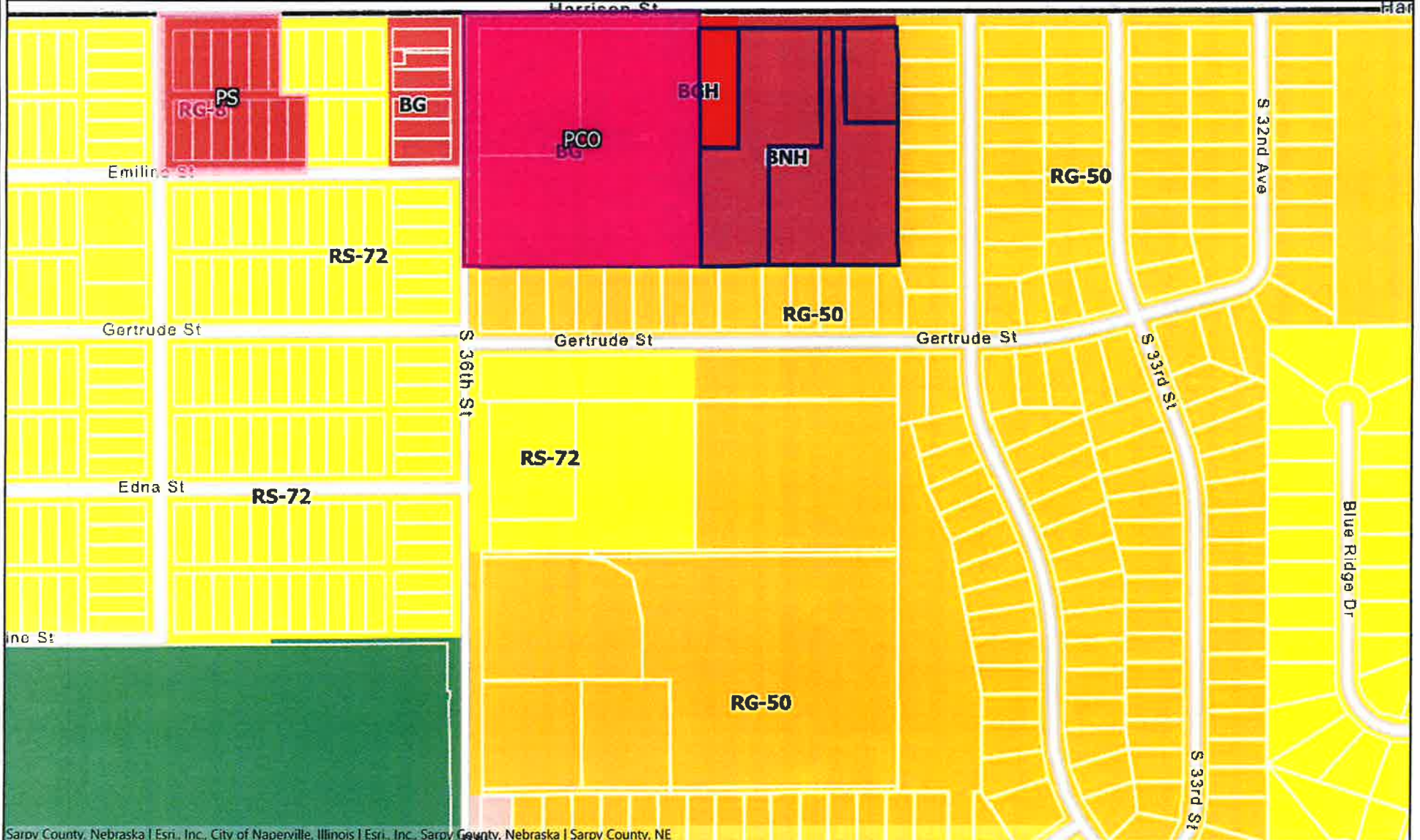
APPROVALS SECTION

City Clerk	_____
City Council	_____
City Treasurer	_____
City Planning Commission	_____
County Treasurer	_____
County Surveyor/Engineer	_____



SARPY COUNTY  
NEBRASKA

3501 Harrison Street



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 4514

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Notes





0 200 400 ft

Map Scale 1: 2257

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Notes



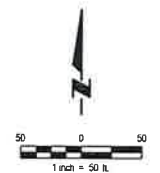
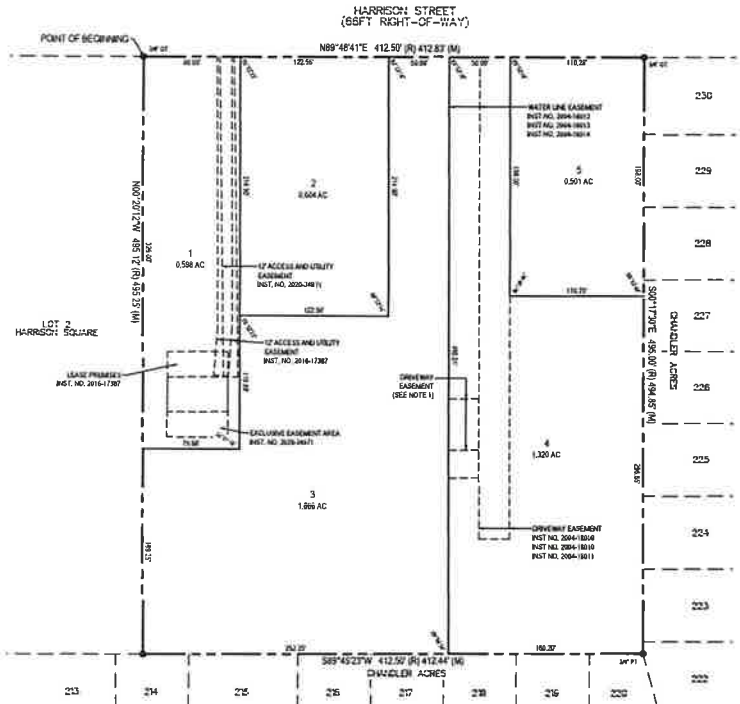
RECEIVED  
JUN 15 2021

PLANNING DEPT.

# SVENDSEN ACRES REPLAT ONE

LOTS 1 THRU 5 INCLUSIVE

BEING A REPLATING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH A PLATING OF TAX LOTS D91, D92, D93, D98, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY NEBRASKA.



### LEGEND

- MONUMENTS FOUND (SAP REBAR) OR AS NOTED
- BOUNDARY LINE
- - - - - LOT LINE
- - - - - EASEMENTS
- - - - - EAST PROPERTY LINES
- SETBACK LINE
- (R) RECORDED DISTANCE
- (M) MEASURED DISTANCE

BGH ZONING SETBACK TABLE (LOTS 1 & 2)	
FRONT YARD	5'
SIDE YARD	5'
STREET SIDE YARD	0'
REAR YARD	0'

RG-50 ZONING SETBACK TABLE (LOTS 3 - 5)	
FRONT YARD	35'
SIDE YARD	5'
STREET SIDE YARD	15'
REAR YARD	25'

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, SVENDSEN REAL ESTATE, LLC, A NEBRASKA LIMITED LIABILITY COMPANY & BARBARA A. SHANNON, OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYING CERTIFICATION AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SURVEYED INTO LOTS AND STREETS TO BE NUMBERED AND NAMED AS SHOWN, SAID SURVEYING TO BE HEREAFTER KNOWN AS SVENDSEN ACRES REPLAT ONE, LOTS TO BE NUMBERED AS SHOWN, AND WE DO HEREBY GRANT AND APPROVE OF THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT, AND WE DO HEREBY GRANT EASEMENTS AS SHOWN ON THIS PLAT. WE DO FURTHER GRANT A PERPETUAL EASEMENT TO THE UNKRA PUBLIC POWER DISTRICT (UNKRA), COAL COMMERCIALS, AND CENTURYLINK ACROSS THE (5) FOOT WIDE STRIP OF LAND ABUTTING ALL FRONT AND SIDE BOUNDARY LINES, AN (8) FT. FOOT WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES OF ALL INTERIOR LOTS, AND A (5) FT. FOOT WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES OF ALL EXTERIOR LOTS. THE TERM EXTERIOR LOTS IS HEREBY DEFINED AS THOSE LOTS FORMING THE OUTER PERIMETER OF THE ABOVE DESCRIBED ADDITION. THE (3) FT. FOOT WIDE EASEMENT MAY BE NEEDED TO EXIST (5) FEET WIDE WHEN THE ADJACENT LANDS SURVEYED, PLATTED AND RECORDED. THE SURVEYOR SHALL GRANT PERPETUAL EASEMENTS TO METROPOLITAN UTILITIES DISTRICT (MUD) AND BELL TELEPHONE COMPANY (BELL) TO INSTALL, MAINTAIN, REPAIR AND REPLACE TELEPHONE, CABLE AND OTHER RELATED FACILITIES AND TO EXTEND THEREON PIPES FOR THE TRANSMISSION OF GAS AND WATER OR, THROUGH, UNDER AND ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING ALL STREETS, AND PERMANENT BUILDINGS OR RETAINING WALLS SHALL BE PLACED IN SAID EASEMENT STRIPS, BUT THE SAME MAY BE USED FOR GARDENS, SHOWS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE USE AND ENJOYMENT HEREBY GRANTED.

SVENDSEN REAL ESTATE, LLC, A NEBRASKA LIMITED LIABILITY COMPANY

BARBARA A. SHANNON, MEMBER DATE \_\_\_\_\_

BARBARA A. SHANNON

BARBARA A. SHANNON, OWNER DATE \_\_\_\_\_

### ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA )  
COUNTY OF \_\_\_\_\_ )  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY CAME BARBARA A. SHANNON, MEMBER OF SVENDSEN REAL ESTATE, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, WHO IS PERSONALLY KNOWN TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFIXED TO THE DEDICATION ON THIS PLAT AND ACKNOWLEDGED THE SAME TO BE HER VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC \_\_\_\_\_

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STATE OF NEBRASKA )  
COUNTY OF \_\_\_\_\_ )  
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WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC \_\_\_\_\_

### NOTES:

1. ALL EASEMENTS THAT ARE NOT LABELED WITH ANY RECORDING INFORMATION WILL BE RECORDED BY A SEPARATE DOCUMENT.
2. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.

### SURVEYING CERTIFICATION

I HEREBY CERTIFY THAT I HAVE MADE A GROUND SURVEY OF THE SUBDIVISION DESCRIBED HEREIN AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED ON THE BOUNDARY OF THE WITHIN PLAT AND STAKES AT ALL CORNERS OF ALL LOTS, STREETS AND ANGLE POINTS BY SVENDSEN ACRES REPLAT ONE (THE LOTS NUMBERED AS SHOWN), BEING A REPLATING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH A PLATING OF TAX LOTS D91, D92, D93, D98, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ON THE NORTHWEST CORNER OF SAID LOT 1, SVENDSEN ACRES, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 2, HARRISON SQUARE, A SUBDIVISION LOCATED IN SAID SECTION 16, AND ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET; THENCE N89°48'41"E (ASSUMED BEARING) ALONG THE NORTH LINE OF SAID LOT 1, SVENDSEN ACRES, SAID LINE ALSO BEING THE NORTH LINE OF SAID TAX LOTS D91, D92, D93 AND D98, SAID LINE ALSO BEING SAID SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET, A DISTANCE OF 428.24 FEET TO THE NORTHEAST CORNER OF SAID TAX LOT D98; SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 2, CHANDLER ACRES, A SUBDIVISION LOCATED IN SAID SECTION 16, THENCE S00°17'06"E ALONG THE EAST LINE OF SAID TAX LOT D98; SAID LINE ALSO BEING THE EAST LINE OF SAID TAX LOT D98, AND ALSO BEING THE WEST LINE OF LOTS 224 THRU 230, SAID CHANDLER ACRES, A DISTANCE OF 684.2 FEET TO THE SOUTHWEST CORNER OF SAID TAX LOT D98; SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 228, SAID CHANDLER ACRES; THENCE S89°45'27"W ALONG THE SOUTH LINE OF SAID TAX LOTS D98, D92 AND D91; SAID LINE ALSO BEING THE NORTH LINE OF LOTS 214 THRU 228, SAID CHANDLER ACRES, A DISTANCE OF 412.44 FEET TO THE SOUTHWEST CORNER OF SAID TAX LOT D91; THENCE N00°20'17"W ALONG THE WEST LINE OF SAID TAX LOT D91; SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 1, SVENDSEN ACRES, AND ALSO THE EAST LINE OF SAID LOT 2, HARRISON SQUARE, A DISTANCE OF 465.25 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS AN AREA OF 204,276 SQUARE FEET OR 4.686 ACRES, MORE OR LESS.

JOHN W. VON SOLLEN, L.S.-578 DATE \_\_\_\_\_

### BELLEVUE CITY COUNCIL APPROVAL

THIS PLAT OF SVENDSEN ACRES REPLAT ONE (LOTS NUMBERED AS SHOWN) WAS APPROVED BY THE CITY COUNCIL OF BELLEVUE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ OF THIS FINAL PLAT SHALL BECOME NULL AND VOID NINETY (90) DAYS FROM THE DATE OF CITY COUNCIL APPROVAL IF THIS FINAL PLAT IS NOT FILED WITH THE REGISTER OF DEEDS AS PROVIDED IN SECTION 4-10 OF THE CITY OF BELLEVUE SUBDIVISION REGULATIONS.

MAYOR \_\_\_\_\_

ATTEST \_\_\_\_\_

### APPROVAL OF BELLEVUE CITY PLANNING COMMISSION

THIS PLAT OF SVENDSEN ACRES REPLAT ONE (LOTS NUMBERED AS SHOWN) WAS APPROVED BY THE BELLEVUE CITY PLANNING COMMISSION.

CHAIRMAN OF CITY PLANNING COMMISSION DATE \_\_\_\_\_

### COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND EMBRACED IN THIS PLAT AS SHOWN BY THE RECORDS OF THIS OFFICE.

COUNTY TREASURER DATE \_\_\_\_\_

### REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF SVENDSEN ACRES REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYOR'S OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_.

COUNTY SURVEYOR / ENGINEER \_\_\_\_\_

E & A CONSULTING GROUP, INC.  
Engineering • Planning • Environmental & Field Services



SVENDSEN ACRES REPLAT ONE  
LOT 1 THRU 5 INCLUSIVE  
BELLEVUE, NEBRASKA

FINAL PLAT

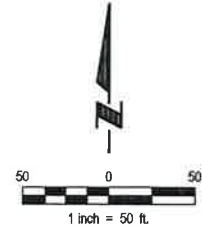
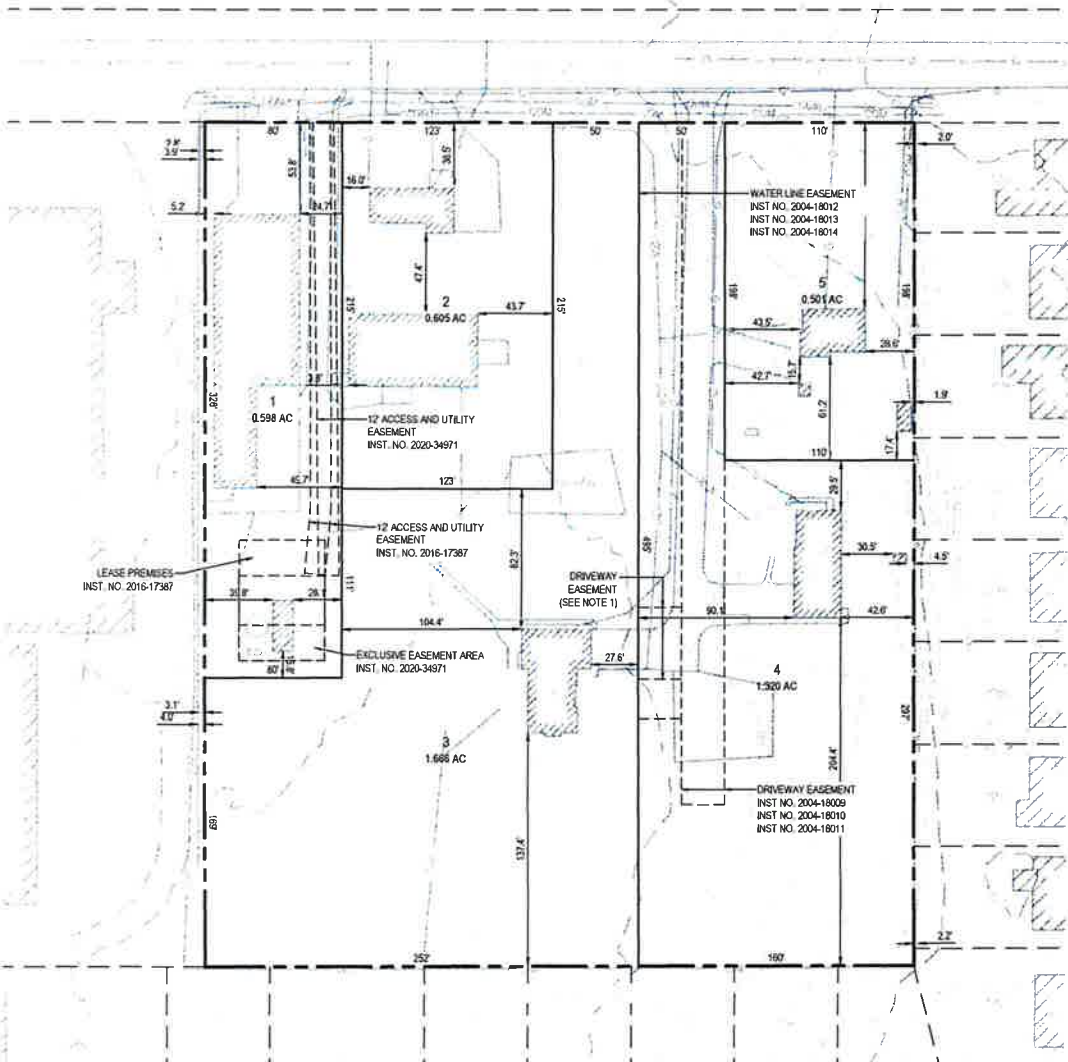
File No.	Date	Description
2020-232-005	06/09/21	AS
2020-232-005	06/09/21	RECORD PERMIT COMMENTS
Drawn By	Checked By	Scale
Author	Drawn	1" = 50'
Project	Sheet	1 of 1

10000 LM Industry Blvd, Ste 100 • Omaha, NE 68154  
Phone: 402.336.8700 • Fax: 402.336.2599  
www.eaeng.com

# SVENDSEN ACRES REPLAT ONE

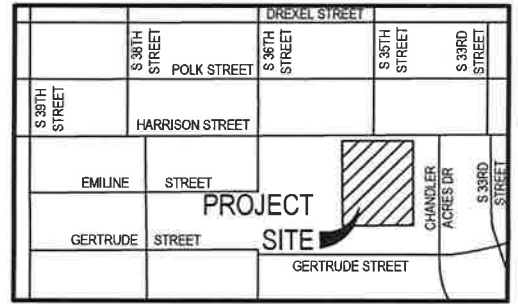
LOTS 1 THRU 5 INCLUSIVE

BEING A REPLATTING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH A PLATTING OF TAX LOTS D9H, D9D, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH, P.M., SARPY COUNTY NEBRASKA.



### LEGEND

- BOUNDARY LINE
- LOT LINE
- - - EASEMENTS
- SETBACK LINE
- ▨ EXIST. BUILDING
- ▧ EXIST. MAJOR CONTOURS
- ▩ EXIST. MINOR CONTOURS
- G - G - GAS LINE
- W - W - WATER LINE
- OHP - OHP - POWER LINE (OVERHEAD)
- UGP - UGP - POWER LINE (UNDER GROUND)
- UGW - UGW - WATER LINE (UNDER GROUND)
- SS - SS - SANITARY SEWER LINE
- ST - ST - STORM SEWER LINE
- COM - COM - COMMUNICATIONS LINE



### VICINITY MAP

BGH ZONING SETBACK TABLE	
FRONT YARD	0'
SIDE YARD	0'
STREET SIDE YARD	0'
REAR YARD	0'

RG-50 ZONING SETBACK TABLE	
FRONT YARD	35'
SIDE YARD	5'
STREET SIDE YARD	15'
REAR YARD	25'

### LEGAL DESCRIPTION

A TRACT OF LAND BEING LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH TAX LOTS D9H, D9D, D9C, D9B, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH, P.M., SARPY COUNTY NEBRASKA.

SAID TRACT OF LAND CONTAINS AN AREA OF 204,276 SQUARE FEET OR 4.690 ACRES, MORE OR LESS

### DEVELOPER/OWNER

SVENDSEN REAL ESTATE, LLC  
3351 HARRISON STREET  
BELLEVUE, NE 68147

### OWNER

BARBARA A. SHANNON  
3341 HARRISON STREET  
BELLEVUE, NE 68147

### ZONING:

EXISTING	BGH, BNH	
PROPOSED:	BGH, LOTS 1 & 2	1.203 AC
	RG-50, LOTS 3 THRU 5	3.487 AC
	TOTAL	4.690 AC

### NOTES:

- ALL EASEMENTS THAT ARE NOT LABELED WITH ANY RECORDING INFORMATION WILL BE RECORDED BY A SEPARATE DOCUMENT.
- TYPICAL UTILITY EASEMENTS WILL BE DEDICATED WITH THE FINAL PLAT.

RECEIVED  
JUN 15 2021  
PLANNING DEPT.

Proj No:	Revisions	
P2020 225 002	Date	Description
Date: 05/21/2021	06/15/21	REVISED PER CITY COMMENTS
Designed By: JRS		
Drawn By: EHN		
Scale: 1" = 50'		
Sheet: 1 of 1		

PRELIMINARY PLAT

SVENDSEN ACRES REPLAT ONE  
LOTS 1 THRU 5 INCLUSIVE  
BELLEVUE, NEBRASKA



**E & A CONSULTING GROUP, INC.**  
Engineering • Planning • Environmental & Field Services

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Phone: 402.895.4700 • Fax: 402.895.3599  
www.eacg.com

ORDINANCE NO. 4044

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF BELLEVUE, NEBRASKA, AS PROVIDED FOR BY ARTICLE 3 OF ORDINANCE NO. 3619 BY CHANGING THE ZONE CLASSIFICATION OF LAND LOCATED AT OR ABOUT 3501 HARRISON STREET, MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THE ORDINANCE AND TO PROVIDE AN EFFECTIVE DATE.

WHEREAS, having received a recommendation from the city of Bellevue Planning Commission and proper notice having been given and public hearing held as provided by law:

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That part of the official zoning map of the City of Bellevue, Nebraska, as provided in Article 3, of Ordinance No. 3619 is hereby amended to change the zone classification of the following described parcel of land:

Lots 1 and 2, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E, of the 6<sup>th</sup> P.M., Sarpy County, Nebraska,

From BGH (Heavy General Business District) and BNH (Heavy Neighborhood Business District) to BGH (Heavy General Business District); AND

Lots 3 through 5, Svendsen Acres Replat One, being a replat of Lot 1, Svendsen Acres, and a platting of Tax Lots D9H, D9D, D9C, and D9B, all located in the Northwest ¼ of Section 16, T14N, R13E, of the 6<sup>th</sup> P.M., Sarpy County, Nebraska,

From BNH (Heavy Neighborhood Business District) to RG-50 (General Residential, 5,000 Square Foot Zone)

(Svendsen Real Estate, LLC)

Section 2. This ordinance shall not take effect until such time as the final plat of Svendsen Acres Replat One is filed with the Sarpy County Register of Deeds in accordance with Section 4-10 of the City of Bellevue Subdivision Regulations.

Section 3. Except as amended herein, the official zoning map and the classification shown therein shall remain as heretofore existing.

Section 4. This ordinance shall take affect and be in force from and after its adoption and publication according to law.

ADOPTED by the Mayor and City Council this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

ATTEST

\_\_\_\_\_  
City Clerk

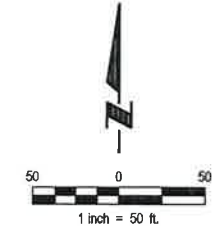
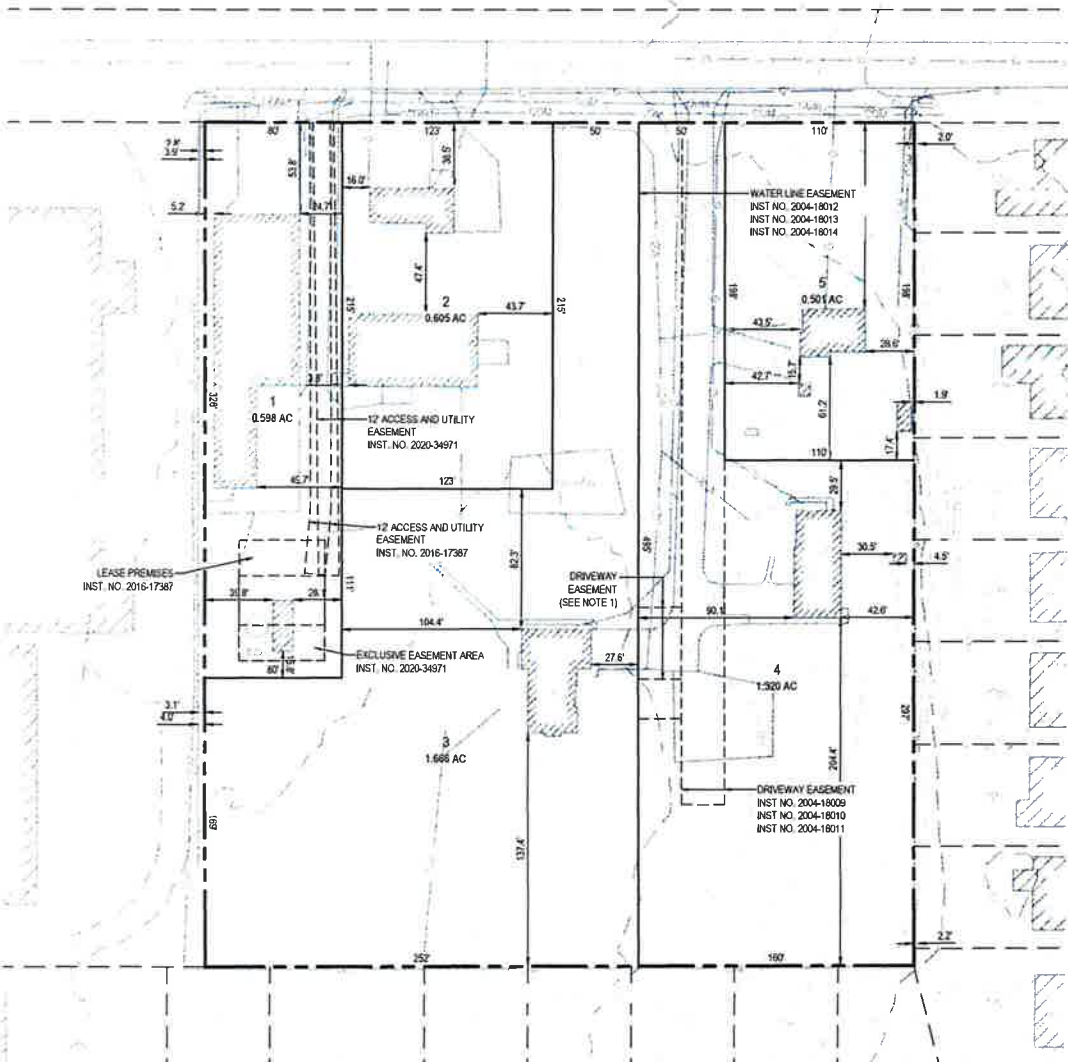
\_\_\_\_\_  
Mayor

First Reading: 07/06/2021  
Second Reading: 07/20/2021  
Third Reading: 08/03/2021

# SVENDSEN ACRES REPLAT ONE

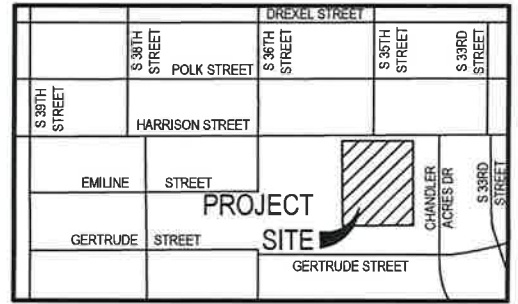
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- SETBACK LINE
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### VICINITY MAP

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PRELIMINARY PLAT

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LOTS 1 THRU 5 INCLUSIVE  
BELLEVUE, NEBRASKA



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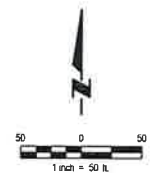
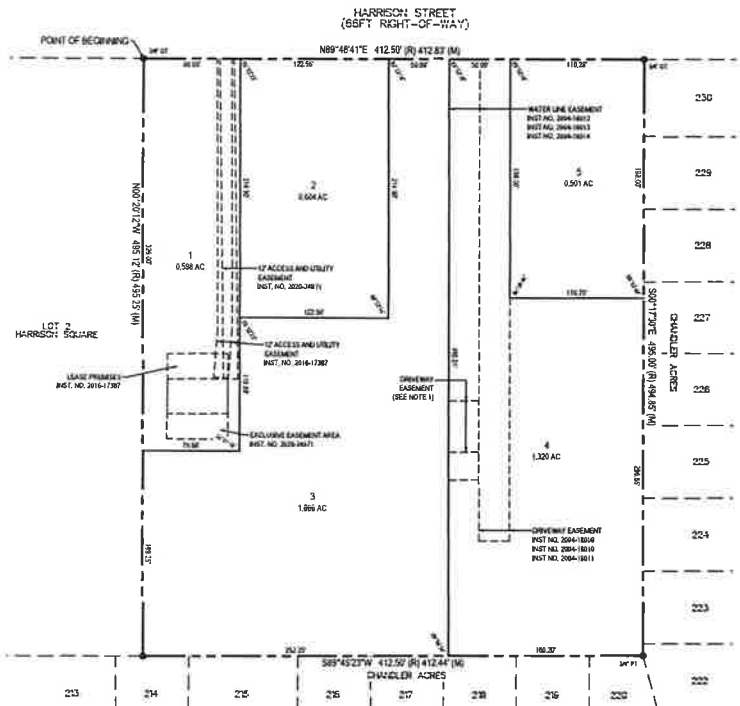
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# SVENDSEN ACRES REPLAT ONE

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### LEGEND

- MONUMENTS FOUND (SAP REBAR) OR AS NOTED
- BOUNDARY LINE
- - - - - LOT LINE
- - - - - EASEMENTS
- - - - - EAST PROPERTY LINES
- SETBACK LINE
- (R) RECORDED DISTANCE
- (M) MEASURED DISTANCE

BGH ZONING SETBACK TABLE (LOTS 1 & 2)	
FRONT YARD	5'
SIDE YARD	5'
STREET SIDE YARD	0'
REAR YARD	5'

RG-50 ZONING SETBACK TABLE (LOTS 3 - 5)	
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### DEDICATION

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SVENDSEN REAL ESTATE, LLC, A NEBRASKA LIMITED LIABILITY COMPANY

BARBARA A. SHANNON, MEMBER DATE \_\_\_\_\_

BARBARA A. SHANNON

BARBARA A. SHANNON, OWNER DATE \_\_\_\_\_

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 COUNTY OF \_\_\_\_\_ )  
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NOTARY PUBLIC \_\_\_\_\_

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### SURVEYING CERTIFICATION

I HEREBY CERTIFY THAT I HAVE MADE A GROUND SURVEY OF THE SUBDIVISION DESCRIBED HEREIN AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED ON THE BOUNDARY OF THE WITHIN PLAT AND STAKES AT ALL CORNERS OF ALL LOTS, STREETS AND ANGLE POINTS BY SVENDSEN ACRES REPLAT ONE (THE LOTS NUMBERED AS SHOWN), BEING A REPLATING OF LOT 1, SVENDSEN ACRES, A SUBDIVISION LOCATED IN SECTION 16, ALSO TOGETHER WITH A PLATING OF TAX LOTS D91, D92, D93, D98, TAX LOTS LOCATED IN SAID SECTION 16, ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ON THE NORTHWEST CORNER OF SAID LOT 1, SVENDSEN ACRES, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 2, HARRISON SQUARE, A SUBDIVISION LOCATED IN SAID SECTION 16, AND ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET; THENCE N89°48'41"E (ASSUMED BEARING) ALONG THE NORTH LINE OF SAID LOT 1, SVENDSEN ACRES, SAID LINE ALSO BEING THE NORTH LINE OF SAID TAX LOTS D91, D92, D93 AND D98, SAID LINE ALSO BEING SAID SOUTHERLY RIGHT-OF-WAY LINE OF HARRISON STREET, A DISTANCE OF 428.24 FEET TO THE NORTHEAST CORNER OF SAID TAX LOT D98; SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 2, CHANDLER ACRES, A SUBDIVISION LOCATED IN SAID SECTION 16, THENCE S00°17'06"E ALONG THE EAST LINE OF SAID TAX LOT D98; SAID LINE ALSO BEING THE EAST LINE OF SAID TAX LOT D98, AND ALSO BEING THE WEST LINE OF LOTS 224 THRU 230, SAID CHANDLER ACRES, A DISTANCE OF 684.2 FEET TO THE SOUTHEAST CORNER OF SAID TAX LOT D98; SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 228, SAID CHANDLER ACRES; THENCE S89°45'27"W ALONG THE SOUTH LINE OF SAID TAX LOTS D98, D92 AND D91; SAID LINE ALSO BEING THE NORTH LINE OF LOTS 214 THRU 228, SAID CHANDLER ACRES, A DISTANCE OF 412.44 FEET TO THE SOUTHWEST CORNER OF SAID TAX LOT D91; THENCE N00°20'17"W ALONG THE WEST LINE OF SAID TAX LOT D91; SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 1, SVENDSEN ACRES, AND ALSO THE EAST LINE OF SAID LOT 2, HARRISON SQUARE, A DISTANCE OF 465.25 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS AN AREA OF 204,276 SQUARE FEET OR 4686 ACRES, MORE OR LESS.

JOHN W. VON SOLLEN, L.S.-578 DATE \_\_\_\_\_

### BELLEVUE CITY COUNCIL APPROVAL

THIS PLAT OF SVENDSEN ACRES REPLAT ONE (LOTS NUMBERED AS SHOWN) WAS APPROVED BY THE CITY COUNCIL OF BELLEVUE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ OF THIS FINAL PLAT SHALL BECOME NULL AND VOID NINETY (90) DAYS FROM THE DATE OF CITY COUNCIL APPROVAL IF THIS FINAL PLAT IS NOT FILED WITH THE REGISTER OF DEEDS AS PROVIDED IN SECTION 4-10 OF THE CITY OF BELLEVUE SUBDIVISION REGULATIONS.

MAYOR \_\_\_\_\_

ATTEST \_\_\_\_\_

### APPROVAL OF BELLEVUE CITY PLANNING COMMISSION

THIS PLAT OF SVENDSEN ACRES REPLAT ONE (LOTS NUMBERED AS SHOWN) WAS APPROVED BY THE BELLEVUE CITY PLANNING COMMISSION.

CHAIRMAN OF CITY PLANNING COMMISSION DATE \_\_\_\_\_

### COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND EMBRACED IN THIS PLAT AS SHOWN BY THE RECORDS OF THIS OFFICE.

COUNTY TREASURER DATE \_\_\_\_\_

### REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF SVENDSEN ACRES REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYOR'S OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_.

COUNTY SURVEYOR / ENGINEER \_\_\_\_\_

**E & A CONSULTING GROUP, INC.**  
Engineering • Planning • Environmental & Field Services



**E & A CONSULTING GROUP, INC.**  
Engineering Services

SVENDSEN ACRES REPLAT ONE  
LOT 1 THRU 5 INCLUSIVE  
BELLEVUE, NEBRASKA

FINAL PLAT

File No.	Project No.	Date	Description
2020-022-003	2020-022-003	06/09/21	REPLAT PERMIT COMMENTS
Drawn By:	Checked By:	Scale:	Sheet No. of _____

10000 LAM Industry Blvd, Ste 100 • Omaha, NE 68154  
Phone: 402.336.8700 • Fax: 402.336.2599  
www.eaeg.com

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

11b. - 11b2.  
8/3/2021

COUNCIL MEETING DATE: 07/20/2021		SUBMITTED BY: Tammi Palm		TITLE: Planning Manager	
AGENDA ITEM:		CONSENT AGENDA	<input type="checkbox"/>	SPECIAL PRESENTATION	<input type="checkbox"/>
LIQUOR LICENSE	<input type="checkbox"/>	ORDINANCE	<input checked="" type="checkbox"/>	PUBLIC HEARING	<input type="checkbox"/>
RESOLUTION	<input type="checkbox"/>	CURRENT BUSINESS	<input type="checkbox"/>	OTHER	<input type="checkbox"/>

**SUBJECT:**

Approval of a request to rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest 1/4 of Section 27 T14N, R13E, of the 6th P.M., Sarpy County, Nebraska from AG to RG-28-PS with site plan approval for the purpose of construction of a 131-unit multi-family residential development; preliminary plat Lot 1, Redwood 25; and final plat Lot 1, Redwood 25. Applicant: Redwood USA, LLC, Kevin Kwiatkowski. General Location: Southeast of South 25th Street and Cornhusker Road.

**SYNOPSIS/BACKGROUND:**

Kevin Kwiatkowski, on behalf of Redwood USA, LLC, is requesting approval of a change of zone with site plan approval and to preliminary plat and final plat Lot 1, Redwood 25, being a platting of Tax Lot 4F, for the purpose of a multi-family residential development. The property is currently zoned AG and vacant and covered in vegetation. The intent of the requested RG-28 district is to permit medium-density, low-rise development that will be compatible when located near and among lower density types of housing. The -PS zoning overlay allows for the construction of multiple buildings on one lot and to encourage the creative design of new living ares. Site plan approval is required with the -PS zoning overlay. This request is in conformance with the comprehensive plan.

FISCAL IMPACT:  BUDGETED FUNDS?: NO  GRANT/MATCHING FUNDS?: NO

**TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:**

IS THIS A CONTRACT?: NO  COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: YES

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRUBUTION CODE:  ACCOUNT NUMBER:

**RECOMMENDATION:**

The Planning Department and Planning Commission have recommended approval of this application.

**ATTACHMENTS:**

1. Planning Commission Recommendation Sheet	2. Staff Report	3. Rezoning Ordinance 4045
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

**SIGNATURES:**

LEGAL APPROVAL AS TO FORM: \_\_\_\_\_

FINANCE APPROVAL AS TO FORM: \_\_\_\_\_

ADMINISTRATOR APPROVAL AS TO FORM: \_\_\_\_\_

*[Handwritten signatures]*

# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

**APPLICANT:** Redwood USA, LLC  
**CASE #'s:** Z-2105-06, S-2106-12, S-2106-13  
**CITY COUNCIL HEARING DATE:** July 20, 2021

**REQUEST:** to rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest ¼ of Section 27, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG to RG-28-PS for the purpose of multi-family residential development; preliminary plat Lot 1, Redwood 25; and final plat Lot 1, Redwood 25.

On June 24, 2021 the City of Bellevue Planning Commission voted six yes, zero no, three absent and zero abstained:

**APPROVAL** based upon conformance with the Zoning Ordinance, Subdivision Regulations, and the Comprehensive Plan, as well as lack of perceived negative impact upon the surrounding area.

**VOTE:**

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Three:
	Casey						Cain
	Aerni						Perrin
	Ritz						Jacobson
	Ackley						
	Hankins						
	Cutsforth						

Planning Commission Hearing (s) was held on: June 24, 2021

# CITY OF BELLEVUE PLANNING DEPARTMENT

## RECOMMENDATION REPORT #2

CASE NUMBERS: Z-2105-06  
S-2106-12  
S-2106-13

FOR HEARING OF:  
REPORT #1: June 24, 2021  
REPORT #2: July 20, 2021

### I. GENERAL INFORMATION

#### A. APPLICANTS:

Redwood USA, LLC (Kevin Kwiatkowski)  
7007 East Pleasant Valley Road  
Independence, Ohio 44131

#### B. PROPERTY OWNERS:

Dolores J Barraclough and Charles W Pratt, Co-Trustees  
c/o Diana Gordon  
6406 South 95<sup>th</sup> Street  
Omaha, NE 68127

#### C. GENERAL LOCATION:

Southeast of South 25<sup>th</sup> Street and Cornhusker Road

#### D. LEGAL DESCRIPTION:

Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest ¼ of Section 27, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, NE.

#### E. REQUESTED ACTIONS:

1. Rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, from AG to RG-28-PS with site plan approval.
2. Preliminary plat Lot 1, Redwood 25, being a platting of Tax Lot 4F.
3. Final plat Lot 1, Redwood 25, being a platting of Tax Lot 4F.

#### F. EXISTING ZONING AND LAND USE:

AG, Agriculture/Vacant

**G. PURPOSE OF REQUEST:**

The purpose of this request is to obtain approval of a rezoning with site plan approval, preliminary plat, and final plat for the construction of a 131-unit multi-family residential development.

**H. SIZE OF SITE:**

The site is approximately 26.93 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:**

The property is presently vacant and covered in vegetation. It has most recently been used agriculturally.

**B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

1. **North:** Commercial, BG
2. **East:** Commercial, BG-PCO
3. **South:** Single Family Residential, AG, BGH, RS-72 and RS-84
4. **West:** Commercial/Vacant and Single Family Residential, (across S 25<sup>th</sup> Street), BGH and RG-50

**C. REVELANT CASE HISTORY:**

On June 24, 2021, the Planning Commission recommended approval of a request to rezone Lot 1, Redwood 25, being a platting of Tax Lot 4F, from AG to RG-28-PS for the purpose of multi-family residential development; preliminary plat Lot 1, Redwood 25; and final plat Lot 1, Redwood 25.

**D. APPLICABLE REGULATIONS:**

1. Section 5.13, Zoning Regulations, regarding RG-28 uses and requirements.
2. Section 5.17, Zoning Regulations, regarding Planned Subdivision District uses and requirements.
3. Chapter 3, Subdivision Regulations, regarding Preliminary Plats.
4. Chapter 4, Subdivision Regulations, regarding Final Plats.
5. Chapter 6, Subdivision Regulations, regarding Minimum Design Standards.

### **III. ANALYSIS**

#### **A. COMPREHENSIVE PLAN:**

The Future Land Use Map of the Comprehensive Plan designates this property as medium density residential.

#### **B. OTHER PLANS:**

None

#### **C. TRAFFIC AND ACCESS:**

1. MAPA traffic data indicates 28,700 vehicles per day along Cornhusker Road near the intersection of South 25<sup>th</sup>
2. Access is proposed from two points: one off South 25<sup>th</sup> Street, and another from a newly created extension of Jamestown Drive.

#### **D. UTILITIES:**

All utilities are available or will be constructed to serve this property.

#### **E. ANALYSIS:**

1. Kevin Kwiatkowski, on behalf of Redwood USA, LLC, has submitted a request to preliminary plat and final plat Lot 1, Redwood 25, for the purpose of a multi-family residential development.
2. The applicant is also requesting a change of zone from AG to RG-28-PS, with site plan approval.

The intent of the RG-28 district is to permit medium-density, low rise development that will be compatible when located near and among lower density types of housing, including single-family and two-family on small lots.

The -PS zoning overlay allows for the construction of multiple buildings on one lot, in addition to encouraging the creative design of new living areas. With the -PS zoning overlay, site plan approval is required.

3. Per the proposed site plan, there will be twenty multi-family apartment buildings constructed; two four-unit buildings, two five-unit buildings, seven six-unit buildings, one seven-unit building, and eight eight-unit buildings, for a total of 131 units.
4. The applicant states the development is projected to be a mix of “empty nesters, young professionals, and those relocating to have a maintenance free lifestyle in a peaceful neighborhood.”

5. The applicant is providing 524 parking spaces through a mix of garages, drive-ways, and shared surface parking. This exceeds the minimum 262 stalls required by the zoning ordinance.

6. The landscape plan has been reviewed by staff and meets the minimum requirements of the Zoning Ordinance.

7. Per Section 8.11, Zoning Ordinance, the apartment buildings will need to meet the city's design standards. Compliance with these regulations will be reviewed as part of the building permit process. Architectural renderings have been shared by the applicant and are attached. These renderings have not been reviewed for compliance with Section 8.11, Zoning Ordinance.

8. The plat shows one hundred forty (140) feet of dedicated right-of-way along the northern boundary between South 21<sup>st</sup> Street and South 25<sup>th</sup> Street. The city has been looking to alleviate congestion in the area of South 21<sup>st</sup> Street near the Menard's commercial area. In looking at this application, the city requested the applicant dedicate right-of-way (named Wolf Creek Drive) to facilitate a future connection from South 21<sup>st</sup> Street to South 25<sup>th</sup> Street. The applicant has agreed to work with the city moving forward. Prior to the recording of a final plat, the city engineering staff will continue to work on the feasibility of this project. Prior to the dedication of this right-of-way, the city will work with Redwood USA, LLC on an interlocal agreement for this project.

No connections to this future roadway are being proposed from this development. The development will have access to South 25<sup>th</sup> Street to the west, as well as Jamestown Drive to the south.

9. This application was sent out for review by the following departments and individuals: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, Bellevue Public School District, Sarpy County Public Works Department, Sarpy County Administrator. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Bellevue Public Works Engineer Matt Knight requested technical revisions to the preliminary drainage study, sanitary sewer calculations, and to the plat. These revisions have since been made by the applicant's engineer. Additionally, Mr. Knight is comfortable with the applicant's plan for drainage.

Sarpy GIS/911 requested revisions to the private street names. The applicant's engineer has satisfied these revisions.

No other comments were received in this case.

10. The Zoning Ordinance describes the RG-28 zoning district as “medium density development;” therefore, this request is in conformance with the Comprehensive Plan.

**F. TECHNICAL DEFICIENCIES:**

None

**IV. DEPARTMENT RECOMMENDATION**

APPROVAL based upon conformance with the Zoning Ordinance, Subdivision Regulations, and the Comprehensive Plan, as well as lack of perceived negative impact upon the surrounding area.

**V. PLANNING COMMISSION RECOMMENDATION**

APPROVAL based upon conformance with the Zoning Ordinance, Subdivision Regulations, and the Comprehensive Plan, as well as lack of perceived negative impact upon the surrounding area.

**VI. ATTACHMENTS TO REPORT**

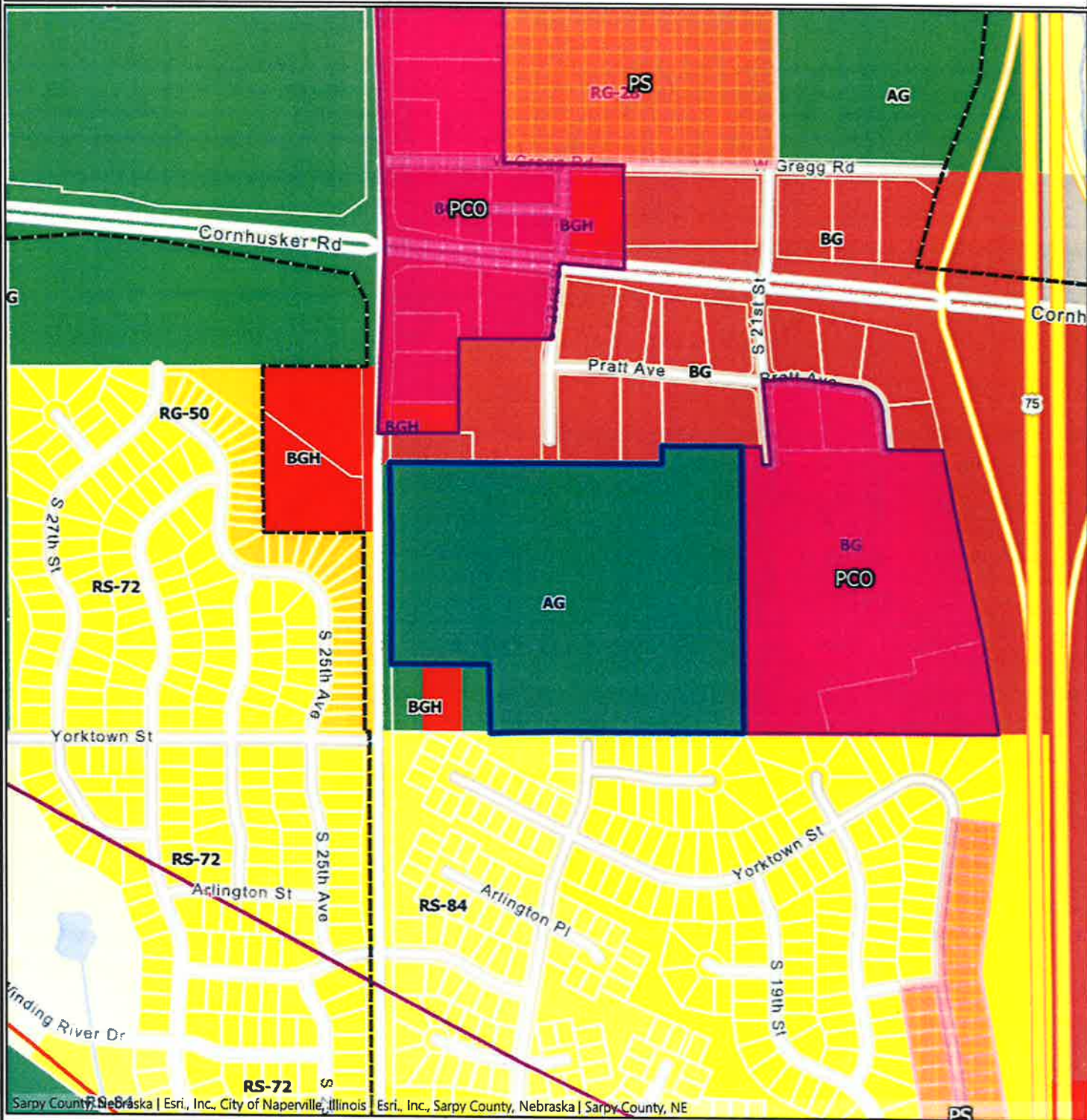
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Justification letter from the applicant received May 21, 2021
4. Preliminary plat received June 17, 2021
5. Final plat received June 17, 2021
6. Site plan received June 17, 2021
7. Landscape Plan received June 15, 2021
8. Architectural renderings

**VII. COPIES OF REPORT TO:**

1. Redwood USA, LLC
2. Kevin Kwiatkowski
3. Diana Gordon
4. Lamp Rynearson (John Coolidge)
5. Public Upon Request

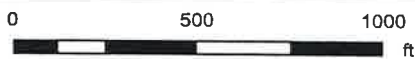
  
Assistant Planning Manager: Date of Report

  
Planning Manager: Date of Report



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE

Notes



Map Scale 1: 7962

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.





Esri, Inc., City of Naperville, Illinois, Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE

Notes



Map Scale 1: 3185

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



**Redwood Apartments – 25<sup>th</sup> and Cornhusker**

**Rezoning Application**

**Reason for Rezone:**

The existing site is an undeveloped parcel nestled between commercial businesses and a single-family residential subdivision. In the City of Bellevue's master plan, the property is planned for a residential use. The rezone is necessary regardless of whatever development is to take place on the property and the zoning district chosen (RG-28-PS) was selected as the least-intensive zoning that makes the Redwood Apartments project feasible.

**RECEIVED**  
MAY 21 2021  
**PLANNING DEPT.**

RECEIVED

JUN 17 2021

PLANNING DEPT

LOCATED IN: 80 1/4 NW 1/4 SEC. 25, T14N, R13E

LAMP RYNEARSON

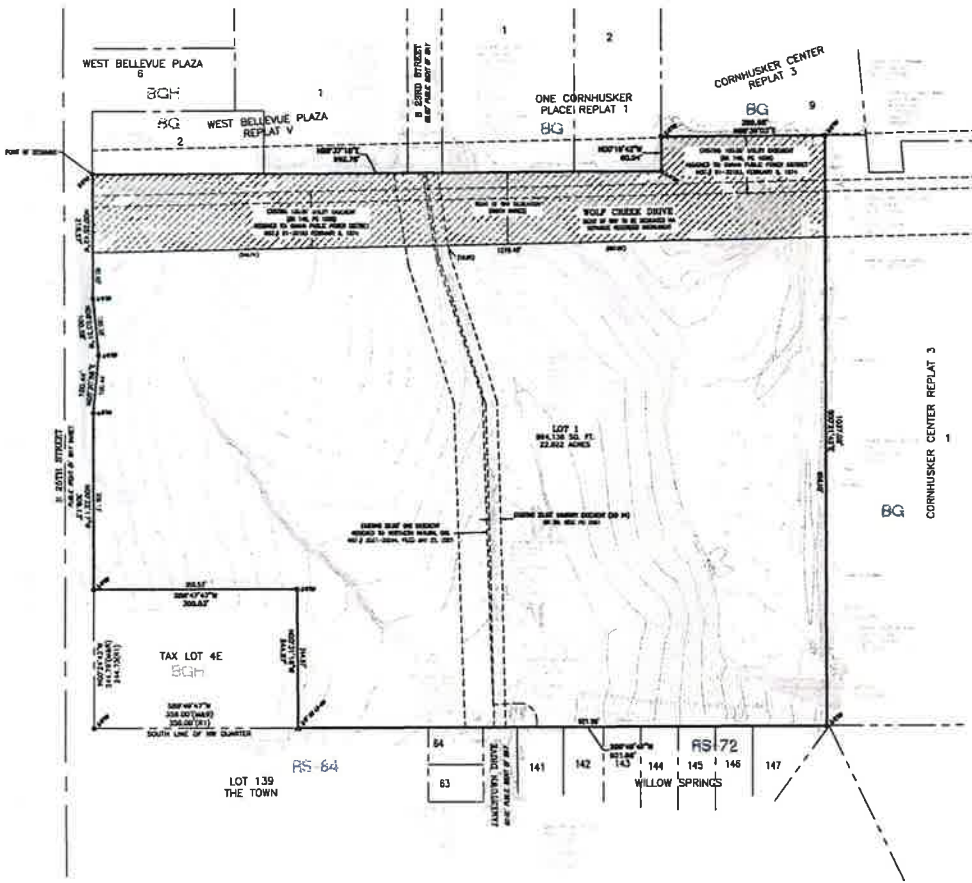
LAMP RYNEARSON.COM OMAHA, NEBRASKA 68104



REDWOOD 25

LOT 1, BEING A PLATTING OF TAX LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA

- NOTES: 1. ALL DISTANCES ARE SHOWN IN DECIMAL FEET. 2. LOT 1 WILL HAVE NO DIRECT VEHICULAR ACCESS TO 25TH STREET.



LEGEND table listing symbols for boundary lines, easements, and utility lines (light pole, street, etc.).

OWNER: DELORES SHARPLEIGH AND CHARLES PAINT - TRUSTEES. APPLICANT: BELLEVUE SOUTH 25TH STREET NE P1, LLC.

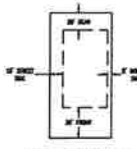
AS SURVEYED LEGAL DESCRIPTION: 2ND LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

NOTE: RIGHT-OF-WAY (LOCATION PENDING)

FLOOD ZONE: UNSHOWN ZONE 1. AREA OF SPECIAL FLOOD HAZARD.

CONTROL NOTE: HORIZONTAL DATUM IS BASED ON SARPY COUNTY LOW DISTORTION COORDINATE SYSTEM.

UTILITY NOTES: THIS DRAWING INCLUDES OBSERVED EVIDENCE OF SERVICES AND UTILITIES EXPOSED AT THE TIME OF SURVEY.



NOTE: OTHER REQUIREMENTS AND SERVICES MAY APPLY. RC-28 ZONING MULTI-FAMILY DWELLING SETBACK REQUIREMENTS NO SCALE

PRELIMINARY PLAT REDWOOD 25, LOT 1 BELLEVUE, SARPY COUNTY, NEBRASKA



Know what's below. Call before you dig.

Table with columns for Project Number, Date, and other project details.

**RECEIVED**  
**JUN 17 2021**  
**PLANNING DEPT.**

# REDWOOD 25

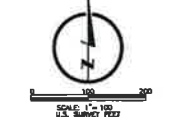
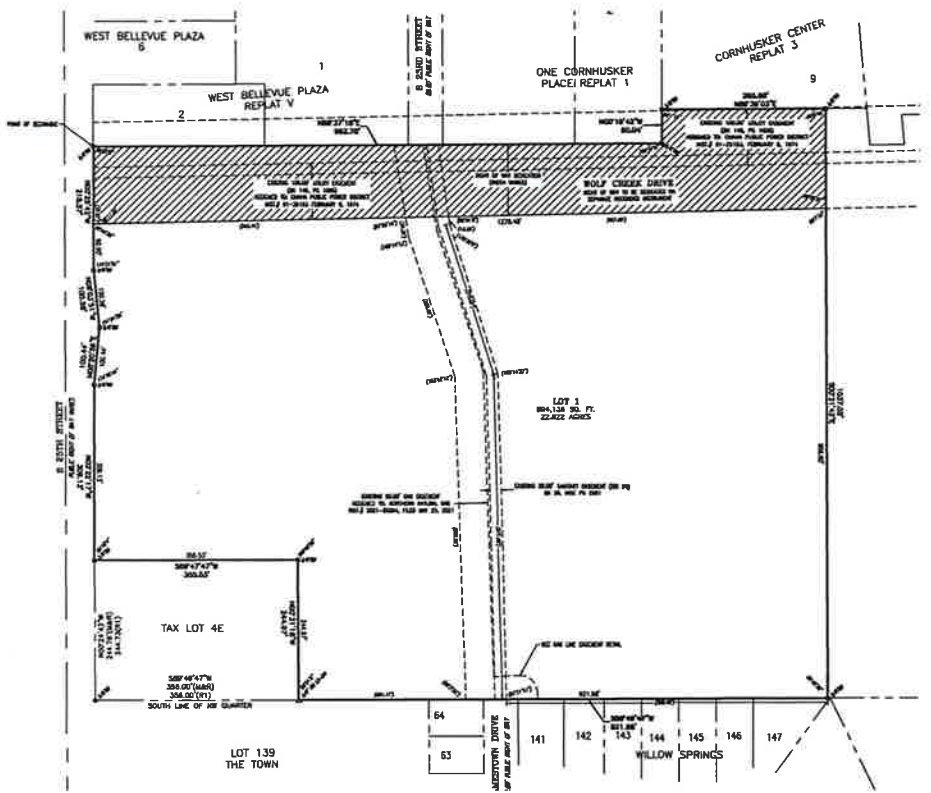
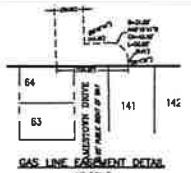
LOT 1, BEING A PLATTING OF TAX LOT 4F, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA

**LAMP RYNEARSON**  
LAND SURVEYORS  
LAMPRYNEARSON.COM  
OMAHA, NEBRASKA  
474 N DOGGE RD STE 100 WYOMING  
FORT COLLINS, COLORADO  
475 INNOVATION DR. STE 100 FORTYSEVEN  
KANSAAS CITY, MISSOURI  
900 STATE LINE, LLC, STE 100/1001 0400

LOCATED IN:  
S8 1/4 NE 1/4 SEC. 27, T44N, R13E

**NOTES**

- ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
- ALL ANGLES ARE NOT UNLESS NOTED.
- DISTANCES AND ANGLES SHOWN IN PARENTHESES REFER TO EASEMENTS.
- LOT 1 WILL HAVE NO DIRECT VEHICULAR ACCESS TO S 28th STREET.
- ALL EXISTING EASEMENTS ARE NOT BEING REDIGATED AND ARE SHOWN FOR REFERENCE ONLY.
- WOLF CREEK DRIVE RIGHT OF WAY TO BE DEDICATED VIA SCHEDULED RECORDING INSTRUMENT.



**LEGEND**

- BOUNDARY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- Δ MONUMENT SET (5/8" REBAR BY 1 1/4" YELLOW PLASTIC CAP STAMPED 15-811)
- ▭ MONUMENT FOUND
- RS SOLID REBAR
- OPC ORANGE PLASTIC CAP
- M MEASURED DIMENSION
- R RECORD DIMENSION
- (R1) GOODMAN SURVEY (1977)
- STREET DEDICATION

**LAND SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION HEREIN AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT ALL CORNERS, ANGLE POINTS AND ENDS OF CURVES ON THE SUBDIVISION OF THE PLAN AND THAT PERMANENT MONUMENTS WILL BE PLACED AT ALL CORNERS, ANGLE POINTS AND ENDS OF CURVES ON ALL LOTS AND STRIETS WITHIN THE SUBDIVISION TO BE SHOWN AS RECORDED ON LOT 1, BEING A PLATTING OF TAX LOT 4F, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

BEING AT A 5/8" REBAR AT THE SOUTHWEST CORNER OF LOT 3, WEST BELLEVUE PLAZA REPLAT V, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 28th STREET.

THENCE NORTH 89°27'18" EAST (ASSUMED BEARING) FOR 892.78 FEET ON THE SOUTH LINE OF LOTS 1 AND 2, SAID WEST BELLEVUE PLAZA REPLAT V, AND LOTS 1 AND 2, ONE CORNHUSKER PLAZA REPLAT 1, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID LOTS 1 AND 2, ONE CORNHUSKER PLAZA REPLAT 1;

THENCE NORTH 89°28'42" WEST FOR 824.24 FEET ON THE EAST LINE OF SAID LOT 2, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF LOT 8, CORNHUSKER CENTER REPLAT 2, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE NORTH 89°29'12" EAST FOR 284.88 FEET ON THE SOUTH LINE OF SAID LOT 8, TO A 5/8" REBAR AT THE NORTHWEST CORNER OF LOT 1, CORNHUSKER CENTER REPLAT 2, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE SOUTH 89°28'42" WEST FOR 1037.02 FEET TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID LOT 1, SAID CORNER ALSO BEING ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27;

THENCE SOUTH 89°28'42" WEST FOR 821.88 FEET ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27, ALSO BEING THE NORTH LINE OF WILLOW SPRINGS, AND THE NORTH SUBDIVISION AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC CAP STAMPED 15 811 AT THE SOUTHWEST CORNER OF SAID LOT 4C;

THENCE NORTH 87°24'12" EAST FOR 1037.02 FEET TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID TAX LOT 4E;

THENCE SOUTH 89°28'42" WEST FOR 244.87 FEET TO A 5/8" REBAR AT THE NORTHWEST CORNER OF SAID TAX LOT 4E, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 28th STREET;

THENCE ON THE EAST RIGHT-OF-WAY LINE OF 28th STREET FOR THE FOLLOWING FOUR (4) CORNERS:

- THENCE NORTH 02°22'17" WEST FOR 306.13 FEET TO A 5/8" REBAR;
- THENCE NORTH 89°28'12" EAST FOR 100.44 FEET TO A 5/8" REBAR;
- THENCE NORTH 89°27'18" WEST FOR 100.44 FEET TO A 5/8" REBAR;
- THENCE NORTH 02°23'42" WEST FOR 218.97 FEET TO THE POINT OF BEGINNING,

CONTAINING 28.873 ACRES.

CHRISTOPHER L. SCHALIC, L.S. 811  
DATE:



**"NOTE: RIGHT-OF-WAY DEDICATION PLANING"**

**DEDICATION**

KNOW ALL PERSONS BY THESE PRESENTS THAT WE, BELLEVUE SOUTH 28th STREET NE PL, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, OWNERS AND (PRINTED NAME OF BANK) MORTGAGEE, OF THE LAND DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND (PRINTED NAME OF BANK) DEBENTURED UNDER THIS PLAN, HAVE CAUSED SAID LAND TO BE SURVEYED AND LOTS AND STRIETS TO BE NUMBERED AND MAILED AS SHOWN HEREIN, SAID SURVEY TO BE RECORDED UNDER AN NEBRASKA GEN. STAT. CH. 79, § 4501 PERMIT AND APPLICABLE TO SAID PROPERTY AS SHOWN ON THIS PLAN, AND WE DO HEREBY REQUEST TO THE PUBLIC THE STRIETS OF SAID SECTION AND OF HEREIN BEING THE EASEMENTS OF SAID PROPERTY AS SHOWN ON THIS PLAN, AND WE DO HEREBY REQUEST TO THE PUBLIC FOR THEIR RESPECTIVE OFFICIALS, AGENCIES, OFFICERS, AND COMMISSIONERS, THE PERMITS AND CONSENTS, THE ENDORSEMENTS OF RECORDS, AND SIGNATURES OF THE PUBLIC TO THE DEDICATION PLANING FOR THESE LOTS AND STRIETS. WE HEREBY REQUEST TO THE PUBLIC TO TAKE THE NECESSARY ACTIONS TO COMPLETE THE DEDICATION PLANING AS PROVIDED HEREIN. THERE IS RESERVED TO THE DONATOR, AND TO THE DONOR'S HEIR, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE THE DEDICATION AREA. THE GRANT OF RELEASE TO THE RIGHTS RESERVED HEREIN MUST BE APPROVED BY THE DONOR, IN WRITTEN FORM.

**DONOR OF EASEMENTS:**

**FOR POWER AND COMMUNICATIONS:**

POTENTIAL EASEMENTS SHALL BE GRANTED TO THE DAWNA PUBLIC POWER DISTRICT, COE COMMUNICATIONS AND COLUMBIAN AND TO ANY ANY COMPANY WHICH HAS BEEN EXTENDING A FRANCHISE UNDER THE AUTHORITY OF THE CITY COUNCIL OF BELLEVUE, NEBRASKA TO PROVIDE A CABLE TELEVISION AND ELECTRIC COMMUNICATION STRIETS IN THE AREA TO BE SUBDIVIDED. THEIR SUCCESSORS AND ASSIGNS, TO ERECT, OPERATE, MAINTAIN, REPAIR AND REMOVE PULSES, SPINDS, CABLES, CONDUITS, AND OTHER RELATED INFRASTRUCTURE AND TO EXTEND THEREON WHICH IS CALLED FOR THE CARRIAGE AND TRANSMISSION OF ELECTRIC CURRENT FOR LIGHT AND POWER AND FOR THE TRANSMISSION OF SIGNALS AND SIGNALS OF ALL KINDS AND THE RECEIVING THEREOF, THROUGH, UNDER AND ACROSS A FIVE-FEET-WIDE STRIP OF LAND ADJACENT ALL FRUIT AND BEAR BOUNDARY LINES AND ALL EXTERIOR LOTS, THE TOWN "EXTENSION LOTS" IS HEREBY BOUND AS THESE LOTS FORMING THE OUTER PERIMETER OF THE ABOVE DESCRIBED SECTION. SAID 16-FOOT-WIDE DEDICATION SHALL BE BOUNDARY LINES AND STRIETS WHICH THE PUBLIC SHALL BE CONSIDERED TO FRUIT, AND TO BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE ABOVE SAID USES OR RIGHTS HEREIN GRANTED.

**FOR WATER AND GAS:**

POTENTIAL EASEMENTS SHALL BE GRANTED TO METROPOLITAN UTILITIES DISTRICT OF DAWNA, AND BLACK HILLS ENERGY AND THEIR SUCCESSORS AND ASSIGNS, TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND REMOVE HYDRAULIC AND OTHER RELATED FACILITIES AND TO EXTEND THEREON PIPES FOR THE TRANSMISSION OF GAS AND WATER OR, THEREAFTER, UNDER AND ACROSS A FIVE-FEET-WIDE STRIP OF LAND ADJACENT ALL STREET FRONTS OF ALL LOTS. NO PERMANENT BUILDINGS OR STRUCTURES SHALL BE PLACED IN THE SAID DEDICATION STRIP, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE ABOVE SAID USES OR RIGHTS HEREIN GRANTED.

**BELLEVUE SOUTH 28th STREET NE PL, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, OWNER**

(PRINTED NAME) SIGNATURE \_\_\_\_\_  
(PRINTED TITLE) \_\_\_\_\_  
(PRINTED NAME OF BANK) MORTGAGEE \_\_\_\_\_  
(PRINTED NAME) SIGNATURE \_\_\_\_\_  
(PRINTED TITLE) \_\_\_\_\_

**SARPY COUNTY TREASURER'S CERTIFICATE**

THIS IS TO CERTIFY THAT I FIND NO RECORD NOR SPECIAL TAXED SALE OR ENCUMBRANCE AGAINST THE PROPERTY DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND EMBODIED IN THIS PLAN, AS SHOWN BY THE RECORDS OF THIS OFFICE. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

SARPY COUNTY TREASURER

**APPROVAL OF BELLEVUE PLANNING COMMISSION**

THIS PLAN OF REDWOOD 25, LOT 1 WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

COMMISSIONER

**APPROVAL OF BELLEVUE CITY COUNCIL**

THIS PLAN OF REDWOOD 25, LOT 1 WAS APPROVED AND ADOPTED BY THE CITY COUNCIL OF BELLEVUE, NEBRASKA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

THIS PLAN RECEIVES SHALL AND VOID IF NOT RECORDED WITHIN 90 DAY OF THE ABOVE DATE.

MAYOR \_\_\_\_\_  
ATTORNEY \_\_\_\_\_  
CITY CLERK \_\_\_\_\_

**REVIEW BY SARPY COUNTY PUBLIC WORKS**

THIS PLAN OF REDWOOD 25, LOT 1 WAS REVIEWED BY THE SARPY COUNTY SURVEYOR'S OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

SARPY COUNTY SURVEYOR/DRAWER

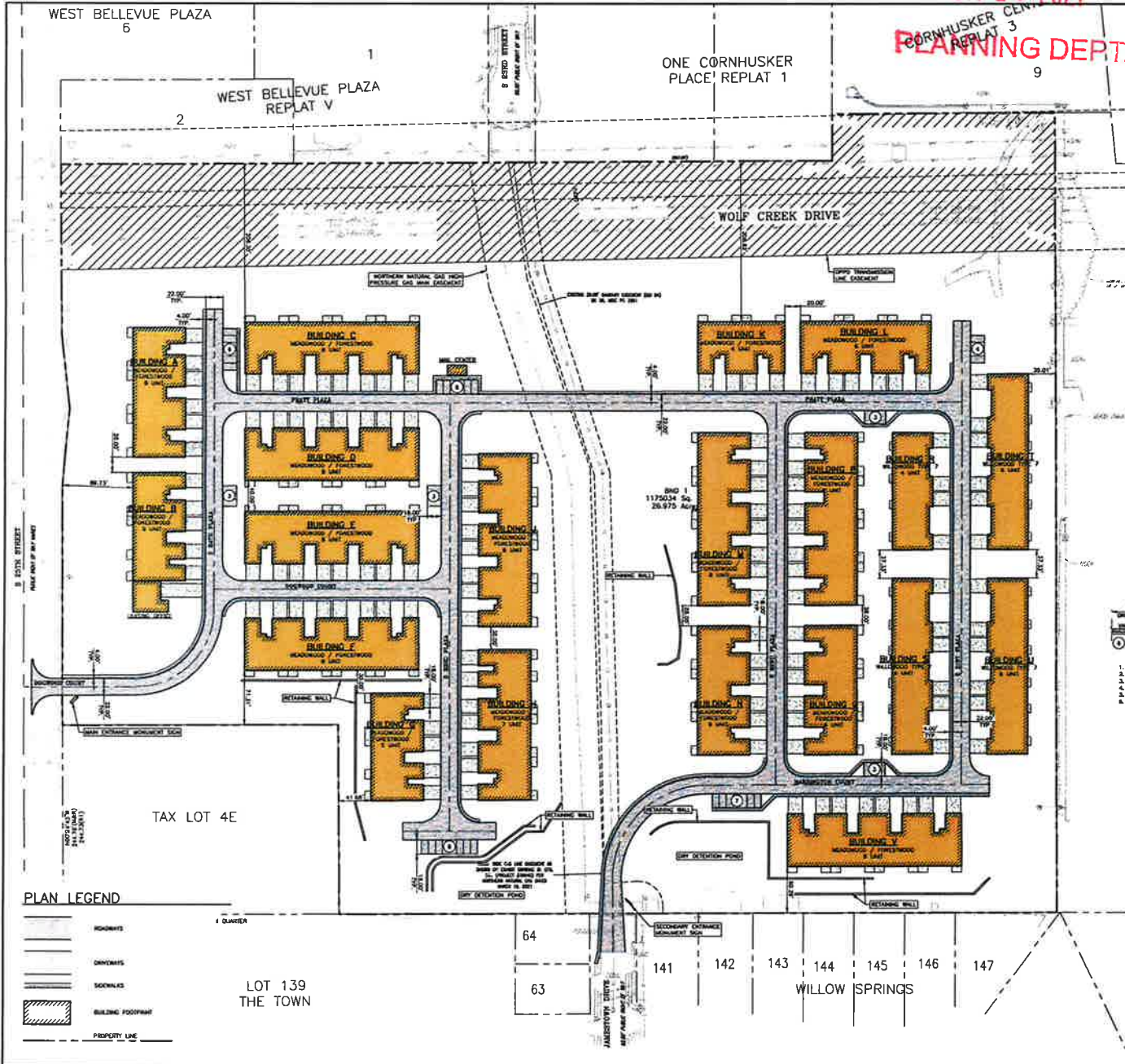
**811**  
Know what's below. Call before you dig.  
888-811-1222  
STATE OF NEBRASKA  
COUNTY OF \_\_\_\_\_  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021  
BY \_\_\_\_\_ OF \_\_\_\_\_  
(PRINTED NAME) (PRINTED TITLE)  
BELLEVUE SOUTH 28th STREET NE PL, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, OR BEHALF OF SAID COMPANY.  
SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_  
STATE OF NEBRASKA } SS  
COUNTY OF \_\_\_\_\_ } SS  
DATE \_\_\_\_\_ 2021  
FEE: \$10.00  
RECORDING FEE: \$20.00  
BOOK AND PAGE: 21807-1-2  
SHEET 1 of 1

FINAL PLAT  
REDWOOD 25, LOT 1  
BELLEVUE, SARPY COUNTY, NEBRASKA

RECEIVED

JUN 17 2021

CORNHUSKER CENTRAL REPLAT 3 PLANNING DEPT.



**VICINITY MAP**

LEGAL DESCRIPTION: THE LOT OF 27-14-13 (28.83 AC) SOUTHEAST OF 25TH STREET AND CORNHUSKER ROAD, SHERIDAN COUNTY, NEBRASKA

ADDRESS: REDWOOD APARTMENT NEIGHBORHOODS

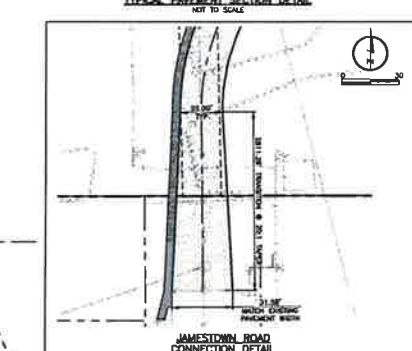
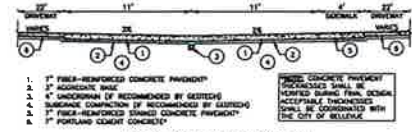
APPLICANT: 440-832-0844 - KEVIN KWATONSKI

PROJECT NUMBER: MULTIFAMILY APARTMENTS

USE TYPE: EXISTING AG. AGRICULTURAL DISTRICT REZONED: P2, R2-28, PLANNED SUBDIVISION GENERAL RESIDENTIAL DISTRICT

**SITE REGULATORS (SEE ARTICLE 20.02, 20.03 AND 20.04 OF THE ZONING ORDINANCE)**

REGULATOR	ALLOWED	PROPOSED	COMMENTS
A. MINIMUM SITE AREA PER UNIT	5,000 SF FOR FIRST 4 UNITS 2,000 SF FOR EACH ADDITIONAL UNIT	8,970 SF / UNIT	PER 20.03.05
B. MINIMUM LOT AREA	N/A	N/A	PER 20.03.06
C. MINIMUM LOT WIDTH	30 FEET	>30 FEET	PER 20.03.07
D. MINIMUM YARDS	FRONT YARD: 30 FEET INTERIOR SIDE YARD: 5 FEET REAR YARD: 15 FEET	FRONT YARD: 60.73 FEET INTERIOR SIDE YARD: N/A REAR YARD: 32.61 FEET	PER 20.03.08 PER 20.03.09 PER 20.03.10
E. MINIMUM BUILDING HEIGHT	35 FEET	<35 FEET	PER 20.03.11
F. MINIMUM BUILDING COVERAGE	80%	18.7%	PER 20.03.12
G. MINIMUM INTERVALS COVERAGE	N/A	N/A	
H. PROJECT SIZE REQUIRING LARGE PROJECT SPECIAL USE PERMIT	>15 ACRES OR 3,000 UNITS	NONE	NOT REQUIRED
I. MINIMUM HEIGHT OF TOTAL PARKING LOCATED IN STREET YARD	35%	NONE	
J. MINIMUM DEPTH OF LANDSCAPING ADJACENT TO STREET RIGHT-OF-WAY	15 FEET	15 FEET	
K. MINIMUM NUMBER OF PARKING STALLS	1 STALL / DWELLING UNIT	3 GARAGE STALLS + 2 BICYCLE (GARAGE) STALLS / UNIT	
L. MINIMUM NUMBER OF ACCESSIBLE PARKING STALLS	2% OF TOTAL	>5% OF TOTAL	



**LAMP RYNEARSON**

LAMPRYNEARSON.COM

OMAHA, NEBRASKA  
1410 W. DOUGLAS ST. STE. 100 OMAHA, NE 68102

FORT COLLINS, COLORADO  
4700 FORTIFICATION DR., STE. 100 FORT COLLINS, CO 80504

KANSAS CITY, MISSOURI  
3001 STATE ST., STE. 201 KANSAS CITY, MO 64111



PRELIMINARY

NOT BUILT FOR CONSTRUCTION

PLANNED SUBDIVISION  
SITE PLAN

REDWOOD 25TH AND CORNHUSKER  
SARPY COUNTY, NEBRASKA

**811**  
Know what's below.  
Call before you dig.

DATE: 05/21/2021  
PROJECT NUMBER: 20200601-001  
SCALE: AS SHOWN

**PLAN LEGEND**

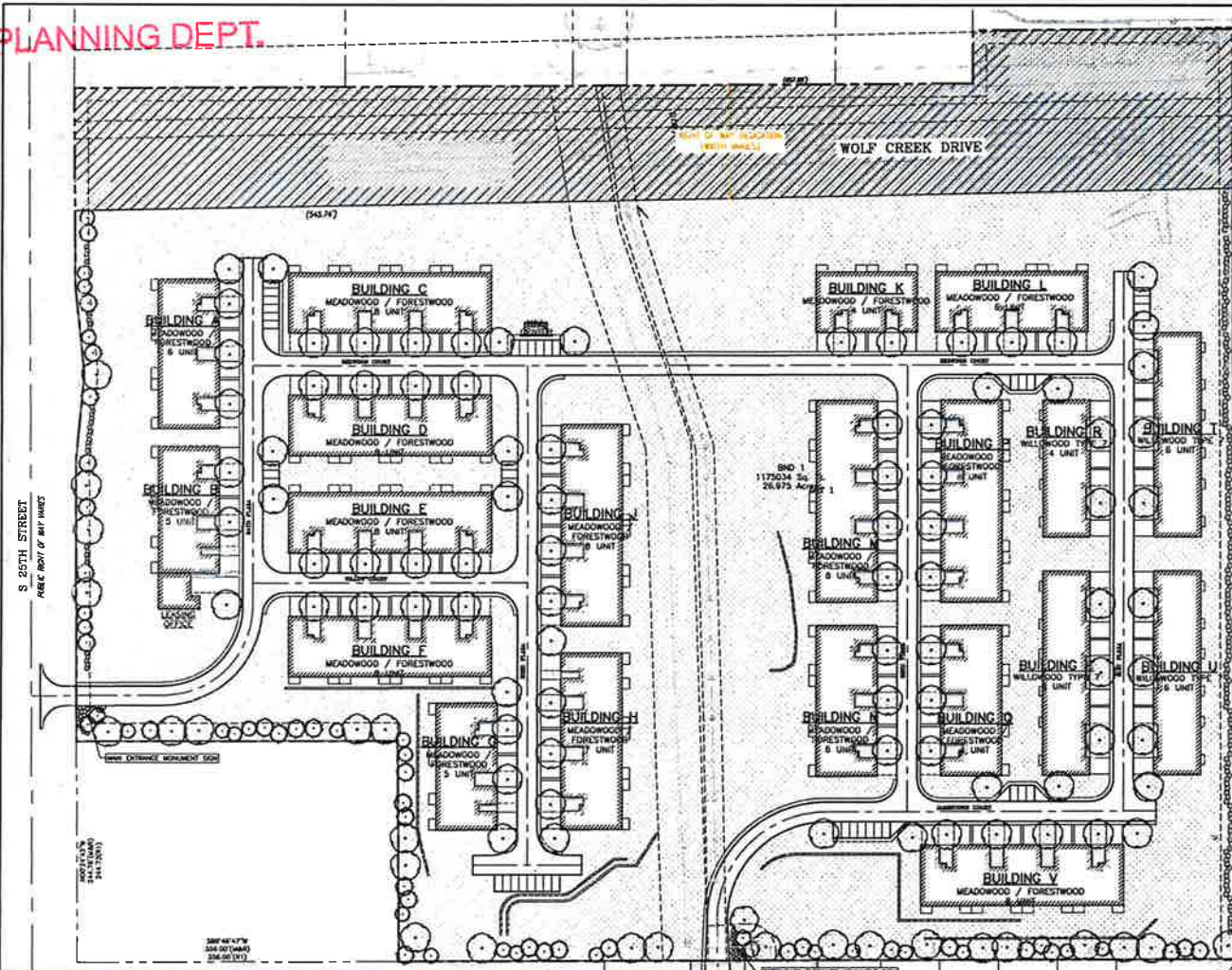
- ROADWAYS
- DRIVEWAYS
- SIDEWALKS
- BUILDING FOOTPRINT
- PROPERTY LINE

**EXHIBIT A**

RECEIVED

JUN 15 2021

PLANNING DEPT.



ORNAMENTAL TREE LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	Acer glabrum	Smooth Bark Maple	2" CAL.	35	35
	Spruce canadensis	Canada Spruce	2" CAL.	35	35
	Thuja occidentalis	Green Garden Spire	2" CAL.	30	30
	Thuja plicata	Western Arborvitae	2" CAL.	18	18

CONIFEROUS EVERGREEN TREE LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	Picea canadensis	Colorado Spruce	6-7" HT.	80	30
	Picea canadensis	Colorado Spruce	6-7" HT.	80	30
	Picea canadensis	Colorado Spruce	6-7" HT.	80	30
	Thuja occidentalis	Green Garden Spire	2" CAL.	30	30

DECIDUOUS SHADE TREE LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	Acer rubrum	Red Maple	2" CAL.	60	30
	Fraxinus americana	White Ash	2" CAL.	75	80
	Liquidambar styraciflua	Black Gum	2" CAL.	50	30
	Quercus rubra	Red Oak	2" CAL.	70	70
	Tilia cordata	Blue Tilia	2" CAL.	70	40

SHRUB LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	Spiraea japonica	Japanese Spirea	2" CAL.	3-4'	3-4'
	Spiraea japonica	Japanese Spirea	2" CAL.	3-4'	3-4'
	Spiraea japonica	Japanese Spirea	2" CAL.	3-4'	3-4'
	Spiraea japonica	Japanese Spirea	2" CAL.	3-4'	3-4'

**ZONING**  
 EXISTING ZONING: AC - AGRICULTURAL DISTRICT  
 PROPOSED ZONING: P3 R3-38 - PLANNED SUBSIDIARY, GENERAL RESIDENTIAL DISTRICT  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL APARTMENTS

**DEVELOPMENT AREA**  
 TOTAL SITE AREA: 16.98 ACRES  
 BUILDING AREA COVERAGE: 5.31 ACRES 31.32%  
 IMPERVIOUS COVERAGE: 8.28 ACRES 48.78%  
 PERVIOUS COVERAGE: 17.62 ACRES 103.52%

**LANDSCAPING REQUIREMENTS PER ARTICLE 8.11.06.B AND ARTICLE 8**  
 MULTI-FAMILY RESIDENTIAL LANDSCAPING PER ART. 8.11.06.B  
 TOTAL DRILLING UNITS = 131 UNITS  
 PLANTING OPTION = 1 DECIDUOUS/CONIFEROUS TREE & 3 SHRUBS PER 2 DRILLING UNITS  
 131 / 2 = 65.5 PLANTING UNITS  
 REQUIRED PLANTINGS = 66 DECIDUOUS/CONIFEROUS TREES  
 197 SHRUBS

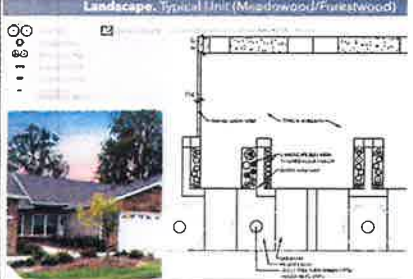
**ST STREET LANDSCAPING PER ART. 8.11.06.B - SOUTH SIDE OF STREET**  
 PLANTING REQUIREMENT = 1 DECIDUOUS SHADE/ORNAMENTAL TREE & 3 SHRUBS PER 40 LF OF FRONTAGE  
 STREET WAD AREA = 728 LF / 40 = 18.2 PLANTING UNITS  
 REQUIRED PLANTINGS = 18 DECIDUOUS SHADE/ORNAMENTAL TREES  
 56 SHRUBS

**PLANTING AREA LANDSCAPING PER ART. 8.11.06.B**  
 TOTAL PARKING STALLS = 43  
 PLANTING REQUIREMENT = 10 SF OF LANDSCAPED AREA PER STALL, 1 TREE PER 300 SF OF LANDSCAPED AREA  
 819 STALLS \* 10 = 819 SF OF LANDSCAPED AREA / 300 = 2.73  
 REQUIRED PLANTINGS = 3 DECIDUOUS SHADE TREES

**DRILLING UNIT REQUIREMENTS PER TABLE 8A, ART. 8.11.06.B**  
 ADJACENT ZONING:  
 = NORTH (80)  
 = SOUTH (40, 80A, R3-34 & R3-70)  
 = EAST (80)  
 = WEST (25TH STREET R.O.B.)

**REQUIRED SHRUBS TABLE PER TABLE 8A, ART. 8.11.06.B**  
 N/A = NORTH (80)  
 N/A = EAST (80)  
 N/A = SOUTH (80A)  
 20' = SOUTH (80A & 80B) 20' 1 ROW OF DECIDUOUS AND EVERGREEN TREE SPACES AT 6' 1/2' SPREAD  
 132 LF / 38 = 3.47 TREES

**TOTAL REQUIRED PLANTINGS**  
 ORNAMENTAL TREES: 87 TREES 278  
 EVERGREEN TREES: 41 TREES 336 (PER ART. 8.11.06.7)  
 DECIDUOUS TREES: 48 TREES 408  
 TOTAL TREES: 176 TREES 1022  
 TOTAL SHRUBS: 252 SHRUBS



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 OMAHA, NEBRASKA  
 1474 W. DOUGLAS ST., STE. 100-1000-1000  
 FORT COLLINS, COLORADO  
 1715 INNOVATION DR., STE. 100-1000-1000  
 KANSAS CITY, MISSOURI  
 3611 S.W. 15TH, P.O. BOX 200-1000

PRELIMINARY  
 NOT VALID FOR CONSTRUCTION  
 06-20-2021

PLANNED SUBMISSION  
 LANDSCAPING PLAN  
 REDWOOD 25TH AND CORNHUSKER  
 SARPY COUNTY, NEBRASKA

**811**  
 Know what's below.  
 Call before you dig.

DATE: 06/21/2021  
 PROJECT NUMBER: 20210621-001  
 DRAWING TITLE: TREE AND PLANT

SHEET  
 1 OF 1

**EXHIBIT B**

"barn red" will not be used, see proposed color palette (Exhibit E)

Meadowood  
w/Building Steps

Forestwood  
w/Building Steps

Capewood  
w/Building Steps





"barn red" will not be used - see proposed color palette (Exhibit E)

Willowood  
w/Building Steps



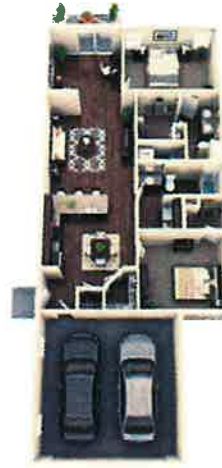
## Forestwood

*1,294 SQFT*



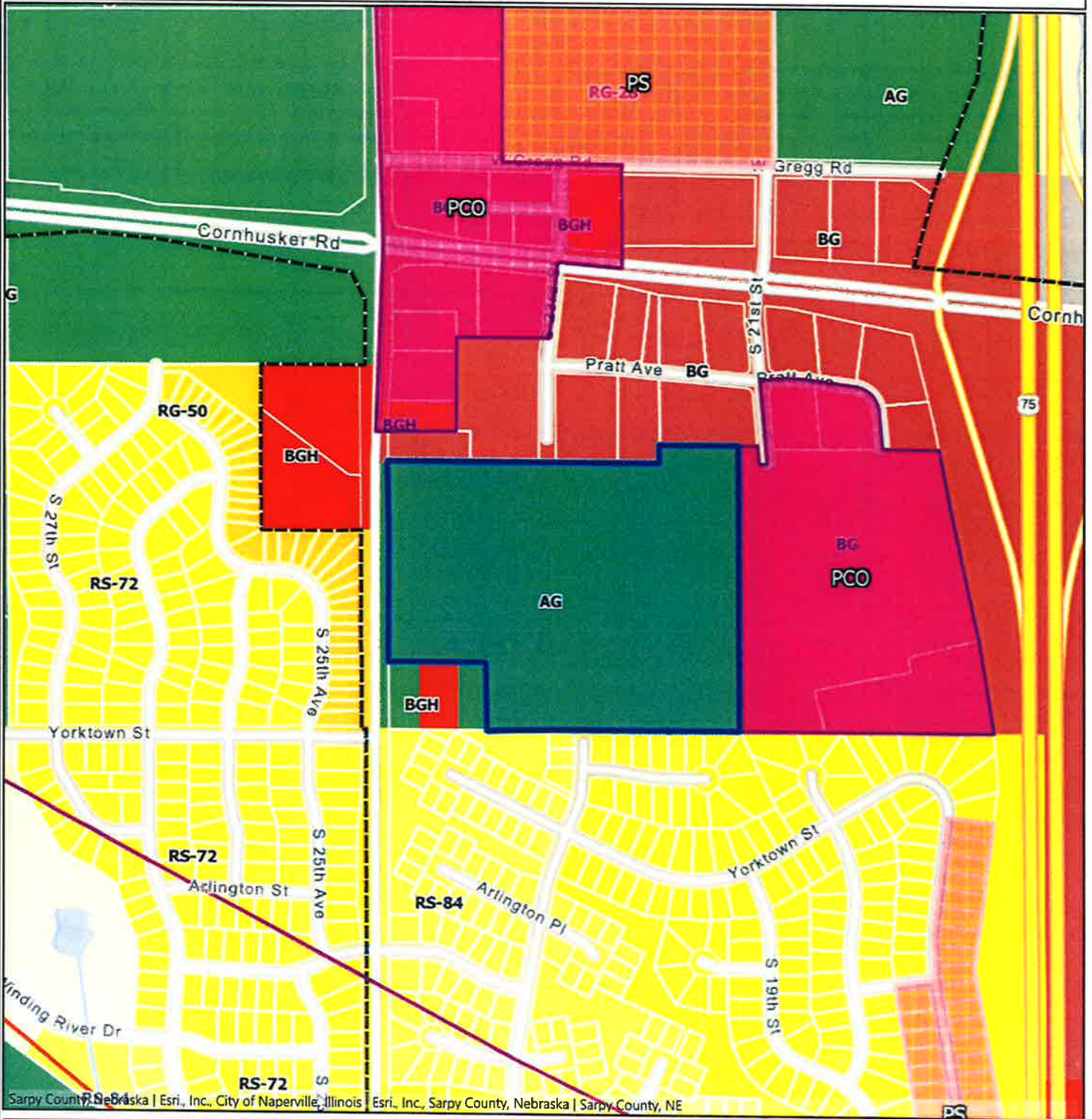
## Meadowood

*1,327 SQFT*



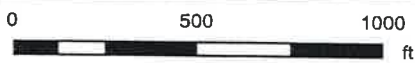
## Willowood

*1,381 SQFT*



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE

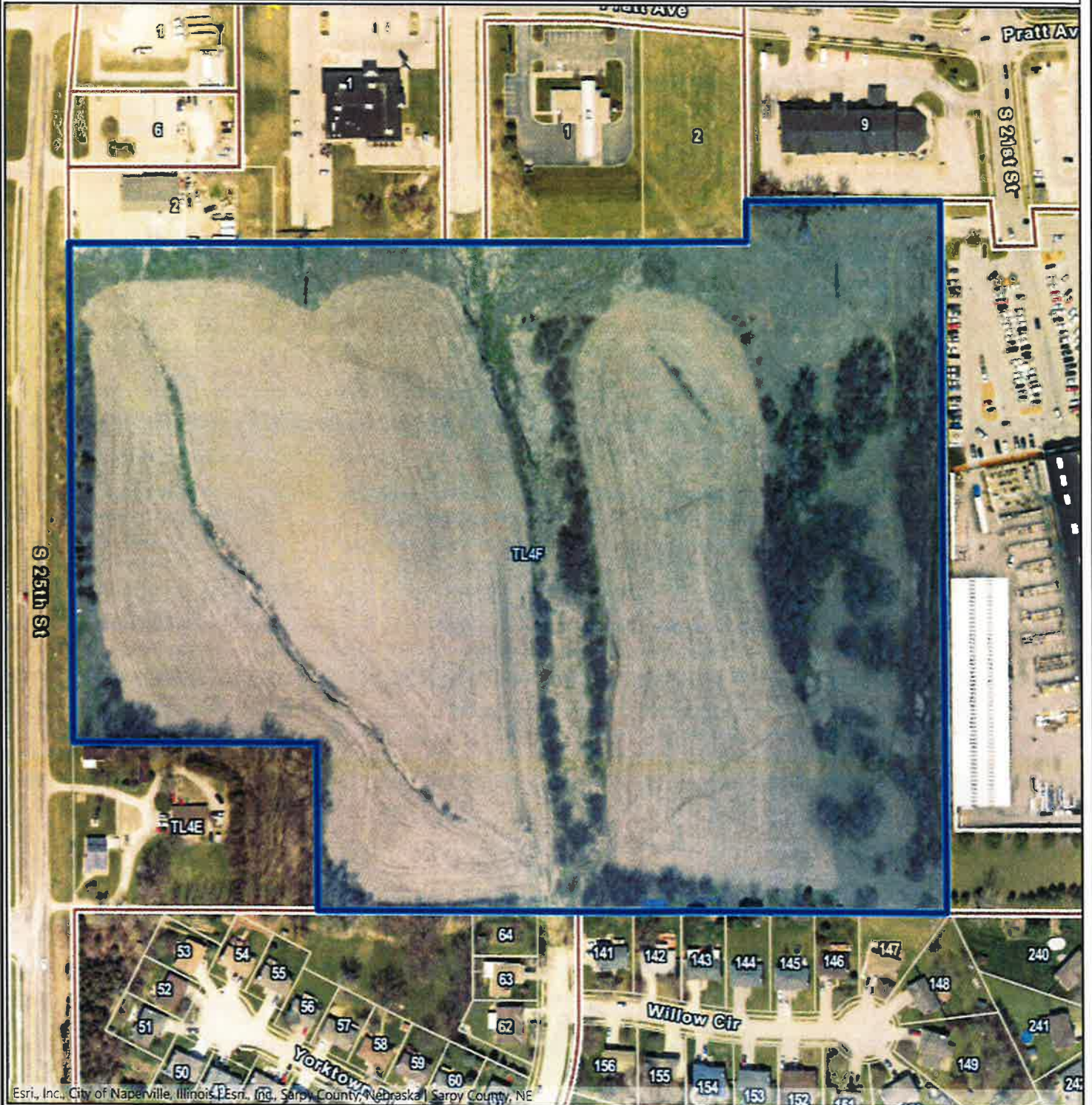
Notes



Map Scale 1: 7962

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Esri, Inc., City of Naperville, Illinois, Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE

Notes



Map Scale 1: 3185

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JUN 17 2021

PLANNING DEPT.

LOCATED IN  
OF 1/4 NE 1/4 SEC. 27, T14N, R13E

**LAMP RYNEARSON**

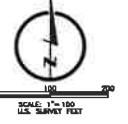
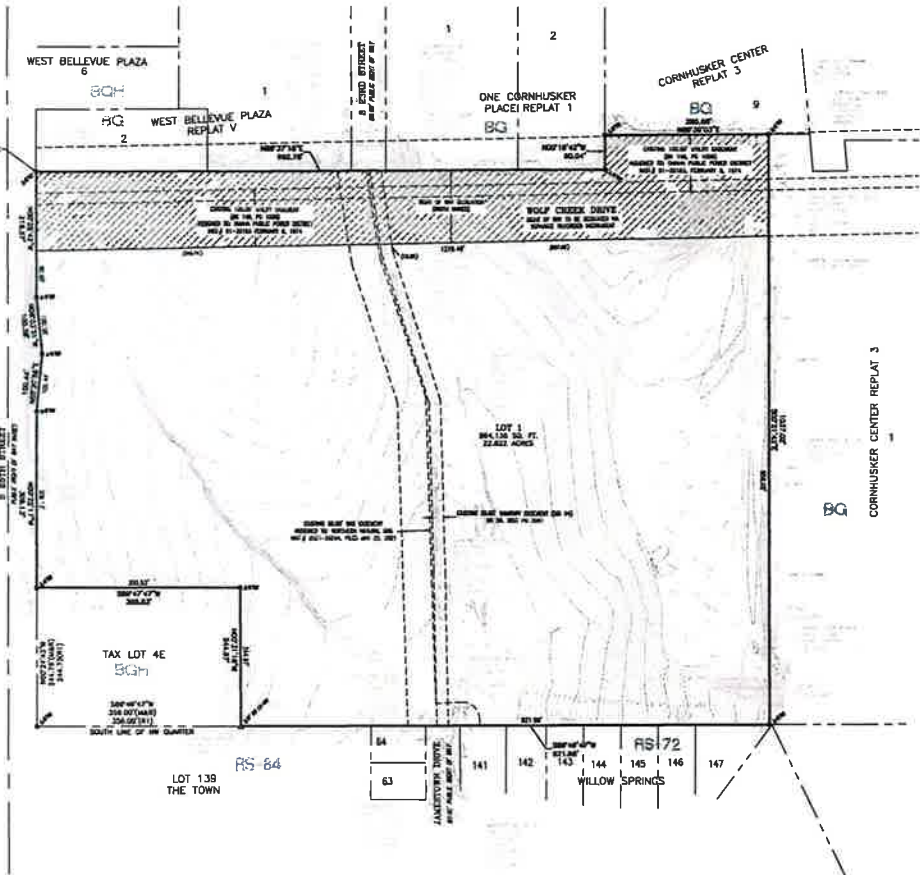
LAMP@RYNEARSON.COM  
OMAHA, NEBRASKA  
1470 W LODGE RD, STE. 100 INDEPENDENCE  
FORT COLLINS, COLORADO  
4715 BRIMAVEN DR, STE. 100 FORT COCKE  
KANSAS CITY, MISSOURI  
8001 STATE RD. NO. 31, 20 191041 040



# REDWOOD 25

LOT 1, BEING A PLATTING OF TAX LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA

- NOTES**
1. ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
  2. LOT 1 WILL HAVE NO DIRECT VEHICULAR ACCESS TO S 25TH STREET.
  3. ALL EXISTING EASEMENTS ARE NOT BEING RECORDED AND ARE SHOWN FOR REFERENCE ONLY.
  4. WOLF CREEK DRIVE RIGHT OF WAY TO BE DEDICATED VIA SEPARATE, RECORDED INSTRUMENT.



**LEGEND**

--- BOUNDARY LINE	○ LIGHT POLE
--- SECTION LINE	○ LIGHT STREET
--- ADJACENT PROPERTIES	○ LIGHT YARD
--- EXISTING EASEMENT	○ 3/4" REBAR UNLESS OTHERWISE NOTED
--- EXISTING WALL	△ 3/4" REBAR WITH 1" X 1/4" YELLOW PLASTIC CAP STAMPED LS-811
--- FIBER OPTIC LINE	○ POWER POLE
--- SHOW FILE CODE	○ SIGNATURE MANHOLE
--- SPLIT EDGE	○ SIGN
--- SANDWICH LENSER LINE	○ SIGN MANHOLE
--- GAS LINE	○ STORM PIPE END
--- OVERHEAD POWER	○ TELEPHONE MANHOLE
--- PARKING EDGE	○ TELEPHONE JUNCTION
--- BUILDING EDGE	○ WATER VALVE
○ AREA INLET ROUND	○ MEASURED
○ BELLHOLE	○ RECORD
○ CABLE MARKING SIGN	○ PLAT
○ CONTROL POINT	○ SHERMAN SURVEY (1977)
○ DECORATED TREE	○ INDEX, AS SURVEY (1977)
○ ELECTRIC PNEUMATIC	○ REMARK
○ FES	○ SIGN SHOT
○ FIBER OPTIC PULLBOX	○ CIRCULAR PLASTIC CAP
○ FIRE HYDRANT	○ STREET RESECTION
○ GAS MARKING SIGN	
○ GRAVE INLET	
○ DRY WIRE	
○-○ H STRUCTURE	

**OWNER**  
DELORES BARRACLOUGH AND CHARLES FRANK - TRUSTEES  
848 S 25TH STREET  
OMAHA, NEBRASKA 68127

**APPLICANT**  
BELLEVUE SOUTH 25TH STREET NE, P.L.L.C.  
A NEBRASKA LIMITED LIABILITY COMPANY  
7007 EAST PLAZAWAY VALLEY ROAD  
BROOKDALE, OHIO 44131

**ENGINEER**  
LAMP RYNEARSON  
15710 WEST OGDON ROAD, SUITE 100  
OMAHA, NEBRASKA 68154-2027

**ZONING**  
DISTRICT: RC  
PROPOSED: RC-ZB (P)

**POWER**  
OMAHA PUBLIC POWER DISTRICT  
444 SOUTH 18TH STREET MALL  
OMAHA, NE 68103-2247

**WATER**  
METROPOLITAN UTILITIES DISTRICT  
3100 SOUTH 81ST AVENUE  
OMAHA, NE 68108-3521

**GIS**  
METROPOLITAN UTILITIES DISTRICT  
3100 SOUTH 81ST AVENUE  
OMAHA, NE 68108-3521

**AS SURVEYED LEGAL DESCRIPTION**

IN LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

BEING A 1/4" REBAR AT THE SOUTHWEST CORNER OF LOT 2, WEST BELLEVUE PLAZA REPLAT V, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 25TH STREET;

THENCE NORTH 89°27'10" EAST (BEARING) BEARING FOR 60.00 FEET ON THE SOUTH LINE OF LOTS 1 AND 2, SAID WEST BELLEVUE PLAZA REPLAT V, AND LOTS 1 AND 2, ONE COMMERCE PLACE REPLAT 1, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 1/4" REBAR AT THE SOUTHWEST CORNER OF SAID LOT 2, ONE COMMERCE PLACE REPLAT 1;

THENCE NORTH 82°18'40" WEST FOR 60.04 FEET ON THE EAST LINE OF SAID LOT 2, TO A 1/4" REBAR AT THE SOUTHWEST CORNER OF LOT 6, CORNHUSKER CENTER REPLAT 3, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE NORTH 89°39'51" SAG FOR 285.88 FEET ON THE SOUTH LINE OF SAID LOT 6, TO A 1/4" REBAR AT THE NORTHWEST CORNER OF LOT 1, CORNHUSKER CENTER REPLAT 3, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE SOUTH 02°21'43" EAST FOR 1037.02, TO A 3/4" REBAR AT THE SOUTHWEST CORNER OF SAID LOT 1, SAID CORNER ALSO BEING ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27;

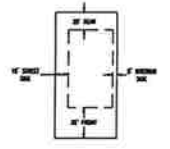
THENCE SOUTH 89°46'47" WEST FOR 821.08 FEET ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27, ALSO BEING THE NORTH LINE OF WILLOW SPRINGS, AND THE TOWN SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 3/4" REBAR WITH 1 1/4" YELLOW PLASTIC CAP STAMPED LS 811 AT THE SOUTHWEST CORNER OF TAX LOT 4E;

THENCE NORTH 83°11'18" WEST FOR 244.87 FEET TO A 3/4" REBAR AT THE NORTHEAST CORNER OF SAID TAX LOT 4E;

THENCE SOUTH 89°47'47" WEST FOR 300.50 FEET TO A 1/4" REBAR AT THE NORTHWEST CORNER OF SAID TAX LOT 4E, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 25TH ST;

THENCE ON THE EAST RIGHT-OF-WAY LINE OF 25TH ST FOR THE FOLLOWING FOUR (4) COURSES:  
 (1) THENCE NORTH 89°22'17" WEST FOR 300.10 FEET TO A 3/4" REBAR;  
 (2) THENCE NORTH 89°27'10" EAST FOR 100.04 FEET TO A 1/4" REBAR;  
 (3) THENCE NORTH 89°37'51" WEST FOR 100.04 FEET TO A 1/4" REBAR;  
 (4) THENCE NORTH 89°27'10" WEST FOR 218.57 FEET TO THE POINT OF BEGINNING;

CONTAINS 22.822 ACRES AS FOLLOWS MEASURED.



NOTE: OTHER REQUIREMENTS AND SETBACKS MAY APPLY.

**RC-ZB ZONING**  
**MULTI-FAMILY DWELLING**  
**SETBACK REQUIREMENTS**  
NO SCALE

\*NOTE: RIGHT-OF-WAY DEDICATION PENDING

**FLOOD ZONE**  
UNSHOVED ZONE X  
AREA OF MINOR FLOOD HAZARD.  
MAP NUMBER 311320000H  
MAP EFFECTIVE DATE: 3/21/2010  
COMBINATION NUMBER: 31181

FLOOD ZONE REQUIREMENTS MAY BE SUBJECT TO CHANGE OR INTERPRETATION BY THE LOCAL GOVERNING AGENCIES. CONTACT THE LOCAL FLOOD PLAN MANAGER OR OTHER APPROPRIATE OFFICIAL TO DETERMINE LOCAL JURISDICTIONS OR CHANGES IN REGULATIONS, FUTURE OR PREVIOUS.

**CONTROL NOTE**  
- HORIZONTAL DIMENSIONS ARE BASED ON SARPY COUNTY LOW ELEVATION COORDINATE SYSTEM.  
- VERTICAL DIMENSIONS ARE BASED ON NAVD83 (8200-10) AS ESTABLISHED USING LEGAL REFERENCED NETWORK.

**UTILITY NOTES**

1. THIS DRAWING INCLUDES OBSERVED EVIDENCE OF SERVICES AND UTILITIES EXHIBIT AT THE TIME OF SURVEY. RECORD LOCATIONS PROVIDED BY THOSE COMPANIES RESPONDING TO OUR REQUEST AND THOSE MARKED BY "THE CALLER" LOCATIONS. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR THE FAILURE TO SHOW ANY BURIED SERVICE AND/OR UTILITY LINES EVEN THOUGH THEY MAY EXIST. CONTACT THE CALLER (311) PRIOR TO ANY CONSTRUCTION ON THIS SITE.  
- SHEET NO. 210404114, 210404114, 210404104  
DATED: 2/21/2021

PRELIMINARY PLAT  
REDWOOD 25, LOT 1  
BELLEVUE, SARPY COUNTY, NEBRASKA

**811**  
Know what's below.  
Call before you dig.  
1-800-485-4848

Customer Information  
Date: \_\_\_\_\_  
Project Number: \_\_\_\_\_  
Scale and Plot: \_\_\_\_\_  
Sheet: \_\_\_\_\_

1 OF 1

RECEIVED

JUN 17 2021

PLANNING DEPT.

# REDWOOD 25

LOT 1, BEING A PLATING OF TAX LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 8TH P.M., SARPY COUNTY, NEBRASKA

LOCATED IN:  
28 1/4" N 1/4" SEC. 27, T14N, R13E

**LAMP  
RYNEARSON**

LAMP@RYNEARSON.COM  
OMAHA, NEBRASKA  
14700 DODD RD. STE. 100 PLEASANT HILL  
FORT COLLINS, COLORADO  
4700 WOODRIDGE DR., STE. 100 FORT COCKERILL  
KANSAS CITY, MISSOURI  
8001 STATELINE DR., STE. 200 JENNIFER, MO

### LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION HEREON AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT ALL CORNERS, ANGLE POINTS AND POINTS OF CURVES ON THE BOUNDARY OF THE PLAT AND THAT PERMANENT MONUMENTS WILL BE PLACED AT ALL CORNERS, ANGLE POINTS AND POINTS OF CURVES ON ALL LOTS AND STREETS WITHIN THE SUBDIVISION TO BE KNOWN AS REDWOOD 25, LOT 1, BEING A PLATING OF THE LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 8TH P.M., SARPY COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

BEING: A 5/8" REBAR AT THE SOUTHWEST CORNER OF LOT 2, WEST BELLEVUE PLAZA REPLAT V, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 26TH STREET;

THENCE NORTH 87°21'48" EAST (ASSUMED BEARING) FOR 862.74 FEET ON THE SOUTH LINE OF LOT 1 AND 2, SAID WEST BELLEVUE PLAZA REPLAT V, AND LOTS 1, AND 2, ONE CORNHUSKER PLACE REPLAT 1, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID LOTS, ONE CORNHUSKER PLACE REPLAT 1;

THENCE NORTH 87°41'42" WEST FOR 80.64 FEET ON THE EAST LINE OF SAID LOT 2, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF LOT 8, CORNHUSKER CENTER REPLAT 2, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE NORTH 87°33'12" EAST FOR 80.64 FEET ON THE SOUTH LINE OF SAID LOT 8, TO A 5/8" REBAR AT THE NORTHWEST CORNER OF LOT 1, CORNHUSKER CENTER REPLAT 2, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE SOUTH 02°17'43" EAST FOR 1033.02, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID LOT 1, SAID CORNER ALSO BEING ON THE SOUTH LINE OF ONE WOLF CREEK DRIVE, BEING A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR WITH 1/4" YELLOW PLASTIC CAP STAMPED L3 R11 AT THE SOUTHWEST CORNER OF SAID LOT 4E;

THENCE NORTH 87°37'18" WEST FOR 214.87 FEET TO A 5/8" REBAR AT THE NORTHWEST CORNER OF SAID SECTION 27, ALSO BEING THE NORTH LINE OF WILLOW SPRINGS, AND THE TOWN, BOUNDARIES AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR WITH 1/4" YELLOW PLASTIC CAP STAMPED L3 R11 AT THE SOUTHWEST CORNER OF SAID LOT 4E;

THENCE SOUTH 87°47'42" WEST FOR 365.53 FEET TO A 5/8" REBAR AT THE NORTHWEST CORNER OF SAID TAX LOT 4E, ALSO BEING IN THE EAST RIGHT-OF-WAY LINE OF 26TH STREET.

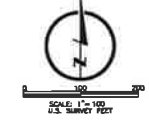
THENCE ON THE EAST RIGHT-OF-WAY LINE OF 26TH STREET FOR THE FOLLOWING FOUR (4) COURSES:

(1) THENCE NORTH 87°29'58" EAST FOR 100.44 FEET TO A 5/8" REBAR;

(2) THENCE NORTH 87°53'51" WEST FOR 100.58 FEET TO A 5/8" REBAR;

(3) THENCE NORTH 87°25'42" WEST FOR 218.32 FEET TO THE POINT OF BEGINNING;

(4) THENCE NORTH 87°25'42" WEST FOR 218.32 FEET TO THE POINT OF BEGINNING.



### LEGEND

- BOUNDARY LINE
- - - - - LOT LINE
- - - - - SECTION LINE
- ▲ MONUMENT SET (5/8" REBAR W/ 1/4" YELLOW PLASTIC CAP STAMPED L3-R11)
- ⊙ MONUMENT (7/8" REBAR)
- ⊙ SOLID DIM
- ORANGE PLASTIC CAP
- M MEASURED DIMENSION
- R RECORD DIMENSION
- (R1) SODDAM SURVEY (1977)
- STREET DEDICATION



\*NOTE: RIGHT-OF-WAY DEDICATION PENDING.

### DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS, THAT WE, BELLEVUE SOUTH 26TH STREET HE P/L, U.C. A NEBRASKA LIMITED LIABILITY COMPANY, OWNERS AND MORTGAGEES OF THE LAND DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND

CONVEYED WITHIN THIS PLAT, HAVE CAUSED THIS PLAT AND STREETS TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE MANAGED AND MAINTAINED AS SHOWN HEREON. SAID SUBDIVISION TO BE INDICATED HEREON AS REDWOOD 25, LOT 1. SO HEREBY GRANT AND APPROVE THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT; AND SO HEREBY DEDICATE TO THE PUBLIC THE STREETS AS SHOWN HEREON, AND SO HEREBY GRANT THE EASEMENTS AS SHOWN HEREON TO THE GRANTEE, THEIR SUCCESSORS AND ASSIGNS AND THEIR RESPECTIVE OFFICIAL AGENTS, EMPLOYEES, AND CONTRACTORS; THE PERMANENT RIGHT TO ENTER AND USE, FROM TIME TO TIME, THE EASEMENT AREAS, SHOWN HEREON FOR THE STATED PURPOSES, FOR BIDDING AND WORKS IN THE CONNECTION WITH THE IMPROVEMENT, MAINTENANCE, REPLACEMENT, AND REPAIR OF FACILITIES PROVIDED; HOWEVER, THESE IS RESERVED TO THE GRANTEE, AND TO THE GRANTEE'S HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE THE EASEMENT AREA. THE GRANT OF ANY EASEMENT SHOWN HEREON SHALL NOT BE SUBJECT TO THE CHANGE IN FEE SIMPLE INTEREST OR TITLE OF THE EASEMENT AREA. ANY CHANGE OR RELEASE TO THE RIGHTS GRANTED HEREON MUST BE APPROVED BY THE GRANTEE IN WRITTEN FORM.

DATE OF EASEMENT:

**FOR POWER AND COMMUNICATIONS**

FUTURAL UTILITIES SHALL BE GRANTED TO THE OMAHA PUBLIC POWER DISTRICT, COE COMMUNICATIONS AND CENTURION AND TO ANY ANY COMPANY WHICH HAS BEEN GRANTED A PERMIT UNDER THE AUTHORITY OF THE CITY COUNCIL OF BELLEVUE, NEBRASKA TO PROVIDE A CABLE TELEVISION AND ELECTRONIC COMMUNICATION SYSTEM IN THE AREA OF THE FOREGOING, UNDER THE AUTHORITY OF THE CITY COUNCIL OF BELLEVUE, NEBRASKA, AND TO PERFORM SUCH WORKS AS MAY BE NECESSARY TO THE GRANTEE, THEIR SUCCESSORS AND ASSIGNS, THEIR RESPECTIVE OFFICIAL AGENTS, EMPLOYEES, AND CONTRACTORS; THE PERMANENT RIGHT TO ENTER AND USE, FROM TIME TO TIME, THE EASEMENT AREAS, SHOWN HEREON FOR THE STATED PURPOSES, FOR BIDDING AND WORKS IN THE CONNECTION WITH THE IMPROVEMENT, MAINTENANCE, REPLACEMENT, AND REPAIR OF FACILITIES PROVIDED; HOWEVER, THESE IS RESERVED TO THE GRANTEE, AND TO THE GRANTEE'S HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE THE EASEMENT AREA. THE GRANT OF ANY EASEMENT SHOWN HEREON SHALL NOT BE SUBJECT TO THE CHANGE IN FEE SIMPLE INTEREST OR TITLE OF THE EASEMENT AREA. ANY CHANGE OR RELEASE TO THE RIGHTS GRANTED HEREON MUST BE APPROVED BY THE GRANTEE IN WRITTEN FORM.

**FOR WATER AND GAS**

PERPETUAL EASEMENTS SHALL BE GRANTED TO METROPOLITAN UTILITIES DISTRICT OF OMAHA, AND BLACK HILLS ENERGY AND THEIR SUCCESSORS AND ASSIGNS, TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND REPAIR PIPELINES, STRUCTURES, AND OTHER RELATED FACILITIES, AND TO EXERCISE THEREON POWER FOR THE TRANSMISSION OF GAS AND WATER OIL, THROUGH, UNDER AND ACROSS A FIVE-FOOT-WIDE STRIP OF LAND ADJUTING ALL STREET FRONTS OF ALL LOTS, AND PERMANENT BARRIERS OR BOUNDING WALLS SHALL BE PLACED IN THE SAID EASEMENT AREAS, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THIN OR LATER INTERFERE WITH THE FOREGOING USES OR RIGHTS HEREON GRANTED.

BELLEVUE SOUTH 26TH STREET HE P/L, U.C. A NEBRASKA LIMITED LIABILITY COMPANY, OWNER

(PRINTED NAME) \_\_\_\_\_ SIGNATURE \_\_\_\_\_

(PRINTED TITLE) \_\_\_\_\_

MORTGAGEE

(PRINTED NAME) \_\_\_\_\_ SIGNATURE \_\_\_\_\_

(PRINTED TITLE) \_\_\_\_\_

**ACKNOWLEDGEMENT OF NOTARIES**

STATE OF NEBRASKA } ss

COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

BY \_\_\_\_\_ OF \_\_\_\_\_

(PRINTED NAME) (PRINTED TITLE)

BELLEVUE SOUTH 26TH STREET HE P/L, U.C. A NEBRASKA LIMITED LIABILITY COMPANY, OWNER OF SAID COMPANY.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

STATE OF NEBRASKA } ss

COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

BY \_\_\_\_\_ OF \_\_\_\_\_

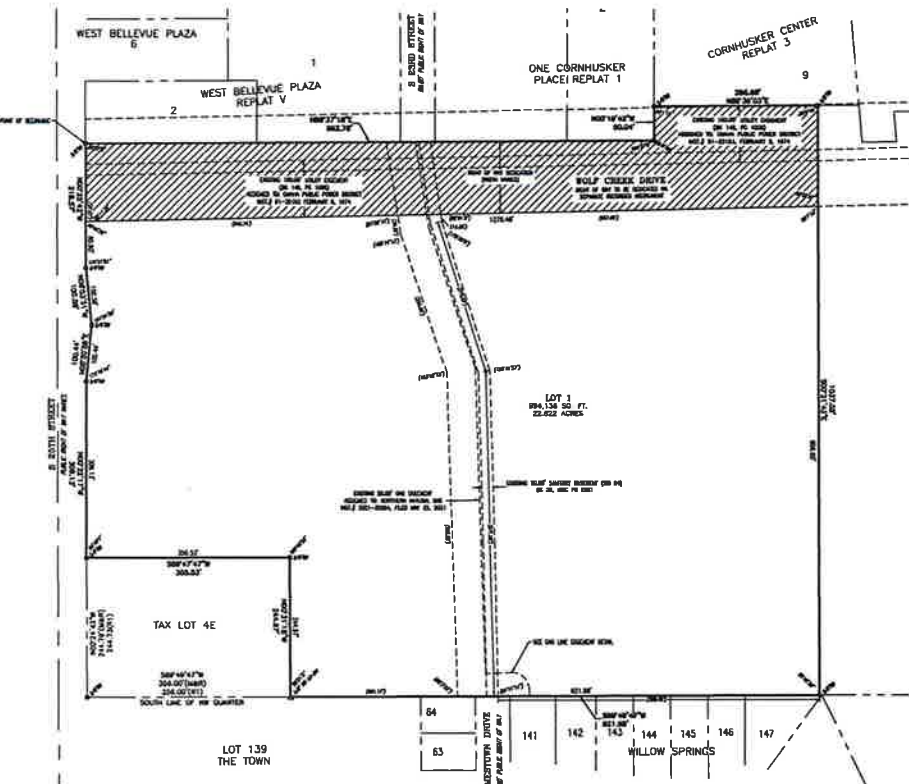
(PRINTED NAME) (PRINTED TITLE)

(PRINTED NAME OF BANK) OR SERVANT OF SAID BANK.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

### NOTES

1. ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
2. ALL ANGLES ARE 90 UNLESS NOTED.
3. DIMENSIONS AND ANGLES SHOWN IN PARENTHESES REFER TO EASEMENTS.
4. LOT 1 WILL HAVE NO STREET VEHICULAR ACCESS TO S 23RD STREET.
5. ALL EXISTING EASEMENTS ARE NOT BEING REDECATED AND ARE SHOWN FOR REFERENCE ONLY.
6. WOLF CREEK DRIVE RIGHT OF WAY TO BE REDECATED IN SEPARATE RECORDED INSTRUMENT.



**SARPY COUNTY TREASURER'S CERTIFICATE**

THIS IS TO CERTIFY THAT I FIND NO REGULAR HER SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND CHAMBERED IN THIS PLAT, AS SHOWN BY THE RECORDS OF THIS OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

SARPY COUNTY TREASURER \_\_\_\_\_

**APPROVAL OF BELLEVUE PLANNING COMMISSION**

THIS PLAT OF REDWOOD 25, LOT 1 WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

Chairman \_\_\_\_\_

**APPROVAL OF BELLEVUE CITY COUNCIL**

THIS PLAT OF REDWOOD 25, LOT 1 WAS APPROVED AND ACCEPTED BY THE CITY COUNCIL OF BELLEVUE, NEBRASKA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

THIS PLAT BECOMES NULL AND VOID IF NOT RECORDED WITHIN 90 DAY OF THE ABOVE DATE.

WYTOR \_\_\_\_\_

ATTEST: \_\_\_\_\_

CITY CLERK \_\_\_\_\_

**REVIEW BY SARPY COUNTY PUBLIC WORKS**

THIS PLAT OF REDWOOD 25, LOT 1 WAS REVIEWED BY THE SARPY COUNTY SURVEYOR'S OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

SARPY COUNTY SURVEYOR/ENGINEER \_\_\_\_\_

FINAL PLAT

REDWOOD 25, LOT 1  
BELLEVUE, SARPY COUNTY, NEBRASKA

**811** Know what's below. Call before you dig.

NEBRASKA 811-811

Know what's below. Call before you dig.

NEBRASKA 811-811

Know what's below. Call before you dig.

NEBRASKA 811-811

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Know what's below. Call before you dig.

NEBRASKA 811-811

Know what's below. Call before you dig.

NEBRASKA 811-811

ORDINANCE NO. 4045

**A**N ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF BELLEVUE, NEBRASKA, AS PROVIDED FOR BY ARTICLE 3 OF ORDINANCE NO. 3619 BY CHANGING THE ZONE CLASSIFICATION OF LAND LOCATED AT OR ABOUT SOUTH 25<sup>TH</sup> STREET AND CORNHUSKER ROAD, MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THE ORDINANCE AND TO PROVIDE AN EFFECTIVE DATE.

**W**HEREAS, having received a recommendation from the city of Bellevue Planning Commission and proper notice having been given and public hearing held as provided by law:

**B**E IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

**S**ection 1. That part of the official zoning map of the City of Bellevue, Nebraska, as provided in Article 3, of Ordinance No. 3619 is hereby amended to change the zone classification of the following described parcel of land:

Lot 1, Redwood 25, being a platting of Tax Lot 4F, located in the Northwest ¼ of Section 27, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska

From AG (Agricultural District) to RG-28-PS (General Residential – 2,800 Square Foot Zone – Planned Subdivision District)

(Redwood USA, LLC)

**S**ection 2. This ordinance shall not take effect until such time as the final plat of Redwood 25, is filed with the Sarpy County Register of Deeds in accordance with Section 4-10 of the City of Bellevue Subdivision Regulations.

**S**ection 3. Except as amended herein, the official zoning map and the classification shown therein shall remain as heretofore existing.

**S**ection 4. This ordinance shall take affect and be in force from and after its adoption and publication according to law.

**A**DOPTEED by the Mayor and City Council this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

ATTEST

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

First Reading: 07/06/2021  
Second Reading: 07/20/2021  
Third Reading: 08/03/2021

**Susan Kluthe**

---

**From:** jschippers@cox.net  
**Sent:** Monday, July 19, 2021 10:39 AM  
**To:** Susan Kluthe  
**Subject:** rezone Lot 1, Redwood 25 Redwood USA, LLC

RECEIVED  
JUL 19 2021  
CITY CLERK

To: Susan Kluthe and City Council members

RE: To rezone Lot 1 Redwood 25. Applicant Redwood USA, LLC

I received your letter stating that as an owner of property within 300 feet of the above referenced property, I am being notified that the City Council will hold a public hearing of this. I can not believe that all of Willow Springs was not notified. This affects all of us. According to your map there are only two exits out of this property with 131 units. Jamestown Drive comes into Willow Springs and that will impact all of us due to the enormous traffic. Their complex will include children and therefor school buses will also impact traffic. Our children are picked up on this street and consequently there is a safety issue that needs to be addressed.

One of the reasons I bought this property was there was no one behind me. It was a safe place for my children to play. Now they have grown up and moved away, but I watch the children play in this area. Is there going to be some type of a fence separating Redwood from Willow Springs for safety and separating the two areas?

I happen to be now 72 years old and in a wheelchair. I don't leave my home much so I enjoy looking outside and being on my deck. I am not happy thinking that now I will be seeing apartments instead of a field.

Will you please inform me on the outcome of your decision.

Sincerely,

Judith Schippers  
2314 Yorktown Pl  
Bellevue, NE 68123  
402-293-9392



Bellevue, Nebraska  
July 20<sup>th</sup> 2021

7007 East Pleasant Valley Road, Independence Ohio

## ABOUT US

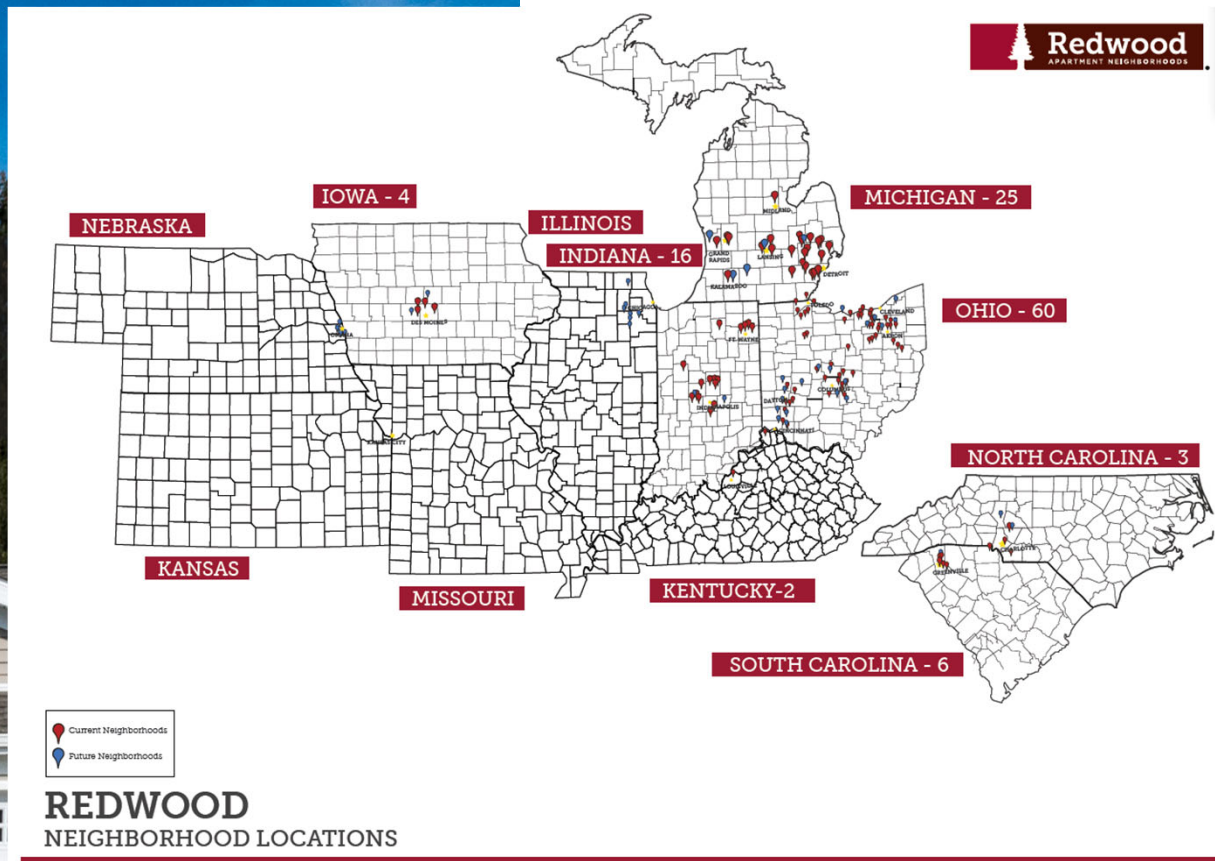
Redwood was founded in 1991 by Steve Kimmelman with following simple goals:

- Build apartment neighborhoods where residents could experience the **STRESSLESS** comforts of a home life.
- Produce high-quality, **REMARKABLE**, single-story **APARTMENT HOMES**, with attached garages and more square feet per unit.
- **CONTROL THE DEVELOPMENT AND LONG-TERM MANAGEMENT** – to date we manage over 100 neighborhoods and 13,000 apartment homes and have **NEVER SOLD a single one**.

## Our Core Values:

1. Do One Thing Really Well
2. Be Entrepreneurial
3. Serve Those You Lead
4. Deliver More Than Expected
5. Communicate Openly & Honestly
6. Instill Family & Team Spirit
7. Demonstrate Integrity & Authenticity
8. Be Nice & Have Fun

# MARKET PRESENCE



# 400+ EMPLOYEES AND COUNTING

ACQUISITIONS &  
DEVELOPMENT  
COMBINED YEARS OF  
EXPERIENCE:

Acquisition – 232 years  
Construction – 500 years  
Development – 80 years

FINANCE AND  
OPERATIONS  
COMBINED YEARS OF  
EXPERIENCE:

Finance – 186 years  
Operations – 180 years





## RELIABLE RENTERS & GREAT NEIGHBORS

Redwood prides itself on offering a unique design, including peace, quiet, and comfort to its residents. The consistent application of rigorous background screening is one tool we use to ensure our neighborhoods are home to reliable renters who make great neighbors.

### Who?

**Every leaseholder** living in a Redwood apartment home is subject to the same, rigorous background check.

### What Are Those Checks?

Redwood runs **credit**, rental history, civil judgment, and **criminal background checks** on every person who applies to live in a Redwood Neighborhood.

### What Screening Criteria Does Redwood Use?

If an applicant has been evicted, passed a bad check, had a **felony assault conviction** or a **DUI/OVI** within a certain number of years, their application would be **denied**.

### What Does This Mean?

Redwood's application screening criteria is more robust and allows us more control than most HOA's and single-family subdivisions.

# Who Lives in a Redwood Neighborhood?

- Empty Nesters
- Young Professionals
- Residents who want a single-story design
- Those who desire a neighborhood feel, with built-in peace and quiet
- Those who no longer want to worry about home maintenance, landscaping, and snow removal
- Our design and features generate long-term residents



# About Redwood Neighbors

*We use the data from our 13,000 units to select sites that insure the highest degree of repeatable success.*

**50.6 Years = Average Age of a Redwood Resident**

**70% of Redwood Residents Are Empty Nesters**

**Most Relocate From 3-Mile Radius of the Neighborhood (they are already your Neighbors)**

**1.65 = Average Number of Residents per Apartment Home**

**1.5 = Average # Cars per Apartment Home**

**11 School-Age Children per 100 Apartment Homes**

**12% of Residents Stay More than Five Years**

**Nearly 3.5% of the original residents in 10 year or older neighborhoods still call Redwood Home**

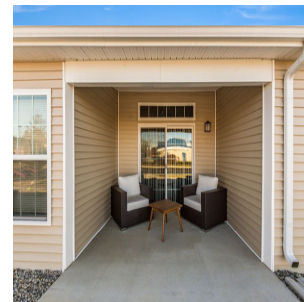
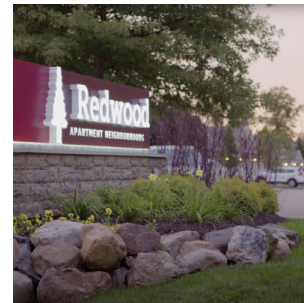
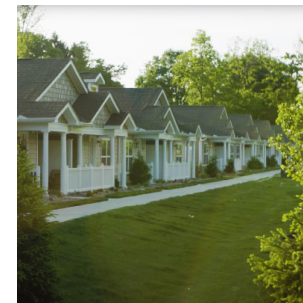
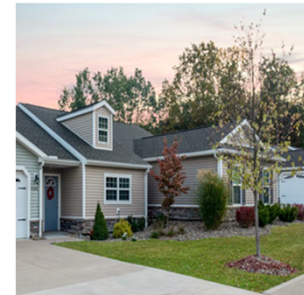
**Standard Lease Term = 1 year**





## EXTERIORS OUR RESIDENTS DESERVE

- Single-Story Apartment Neighborhoods
- Zero Grade Entrances
- Two Car Attached Private Entrance Garage
- Personal Patios or Decks
- All Concrete
- Stone and Shake Siding Accents
- Extensive Landscaping
- Construction and Management ADA and GSE Compliant
- Consistently maintained – no matter if our Neighborhood is 12 years or 12 months old
- Front and Rear garage loaded units





- Open Concept Floor Plans
- Granite Counter Tops
- Private Entryways
- Full Volume and Vaulted Ceilings
- Luxury Vinyl Plank Flooring
- High End Finish Appliances, Fixtures, and Accent Paint
- Walk-In Closet
- Walk-In Kitchen Pantry
- Full-Size Washer & Dryer Hookups (Available for Rent)
- Bonus Room/Den
- Energy Star Certified Construction

## INTERIORS OUR RESIDENTS DESERVE





# OUR FLOOR PLANS

Forestwood

1,294 SQFT



Capewood

1,620 SQFT





### Meadowood

1,326 SQFT



### Haydenwood

1,343 SQFT



### Willowood

1,381 SQFT



//

*I never knew how important it could be to have your own private entrance and garage! With my wife being a post heart transplant recipient, with no immunity during these trying times, it made a world of difference in keeping her safe! Thanks goes to Redwood for our new home.*

*- Bryan L.  
Redwood Medina*

//



# REDWOOD HOMES

25TH & CORNHUSKER - BELLEVUE, NEBRASKA



# Site Specifications

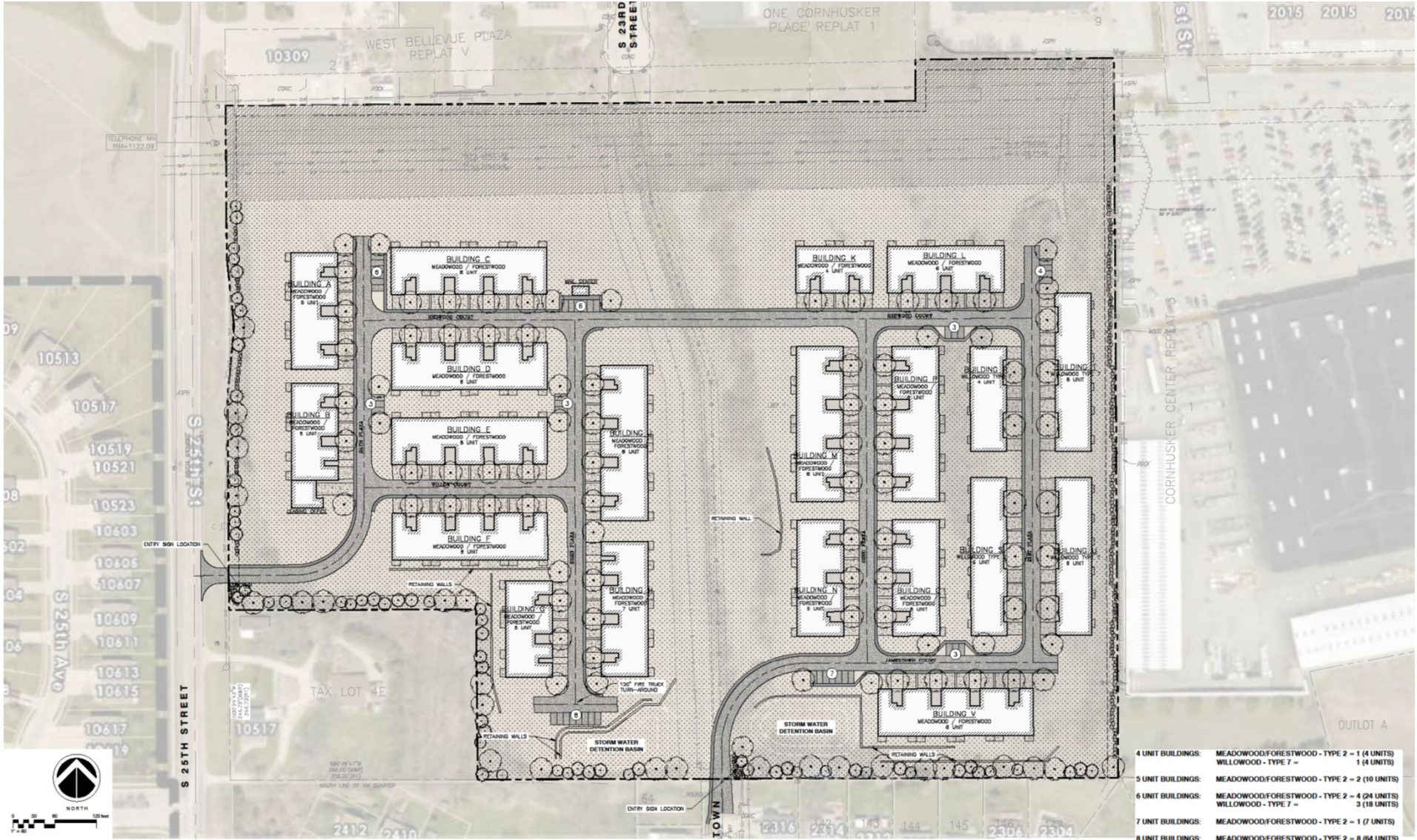


## Site Summary

- 26.975 Acres
- 131 Units
- 4.85 Units Per Acre
- 20 Buildings
- 2 Covered and 2 Driveway Parking Spots Per Unit
- \$1,700 Projected Starting Rents for the smallest units, does not include utilities and other fees

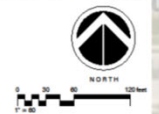
## Site Analysis

- Minimum lot width met (50Ft)
- Maximum height met (35ft)
- Landscaping depth met (15ft)
- Building to lot coverage (19.7% vs 60%)
- Exceeds parking by 3 spaces per unit
- Exceeds accessible spaces (2% vs. 50%)

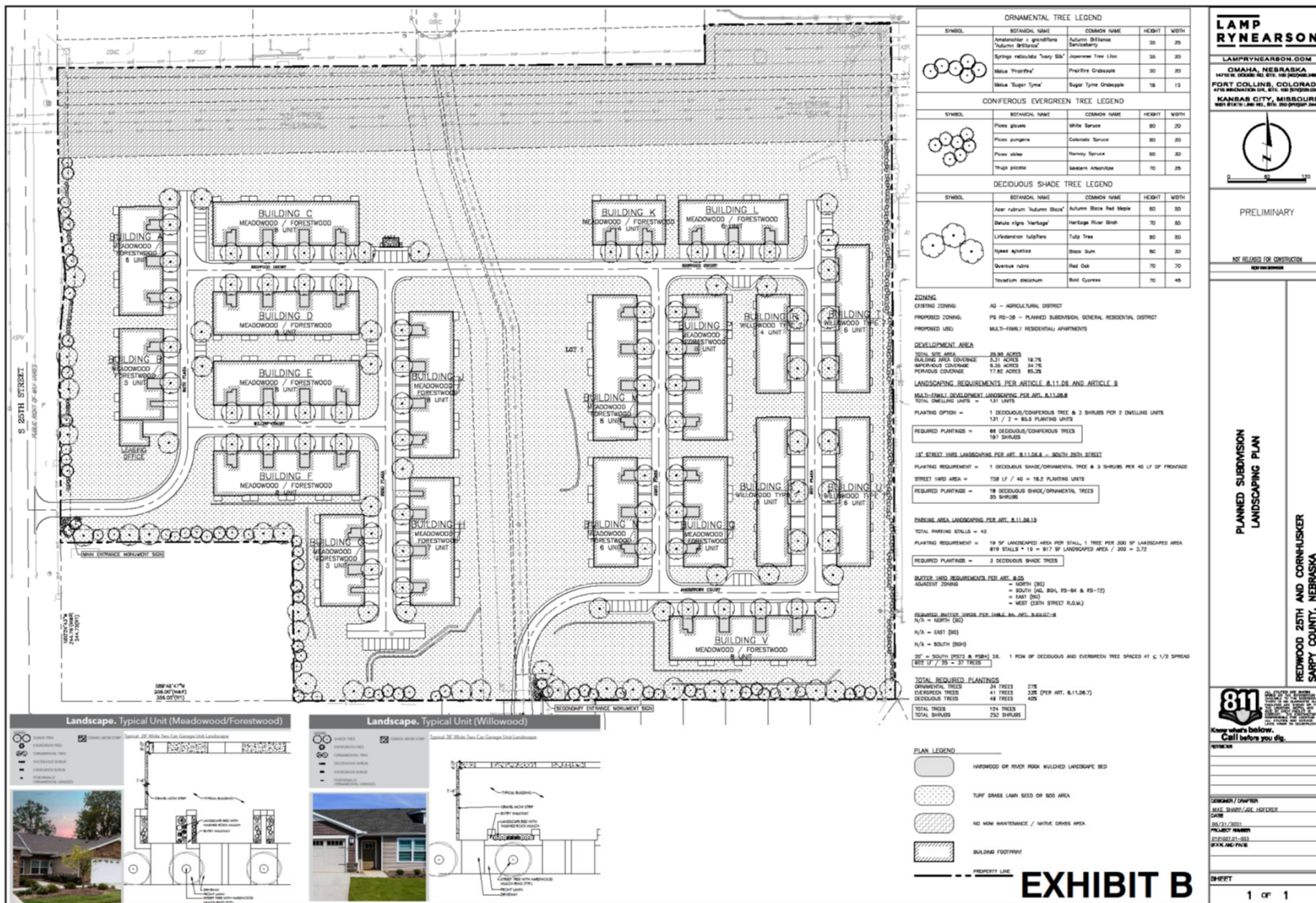


4 UNIT BUILDINGS:	MEADOWOOD/FORESTWOOD - TYPE 2 - 1 (4 UNITS)
	WILLOWOOD - TYPE 7 - 1 (4 UNITS)
5 UNIT BUILDINGS:	MEADOWOOD/FORESTWOOD - TYPE 2 - 2 (10 UNITS)
6 UNIT BUILDINGS:	MEADOWOOD/FORESTWOOD - TYPE 2 - 4 (24 UNITS)
	WILLOWOOD - TYPE 7 - 3 (18 UNITS)
7 UNIT BUILDINGS:	MEADOWOOD/FORESTWOOD - TYPE 2 - 1 (7 UNITS)
8 UNIT BUILDINGS:	MEADOWOOD/FORESTWOOD - TYPE 2 - 8 (64 UNITS)

TOTAL UNITS = 131  
 PARKING @ 25% UNIT COUNT: 33 DESIRED / 43 PROPOSED



# Landscaping



**ORNAMENTAL TREE LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
	Amelanchier alnifolia	Autumn Brilliance Serviceberry	35-39	
	Spring Redbud	Japanese Tree Lilac	35-39	
	Malus 'Firethorn'	Firethorn Crabapple	30-35	
	Malus 'Super Tyne'	Super Tyne Crabapple	18-15	

**CONIFEROUS EVERGREEN TREE LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
	Pinus strobus	White Spruce	80-20	
	Pinus pungens	Colorado Spruce	80-20	
	Pinus strobus	Timber Spruce	80-20	
	Thuja occidentalis	Eastern Arborvitae	70-28	

**DECIDUOUS SHADE TREE LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
	Acer rubrum	Autumn Blaze Red Maple	80-80	
	Betula nigra	Heritage River Birch	70-80	
	Liquidambar styraciflua	Tulip Tree	80-80	
	Nyssa sylvatica	Black Gum	90-30	
	Quercus rubra	Red Oak	70-70	
	Taxodium distichum	Swamp Cypress	70-48	

**ZONING**  
 EXISTING ZONING: A0 - AGRICULTURAL DISTRICT  
 PROPOSED ZONING: P9-RS-28 - PLANNED SUBDIVISION GENERAL RESIDENTIAL DISTRICT  
 PROPOSED USE: MULTIFAMILY RESIDENTIAL APARTMENTS

**DEVELOPMENT AREA**  
 TOTAL SITE AREA: 81.36 ACRES  
 BUILDING AREA COVERAGE: 5.31 ACRES 6.78%  
 IMPERVIOUS COVERAGE: 3.36 ACRES 4.12%  
 PERVIOUS COVERAGE: 17.82 ACRES 21.93%

**LANDSCAPING REQUIREMENTS PER ARTICLE 8.11.06 AND ARTICLE 8**

**MULTIFAMILY DEVELOPMENT LANDSCAPING PER ART. 8.11.06.8**  
 TOTAL DWELLING UNITS = 131 UNITS  
 PLANTING OPTION = 1 DECIDUOUS/CONIFEROUS TREE & 3 SHRUBS PER 2 DWELLING UNITS

**REQUIRED PLANTINGS = 66 DECIDUOUS/CONIFEROUS TREES  
 197 SHRUBS**

**1/4" STREET WID LANDSCAPING PER ART. 8.11.06.8 - SOUTH 20TH STREET**  
 PLANTING REQUIREMENT = 1 DECIDUOUS SHADE/ORNAMENTAL TREE & 3 SHRUBS PER 40 SF OF FRONTAGE  
 STREET WID AREA = 728 SF / 40 = 18.2 PLANTING UNITS  
**REQUIRED PLANTINGS = 18 DECIDUOUS SHADE/ORNAMENTAL TREES  
 29 SHRUBS**

**PARKING AREA LANDSCAPING PER ART. 8.11.06.10**  
 TOTAL PARKING SPACES = 43  
 PLANTING REQUIREMENT = 18 SF LANDSCAPED AREA PER SPACE, 1 TREE PER 300 SF LANDSCAPED AREA  
 819 SPACES \* 18 = 147 SF LANDSCAPED AREA / 200 = 3.72  
**REQUIRED PLANTINGS = 3 DECIDUOUS SHADE TREES**

**BUFFER WIND REQUIREMENTS PER ART. 8.05**  
 ADJACENT ZONING = NORTH (N0)  
 = SOUTH (S0, SCL, RS-04 & RS-72)  
 = EAST (E0)  
 = WEST (20TH STREET R.O.W.)

**REQUIRED BUFFER TREES PER IOWA-84-86, ART. 8.05(2)-8**  
 N/A - NORTH (N0)  
 N/A - EAST (E0)  
 N/A - SOUTH (S0)  
 20' - SOUTH (RS0 & RS0) IS 1 ROW OF DECIDUOUS AND EVERGREEN TREE SPACED AT 1/2 SPREAD  
 (10' T / 15' - 3' TREES)

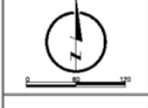
**TOTAL REQUIRED PLANTINGS**

SHRUBS	278
OVERSHADE TREES	41 TREES
DECIDUOUS TREES	48 TREES
TOTAL TREES	129 TREES
TOTAL SHRUBS	292 SHRUBS

**PLAN LEGEND**

	HATCHWOOD OR PINE FLOOR WILDED LANDSCAPE BED
	TUFF BRICK LAMIN SEED OR SOO AREA
	NO MOW MAINTENANCE / NATIVE GRASS AREA
	BUILDING FOOTPRINT
	PROPERTY LINE

**LAMP RYNEARSON**  
 LAMP RYNEARSON.COM  
 OMAHA, NEBRASKA  
 4700 S. OMAHA ST., SUITE 100, OMAHA, NE 68106  
 FORT COLLINS, COLORADO  
 4700 S. OMAHA ST., SUITE 100, OMAHA, NE 68106  
 KANSAS CITY, MISSOURI  
 4700 S. OMAHA ST., SUITE 100, OMAHA, NE 68106



PRELIMINARY  
 NOT BIDDING FOR CONSTRUCTION  
 SEE ALL CONTRACTS

**PLANNED SUBDIVISION  
 LANDSCAPING PLAN**

REDWOOD 25TH AND CORNHUSKER  
 SAPPY COUNTY, NEBRASKA

**811**  
 Know what's below.  
 Call before you dig.  
 www.811.org

DESIGNED / DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: [Date]  
 PROJECT NUMBER: [Number]  
 EXHIBIT B  
 P.L.A. AND P.A.S.

EXHIBIT  
 1 of 1



# Maintenance

## Snow Removal

- All road & walking surfaces = 2"
- Salting after snow removal

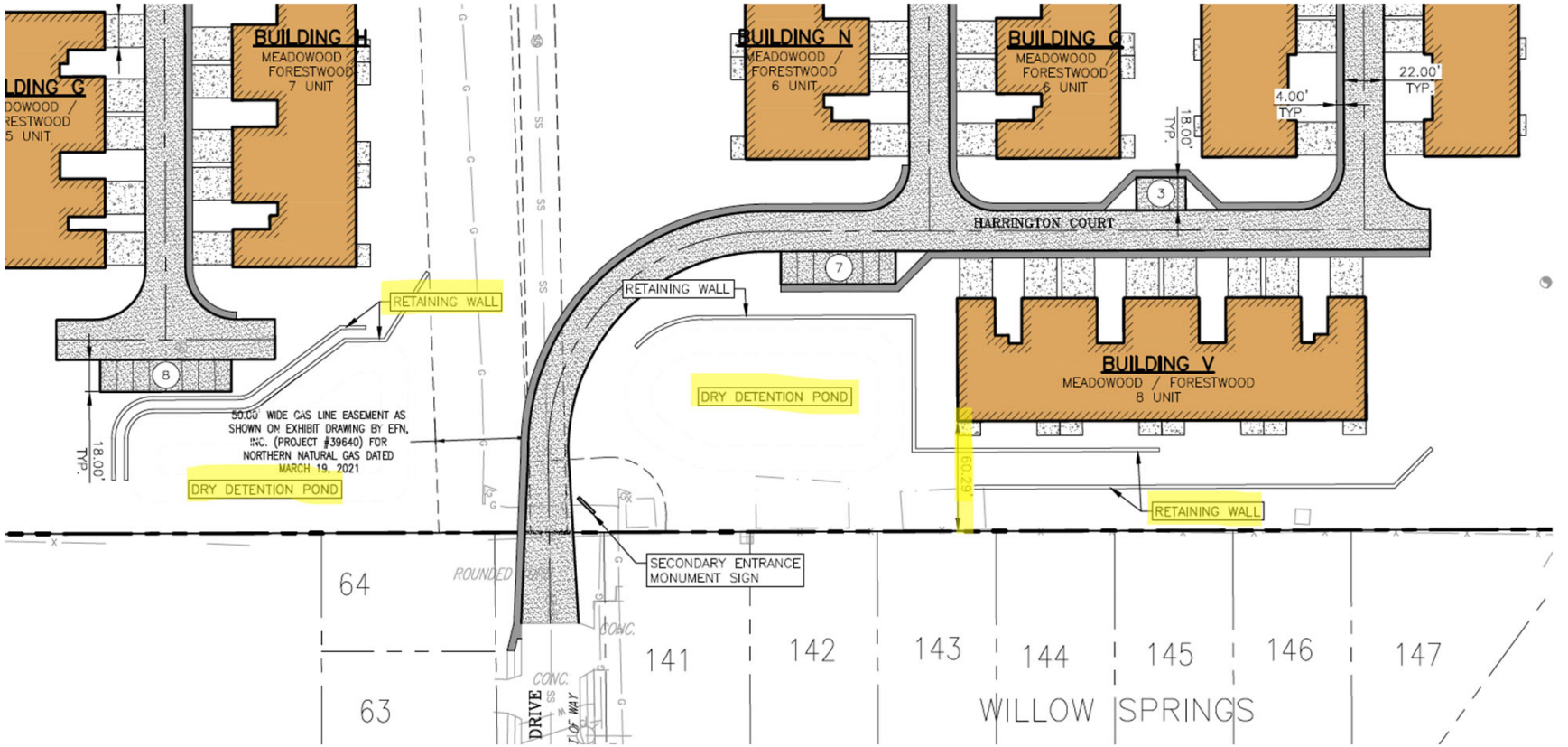
## Mowing

- Maintain height of 3" – 4",
- String trim
- Power edge

## Landscaping

- Forever Tree
- Weeding, mulch bed maintenance, plant trimming, and tree pruning

# Southeast Cross Section



# Redwood Traffic Analysis

## CESO 2010 Trip Generation Results

Location	Size	Unit	Total Generated Trips							
			Weekly AM Peak Hour <u>Trips</u>				Weekly AM Peak Hour <u>Trips</u>			
			Tot	In	Out	Rate	Tot	In	Out	Rate
Findley, OH	84	Dwelling	<b>39</b> 100%	6 15%	33 85%	0.46	<b>44</b> 100%	31 70%	13 30%	0.52
Akron, OH	95	Dwelling	<b>23</b> 100%	4 17%	19 83%	0.24	<b>32</b> 100%	22 69%	10 31%	0.34
Wooster, OH	158	Dwelling	<b>54</b> 100%	11 20%	43 80%	0.34	<b>75</b> 100%	50 67%	25 33%	0.47



# Redwood Traffic Analysis

CESO 2019 Trip Generation Results										
			Total Generated Trips							
			Weekly AM Peak Hour <u>Trips</u>				Weekly AM Peak Hour <u>Trips</u>			
Location	Size	Unit	Tot	In	Out	Rate	Tot	In	Out	Rate
Brownstown Township, MI	115	Dwelling	<b>41</b> 100%	9 22%	32 78%	0.36	<b>54</b> 100%	34 63%	20 37%	0.47
Canton, MI	93	Dwelling	<b>26</b> 100%	4 15%	22 85%	0.28	<b>39</b> 100%	29 74%	10 26%	0.42
Shelby Charter Township, MI	140	Dwelling	<b>46</b> 100%	8 17%	38 83%	0.33	<b>56</b> 100%	35 63%	21 37%	0.40











*Forestwood 187.5 SF \* Meadowood/Capewood 204.4 SF \* Breezewood 150.9 SF \* B'wood w/ Sunroom 214.3 SF \* Willowood 190.3 SF*



Redwood  
APARTMENT NEIGHBORHOOD

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PLANNING DEPT.

LOCATED IN  
OF 1/4 NE 1/4 SEC. 27, T14N, R13E

LAMP RYNEARSON

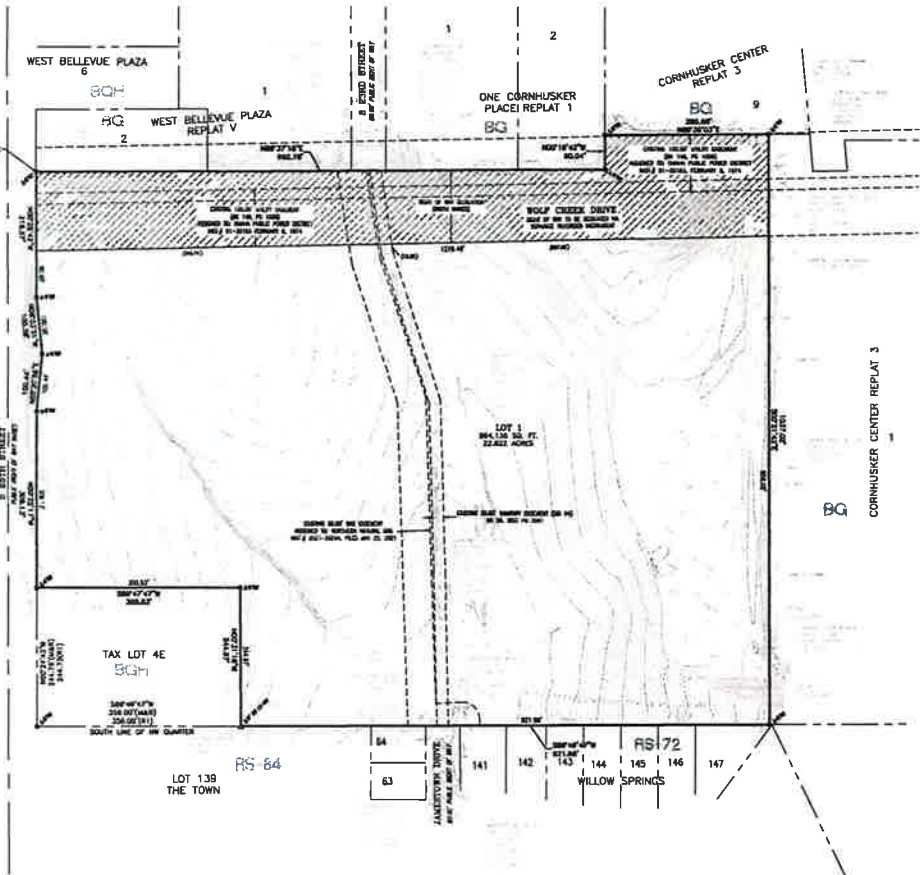
LAMPRYNEARSON.COM  
OMAHA, NEBRASKA  
1470 W LODGE RD, STE. 100 INDEPENDENCE  
FORT COLLINS, COLORADO  
4715 BRIMAVEN DR, STE. 100 FORT COCKE  
KANSAS CITY, MISSOURI  
801 STATE RD, STE. 200 INDEPENDENCE



# REDWOOD 25

LOT 1, BEING A PLATTING OF TAX LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARRY COUNTY, NEBRASKA

- NOTES**
1. ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
  2. LOT 1 WILL HAVE NO DIRECT VEHICULAR ACCESS TO S 25TH STREET.
  3. ALL EXISTING EASEMENTS ARE NOT BEING REDEVELOPED AND ARE SHOWN FOR REFERENCE ONLY.
  4. WOLF CREEK DRIVE RIGHT OF WAY TO BE DEDICATED VIA SEPARATE, RECORDED INSTRUMENT.



**LEGEND**

---	BOUNDARY LINE	○	LIGHT POLE
---	SECTION LINE	○	LIGHT STREET
---	ADJACENT PROPERTY	○	LIGHT YARD
---	EXISTING EASEMENT	○	2 1/2" BEMM UNLESS OTHERWISE NOTED
---	EXISTING EASEMENT	○	2 1/2" BEMM UNLESS OTHERWISE NOTED
---	FIBER OPTIC LINE	△	5/8" BEMM UNLESS OTHERWISE NOTED
---	FRANCE	△	1 1/4" YELLOW PLASTIC CAP STAMPED LS-811
---	SHOW FILE CODE	△	POWER POLE
---	SALE EDGE	△	SMOOTH MANHOLE
---	SEWER LINDER LINE	△	SDH
---	ONE LINE	△	SEWER MANHOLE
---	OVERHEAD POWER	△	STORM PIPE END
---	PARKING EDGE	△	TELEPHONE MANHOLE
---	BUILDING EDGE	△	TELEPHONE JUNCTION
○	AREA INLET ROUND	△	WATER VALVE
○	BELLHOLE	△	MEASURED
○	CABLE MARKING SIGN	△	RECORDED
○	CONTROL POINT	△	PLAT
○	DECOMMISSIONED TREE	△	RODMAN SURVEY (1977)
○	ELECTRIC PNEUMATIC	△	INDEX, AS SURVEY (1977)
○	FES	△	REBAR
○	FIBER OPTIC PULLBOX	△	SOIL SWP
○	PWC HYDRANT	△	CPVC DRAINAGE PLASTIC CAP
○	GAS MARKING SIGN	△	STREET RESECTION
○	GRASS INLET	△	
○	DRY WIRE	△	
○	H STRUCTURE	△	

**OWNER**  
DELORES BARRACLOUGH AND CHARLES FRANK - TRUSTEES  
848 S 25TH STREET  
OMAHA, NEBRASKA 68127

**APPLICANT**  
BELLEVUE SOUTH 25TH STREET NE, P.L.L.C.  
A NEBRASKA LIMITED LIABILITY COMPANY  
7007 EAST PLAZAWAY VALLEY ROAD  
BROOKDALE, OHIO 44131

**ENGINEER**  
LAMP RYNEARSON  
15710 WEST OGDON ROAD, SUITE 100  
OMAHA, NEBRASKA 68154-2027

**ZONING**  
CURRENT: RC  
PROPOSED: RC-ZB (P)

**POWER**  
OMAHA PUBLIC POWER DISTRICT  
444 SOUTH 18TH STREET MALL  
OMAHA, NE 68103-2247

**WATER**  
METROPOLITAN UTILITIES DISTRICT  
3100 SOUTH 81ST AVENUE  
OMAHA, NE 68106-3521

**GIS**  
METROPOLITAN UTILITIES DISTRICT  
3100 SOUTH 81ST AVENUE  
OMAHA, NE 68106-3521

**AS SURVEYED LEGAL DESCRIPTION**

IN LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 6TH P.M., SARRY COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

BEING A 5/8" BEMM AT THE SOUTHWEST CORNER OF LOT 2, WEST BELLEVUE PLAZA REPLAT V, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARRY COUNTY, NEBRASKA, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 25TH STREET;

THENCE NORTH 89°27'10" EAST (BEARING) BEARING FOR 60.00 FEET ON THE SOUTH LINE OF LOTS 1 AND 2, SAID WEST BELLEVUE PLAZA REPLAT V, AND LOTS 1 AND 2, ONE COMMERCE PLAZA REPLAT 1, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARRY COUNTY, NEBRASKA, TO A 5/8" BEMM AT THE SOUTHWEST CORNER OF SAID LOT 2, ONE COMMERCE PLAZA REPLAT 1;

THENCE NORTH 82°18'40" WEST FOR 60.04 FEET ON THE EAST LINE OF SAID LOT 2, TO A 5/8" BEMM AT THE SOUTHWEST CORNER OF LOT 6, CORNHUSKER CENTER REPLAT 3, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARRY COUNTY, NEBRASKA;

THENCE NORTH 89°39'51" SAG FOR 285.88 FEET ON THE SOUTH LINE OF SAID LOT 6, TO A 5/8" BEMM AT THE NORTHWEST CORNER OF LOT 1, CORNHUSKER CENTER REPLAT 3, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARRY COUNTY, NEBRASKA;

THENCE SOUTH 02°21'43" EAST FOR 1037.02, TO A 5/8" BEMM AT THE SOUTHWEST CORNER OF SAID LOT 1, SAID CORNER ALSO BEING ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27;

THENCE SOUTH 89°46'47" WEST FOR 821.08 FEET ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27, ALSO BEING THE NORTH LINE OF WILLOW SPRINGS, AND THE TOWN SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARRY COUNTY, NEBRASKA, TO A 5/8" BEMM WITH 1 1/4" YELLOW PLASTIC CAP STAMPED LS 811 AT THE SOUTHWEST CORNER OF SAID LOT 4E;

THENCE NORTH 83°11'18" WEST FOR 244.87 FEET TO A 5/8" BEMM AT THE NORTHEAST CORNER OF SAID LOT 4E;

THENCE SOUTH 89°47'47" WEST FOR 300.50 FEET TO A 5/8" BEMM AT THE NORTHWEST CORNER OF SAID LOT 4E, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 25TH ST;

THENCE ON THE EAST RIGHT-OF-WAY LINE OF 25TH ST FOR THE FOLLOWING FOUR (4) COURSES:  
 (1) THENCE NORTH 89°22'17" WEST FOR 300.10 FEET TO A 5/8" BEMM;  
 (2) THENCE NORTH 89°27'10" EAST FOR 100.04 FEET TO A 5/8" BEMM;  
 (3) THENCE NORTH 89°37'51" WEST FOR 100.04 FEET TO A 5/8" BEMM;  
 (4) THENCE NORTH 87°59'47" WEST FOR 218.57 FEET TO THE POINT OF BEGINNING;

CONTAINS 28.078 ACRES AS FOLLOWS:

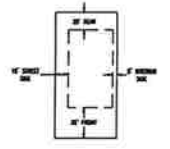
**FLOOD ZONE**  
UNSHOVED ZONE X  
AREA OF MINOR FLOOD HAZARD.  
MAP NUMBER 311330000H  
MAP EFFECTIVE DATE: 3/21/2010  
COMBINATION NUMBER: 31181

FLOOD ZONE REQUIREMENTS MAY BE SUBJECT TO CHANGE OR INTERPRETATION BY THE LOCAL ENGINEERING AGENCIES. CONTACT THE LOCAL FLOOD PLAN MANAGER OR OTHER APPROPRIATE OFFICIAL TO DETERMINE LOCAL JURISDICTIONS OR CHANGES IN REGULATIONS, FUTURE OR PROPOSED.

**CONTROL NOTE**  
- HORIZONTAL DIMENSIONS ARE BASED ON SARRY COUNTY LOW ELEVATION COORDINATE SYSTEM.  
- VERTICAL DIMENSIONS ARE BASED ON NAVD83 (8200-10) AS ESTABLISHED USING LEGAL REFERENCED NETWORK.

**UTILITY NOTES**

1. THIS DRAWING INCLUDES OBSERVED EVIDENCE OF SERVICES AND UTILITIES EXHIBIT AT THE TIME OF SURVEY. RECORD LOCATIONS PROVIDED BY THOSE COMPANIES RESPONDING TO OUR REQUEST AND THOSE MARKED BY "THE CALLER" LOCATED. NO RESPONSIBILITY OR LIABILITY IS ASSIGNED BY THE SURVEYOR FOR THE FAILURE TO SHOW ANY BURIED SERVICE AND/OR UTILITY LINES EVEN THOUGH THEY MAY EXIST. CONTACT THE CALLER (311) PRIOR TO ANY CONSTRUCTION ON THIS SITE.  
- SHEET NO. 210404114, 210404114, 210404114  
DATED: 2/21/2021



NOTE: OTHER REQUIREMENTS AND SETBACKS MAY APPLY.

RC-ZB ZONING  
MULTI-FAMILY DWELLING  
SETBACK REQUIREMENTS  
NO SCALE

PRELIMINARY PLAT  
REDWOOD 25, LOT 1  
BELLEVUE, SARRY COUNTY, NEBRASKA

**811**  
Know what's below.  
Call before you dig.  
1-800-485-4848

Customer Information  
DATE: 6-11-2021  
PROJECT NUMBER: 21210741-003  
SCALE AND PLOT: 21000, 1:2  
SHEET: 1 OF 1

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PLANNING DEPT.

# REDWOOD 25

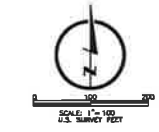
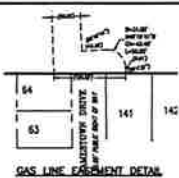
LOT 1, BEING A PLATING OF TAX LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 8TH P.M., SARPY COUNTY, NEBRASKA

LOCATED IN:  
28 1/4" W 1/4" SEC. 27, T14N, R13E

LAMP RYNEARSON

LAMP@RYNEARSON.COM  
OMAHA, NEBRASKA  
14700 S. 104TH ST., SUITE 100, PLEASANT HILL  
FORT COLLINS, COLORADO  
4710 W. WATSON DR., STE. 100, FORT WORTH, TEXAS  
KANSAS CITY, MISSOURI  
8001 STATELINE DR., STE. 200, ST. LOUIS, MISSOURI

- NOTES**
1. ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
  2. ALL ANGLES ARE 90 UNLESS NOTED.
  3. DIMENSIONS AND ANGLES SHOWN IN PARENTHESES REFER TO EASEMENTS.
  4. LOT 1 WILL HAVE NO STREET VEHICULAR ACCESS TO S 23RD STREET.
  5. ALL EXISTING EASEMENTS ARE NOT BEING REDECATED AND ARE SHOWN FOR REFERENCE ONLY.
  6. WOLF CREEK DRIVE RIGHT OF WAY TO BE REDECATED IN SEPARATE RECORDED INSTRUMENT.



- LEGEND**
- BOUNDARY LINE
  - LOT LINE
  - SECTION LINE
  - EASEMENT
  - MONUMENT SET (1/2" REBAR 1/4" 1/4" YELLOW PLASTIC CAP STAMPED LS-811)
  - REBAR
  - S&B
  - ORANGE PLASTIC CAP
  - M
  - R
  - (811)
  - STREET DEDICATION

### LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION HEREON AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT ALL CORNERS, ANGLE POINTS AND POINTS OF CURVES ON THE BOUNDARY OF THE PLAT AND THAT PERMANENT MONUMENTS WILL BE PLACED AT ALL CORNERS, ANGLE POINTS AND POINTS OF CURVES ON ALL LOTS AND STREETS WITHIN THE SUBDIVISION TO BE KNOWN AS REDWOOD 25, LOT 1, BEING A PLATING OF THE LOT 4E, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE 8TH P.M., SARPY COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

BEING: A 5/8" REBAR AT THE SOUTHWEST CORNER OF LOT 2, WEST BELLEVUE PLAZA REPLAT V, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF 25TH STREET;

THENCE NORTH 89°27'18" EAST (ASSUMED BEARING) FOR 182.74 FEET ON THE SOUTH LINE OF LOT 1 AND 2, SAID WEST BELLEVUE PLAZA REPLAT V, AND LOTS 1 AND 2, ONE CORNHUSKER PLACE REPLAT 1, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID LOTS, ONE CORNHUSKER PLACE REPLAT 1;

THENCE NORTH 88°18'42" WEST FOR 18.04 FEET ON THE EAST LINE OF SAID LOT 2, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF LOT 2, CORNHUSKER CENTER REPLAT 2, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE NORTH 88°18'32" EAST FOR 182.68 FEET ON THE SOUTH LINE OF SAID LOT 2, TO A 5/8" REBAR AT THE NORTHWEST CORNER OF LOT 1, CORNHUSKER CENTER REPLAT 2, A SUBDIVISION, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA;

THENCE SOUTH 02°17'43" EAST FOR 153.22, TO A 5/8" REBAR AT THE SOUTHWEST CORNER OF SAID LOT 1, SAID CORNER ALSO BEING ON THE SOUTH LINE OF ONE HORNED LANTERN OF SAID SECTION 27;

THENCE SOUTH 89°42'43" WEST FOR 87.18 FEET ON THE SOUTH LINE OF THE NORTHWEST CORNER OF SAID SECTION 27, ALSO BEING THE NORTH LINE OF YELLOW SPRINGS, AND THE TOWN BOUNDARY AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA, TO A 5/8" REBAR WITH 1/4" YELLOW PLASTIC CAP STAMPED LS 811 AT THE SOUTHWEST CORNER OF SAID LOT 4E;

THENCE NORTH 87°17'18" WEST FOR 244.87 FEET TO A 5/8" REBAR AT THE NORTHEAST CORNER OF SAID LOT 4E;

THENCE SOUTH 89°47'42" WEST FOR 345.53 FEET TO A 5/8" REBAR AT THE NORTHWEST CORNER OF SAID TAX LOT 4E, ALSO BEING IN THE EAST RIGHT-OF-WAY LINE OF 25TH STREET.

THENCE ON THE EAST RIGHT-OF-WAY LINE OF 25TH STREET FOR THE FOLLOWING FOUR (4) COURSES:

- (1) THENCE NORTH 89°27'18" WEST FOR 306.13 FEET TO A 5/8" REBAR;
- (2) THENCE NORTH 89°27'18" EAST FOR 100.44 FEET TO A 5/8" REBAR;
- (3) THENCE NORTH 89°27'18" WEST FOR 100.58 FEET TO A 5/8" REBAR;
- (4) THENCE NORTH 89°27'18" WEST FOR 218.37 FEET TO THE POINT OF BEGINNING.

CONTAINING 28,870 SQUARE FEET.

CHRISTOPHER L. SCHAEPE, L.S. 811  
DATE: \_\_\_\_\_



\*NOTE: RIGHT-OF-WAY DEDICATION PENDING.

### DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS, THAT WE, BELLEVUE SOUTH 25TH STREET HE P, L.L.C., A NEBRASKA LIMITED LIABILITY COMPANY, OWNERS AND (PRINTED NAME OF BANK) MORTGAGEES OF THE LAND DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND OWNERS WITHIN THE PLAT, HAVE CAUSED THE LOTS AND STREETS TO BE SUBDIVIDED AND SHOWN AS SHOWN HEREON, SAID SUBDIVISION TO BE INDICATED HEREON AS REDWOOD 25, LOT 1, SO HEREBY GRANT AND APPROVE OF THE DEDICATION OF OUR PROPERTY AS SHOWN ON THIS PLAT, AND SO HEREBY DEDICATE TO THE PUBLIC THE STREETS AS SHOWN HEREON, AND SO HEREBY GRANT THE EASEMENTS AS SHOWN HEREON TO THE GRANTEE, THEIR SUCCESSORS AND ASSIGNS AND THEIR RESPECTIVE OFFICIAL AGENTS, EMPLOYEES, AND CONTRACTORS, THE PERMANENT RIGHT TO ENTER AND USE, FROM TIME TO TIME, THE EASEMENT AREAS SHOWN HEREON FOR THE STATED PURPOSES, FOR BIDDING AND WORKS IN THE CONNECTION WITH THE IMPROVEMENT, MAINTENANCE, REPLACEMENT, AND REPAIR OF FACILITIES PROVIDED, HOWEVER, THESE IS RESERVED TO THE GRANTEE, AND TO THE GRANTEE'S HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE THE EASEMENT AREA, THE GRANT OF ANY EASEMENT SHOWN HEREON SHALL NOT BE SUBJECT TO BE CONTINUED TO PARTS TO THE GRANTEE IN FEET SIMPLE INTEREST OR TITLE OF THE GRANTEE AREA. ANY VIOLATION OR RELEASE TO THE RIGHTS GRANTED HEREON MUST BE APPROVED BY THE GRANTEE IN WRITTEN FORM.

**FOR POWER AND COMMUNICATIONS**

POTENTIAL LIASONS SHALL BE GRANTED TO THE OMAHA PUBLIC POWER DISTRICT, COE COMMUNICATIONS AND CENTURION AND TO ANY ANY COMPANY WHICH HAS BEEN GRANTED A PERMIT UNDER THE AUTHORITY OF THE CITY COUNCIL OF BELLEVUE, NEBRASKA TO PROVIDE A CABLE TELEVISION AND ELECTRONIC COMMUNICATION SYSTEM IN THE AREA OF THE FOREGOING, AND TO THE GRANTEE, THEIR SUCCESSORS AND ASSIGNS, TO ENTER, OPERATE, MAINTAIN, REPAIR AND REBUILD FACILITIES, AND TO DETERMINE THE POINTS ON CABLES FOR THE CONVEYANCE AND TRANSMISSION OF ELECTRIC CURRENT FOR LIGHT, HEAT AND POWER AND FOR THE TRANSMISSION OF SIGNALS AND SIGNALS OF ALL KINDS AND THE SECTION ON OVERHEAD LINES AND ACCESS A 10-FOOT-WIDE STRIP OF LAND INCLUDING ALL CORNERS AND ALL INTERIOR LINES, AND A 10-FOOT-WIDE STRIP OF LAND INCLUDING THE REAR BOUNDARY LINES OF ALL EXTERIOR LOTS, THE TOWN BOUNDARY LINE IS HEREBY GRANTED AS THESE LOTS FORMING THE OUTER PERIMETER OF THE MORE RECORDED ADDITION SAID 10-FOOT-WIDE EASEMENT WILL BE REDUCED TO AN EIGHT-FOOT-WIDE STRIP WHEN THE ADJACENT LAND IS SURVEYED, PLATTED AND RECORDED, NO PERMANENT BUILDINGS OR BUILDING WALLS SHALL BE PLACED IN THE SAID EASEMENT AREA, BUT THE SAME MAY BE USED FOR GARDENS, DRIVES, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE FOREGOING USES OR RIGHTS HEREBY GRANTED.

**FOR WATER AND GAS**

PERPETUAL EASEMENTS SHALL BE GRANTED TO METROPOLITAN UTILITIES DISTRICT OF OMAHA, AND BLACK HILLS ENERGY AND THEIR SUCCESSORS AND ASSIGNS, TO ENTER, INSTALL, OPERATE, MAINTAIN, REPAIR AND REPAIR PIPELINES, INTERLOCKS AND OTHER RELATED FACILITIES, AND TO ENTER THEREON FROM TIME TO TIME FOR THE TRANSMISSION OF GAS AND WATER OIL, THROUGH, UNDER AND ACROSS A 10-FOOT-WIDE STRIP OF LAND INCLUDING ALL STREET FRONTS OF ALL LOTS, NO PERMANENT BUILDINGS OR BUILDING WALLS SHALL BE PLACED IN THE SAID EASEMENT AREA, BUT THE SAME MAY BE USED FOR GARDENS, DRIVES, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE FOREGOING USES OR RIGHTS HEREBY GRANTED.

BELLEVUE SOUTH 25TH STREET HE P, L.L.C., A NEBRASKA LIMITED LIABILITY COMPANY, OWNER

(PRINTED NAME) \_\_\_\_\_ SIGNATURE \_\_\_\_\_

(PRINTED TITLE) \_\_\_\_\_

(PRINTED NAME OF BANK) \_\_\_\_\_ MORTGAGEE \_\_\_\_\_

(PRINTED NAME) \_\_\_\_\_ SIGNATURE \_\_\_\_\_

(PRINTED TITLE) \_\_\_\_\_

**ACKNOWLEDGEMENT OF NOTARIES**

STATE OF NEBRASKA } ss

COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

BY \_\_\_\_\_ OF \_\_\_\_\_

(PRINTED NAME) (PRINTED TITLE)

BELLEVUE SOUTH 25TH STREET HE P, L.L.C., A NEBRASKA LIMITED LIABILITY COMPANY, OR BENEFIT OF SAID COMPANY.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

STATE OF NEBRASKA } ss

COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

BY \_\_\_\_\_ OF \_\_\_\_\_

(PRINTED NAME) (PRINTED TITLE)

(PRINTED NAME OF BANK) OR BENEFIT OF SAID BANK.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

**SARPY COUNTY TREASURER'S CERTIFICATE**

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR UNPAID AGAINST THE PROPERTY DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND EASEMENTS IN THIS PLAT, AS SHOWN BY THE RECORDS OF THIS OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

SARPY COUNTY TREASURER \_\_\_\_\_

**REVIEW BY SARPY COUNTY PUBLIC WORKS**

THIS PLAT OF REDWOOD 25, LOT 1 WAS REVIEWED BY THE SARPY COUNTY SURVEYOR'S OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

SARPY COUNTY SURVEYOR/ENGINEER \_\_\_\_\_

**APPROVAL OF BELLEVUE PLANNING COMMISSION**

THIS PLAT OF REDWOOD 25, LOT 1 WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

Chairman \_\_\_\_\_

**APPROVAL OF BELLEVUE CITY COUNCIL**

THIS PLAT OF REDWOOD 25, LOT 1 WAS APPROVED AND ACCEPTED BY THE CITY COUNCIL OF BELLEVUE, NEBRASKA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

THIS PLAT BECOMES NULL AND VOID IF NOT RECORDED WITHIN 90 DAY OF THE ABOVE DATE.

WITNESSETH \_\_\_\_\_

ATTEST: \_\_\_\_\_

CITY CLERK \_\_\_\_\_

FINAL PLAT

REDWOOD 25, LOT 1  
BELLEVUE, SARPY COUNTY, NEBRASKA

**811** Know what's below. Call before you dig.

NEBRASKA 811-811

OWNER / CONTRACTOR  
LINE  
DATE: \_\_\_\_\_  
PROJECT NUMBER: \_\_\_\_\_  
FROM: 811-811  
11/2017, 1-3

SHEET 1 OF 1

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

13a.  
08/03/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm		Planning Manager	
AGENDA ITEM:		CONSENT AGENDA	<input type="checkbox"/>	SPECIAL PRESENTATION	<input type="checkbox"/>
LIQUOR LICENSE	<input type="checkbox"/>	ORDINANCE	<input checked="" type="checkbox"/>	PUBLIC HEARING	<input type="checkbox"/>
RESOLUTION	<input type="checkbox"/>	CURRENT BUSINESS	<input type="checkbox"/>	OTHER	<input type="checkbox"/>

SUBJECT:

Approval of a request to rezone Lot 7, Tiller's 4th Addition, from BG to RG-20-PS. Applicant: Freedom Village, LLC (Jolene Roberts). General Location: 1811 Hillcrest Drive.

SYNOPSIS/BACKGROUND:

Jolene Roberts, on behalf of Freedom Village, LLC is requesting a change in zone for Lot 7, Tiller's 4th Addition, from BG to RG-20-PS for the purpose of construction of a senior living development. The proposal consists of two living options; Seven-4-plex single family "garden homes", each with a garage, and a 28-unit, four-story apartment building. With the -PS zoning overlay, site plan approval is required.

FISCAL IMPACT:  BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: NO

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Department and Planning Commission have recommended Approval of this request.

ATTACHMENTS:

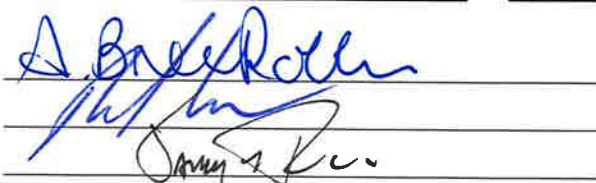
1. Planning Commission Recommendation Sheet	2. Staff Report	3. Rezoning Ordinance 4046
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

APPLICANT: Freedom Village, LLC

Case #: Z-2106-07

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to rezone Lot 7, Tiller's 4<sup>th</sup> Addition, located in the Northeast ¼ of Section 35, T14N, R13E, of the 6<sup>th</sup> P.M., Sarpy County, Nebraska, from BG to RG-20-PS, for the purpose of a senior living development.

On July 22, 2021, the City of Bellevue Planning Commission voted five yes, zero no, two absent and one abstained:

**APPROVAL** based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance.

VOTE:

Yes:	Five:	No:	Zero:	Abstain:	One:	Absent:	Two:
	Casey				Aerni		Perrin
	Ritz						Cutsforth
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021

# CITY OF BELLEVUE PLANNING DEPARTMENT

## RECOMMENDATION REPORT # 2

CASE NUMBER: Z-2106-07

FOR HEARING OF:

REPORT #1: July 22, 2021

REPORT #2: August 17, 2021

### I. GENERAL INFORMATION

#### A. APPLICANT:

Freedom Village, LLC  
Jolene Roberts  
1902 Harlan Drive  
Bellevue, NE 68005

#### B. PROPERTY OWNER:

Hillcrest Offices, LLC  
Jolene Roberts  
1902 Harlan Drive, Suite A  
Bellevue, NE 68005

#### C. GENERAL LOCATION:

1811 Hillcrest Drive

#### D. LEGAL DESCRIPTION:

Lot 7, Tiller's 4<sup>th</sup> Addition, located in the Northeast ¼ of Section 35, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska.

#### E. REQUESTED ACTIONS:

1. Rezone Lot 7, Tiller's 4<sup>th</sup> Addition, from BG to RG-20-PS with site plan approval.

#### F. EXISTING ZONING AND LAND USE:

BG, Vacant

**G. PURPOSE OF REQUEST:**

The purpose of this request is to obtain approval of a rezoning to facilitate the construction of a senior living development.

**H. SIZE OF SITE:**

The site is approximately 6.2 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:**

The site is presently vacant and covered in vegetation. There is also a parking lot covering the south and west portions of the property.

**B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

1. **North:** Hillcrest Health, BG and RG-8-PS
2. **East:** Commercial/Vacant, BG
3. **South:** Single Family Residential (across Harlan Dr), RS-72
4. **West:** Hillcrest Health, BG

**C. REVELANT CASE HISTORY:**

On July 22, 2021, the Planning Commission recommended APPROVAL of a request to rezone Lot 7, Tiller's 4<sup>th</sup> Addition, located in the Northeast ¼ of Section 35, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska, from BG to RG-20-PS for the purpose of a senior living development.

**D. APPLICABLE REGULATIONS:**

1. Section 5.14, Zoning Ordinance, regarding RG-20 uses and requirements.
2. Section 5.17, Zoning Ordinance, regarding the Planned Subdivision District.

**III. ANALYSIS**

**A. COMPREHENSIVE PLAN:**

The Future Land Use Map of the Comprehensive Plan shows this area as commercial.

**B. OTHER PLANS:**

The applicant is requesting Tax Increment Financing (TIF) for this project.

**C. TRAFFIC AND ACCESS:**

1. There is no MAPA traffic data available for this specific area.
2. The property will have access from two points along Hillcrest Drive. There will be no access to Harlan Drive.

**D. UTILITIES:**

All utilities are available to this property.

**E. ANALYSIS:**

1. Jolene Roberts, on behalf of Freedom Village, LLC, has submitted a request for a rezoning for Lot 7, Tiller's 4<sup>th</sup> Addition, from BG to RG-20-PS, for the purpose of a senior living development.

The intent of the RG-20 district is to permit moderately high density development and uses that are typical and compatible in the operation of apartment houses.

The -PS zoning overlay allows for the construction of multiple buildings on one lot, in addition to encouraging the creative design of new living areas. With the -PS zoning overlay, site plan approval is required.

2. The proposal consists of two living options for its residents:
  - Seven 4-plex single family "garden homes" are proposed. Each garden home will have a garage and will consist of between 1,050 to 1,287 square feet of living space.
  - A 28-unit, four-story apartment building. Each apartment will range in size from 850 to 990 square feet.

There are 56 units total with this proposal.

3. Architectural renderings have been provided by the applicant and are attached. These renderings have not been reviewed for compliance with Section 8.11, Zoning Ordinance, for the city's design standards. Compliance with these regulations will be reviewed as part of the building permit process.

4. The site plan contains community green space with a fire pit, gazebo structure, dog park, and a picnic shelter with a barbeque grill as amenities for the Freedom Village residents. In addition, the apartment building will have a clubhouse with gathering space and a fitness center.

5. The site plan shows 153 parking stalls for the development. Twenty-eight of these parking stalls will be provided with garages. This exceeds the minimum requirement of 84 stalls.

6. The landscape plan has been reviewed by staff and meets the minimum requirements of the zoning ordinance.

7. This application was sent out to the following departments for review: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, and the Bellevue Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Public Works Engineer Matt Knight had technical comments regarding the site plan. These comments have since been satisfied.

Don Gifford, Bellevue Fire Department, had comments regarding fire hydrant placement. The applicant has been in contact with Mr. Gifford. This item will be addressed as part of the building permit process.

No other comments were received on this case.

8. This property is part of the Harlan Drive corridor, which is presently a mix of commercial and residential uses. The south side of the corridor is a mix of multi-family and single family residences. The north side of the corridor consists of single family residences and a church to the west of Hillcrest's existing development, with commercial uses to the east.

This property was the former site of the Days Inn Hotel and failed waterpark project. Ms. Roberts purchased the property in 2010, with the intent of the future expansion of Hillcrest. At the time this property was purchased, the BG zoning district allowed for nursing home facilities and senior residences as a permitted use. Most of the existing Hillcrest development is zoned BG for this reason. The 2011 Zoning Ordinance update changed the previous pyramidal zoning structure, therefore, requiring the requested change of zone for this property from BG to RG-20-PS.

9. This property was previously deemed blighted and substandard. The applicant is requesting Tax Increment Financing (TIF) through a separate redevelopment plan proposal.

10. The Future Land Use Map of the Comprehensive Plan shows this area as commercial; however, staff is supportive of an amendment to multi-family residential for this property. As previously stated, this corridor is a mix of residential and commercial uses currently, with this project being an expansion of the adjacent Hillcrest development.

**F. TECHNICAL DEFICIENCIES:**

None

**IV. DEPARTMENT RECOMMENDATION**

APPROVAL based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance.

**V. PLANNING COMMISSION RECOMMENDATION**

APPROVAL based upon compatibility with the surrounding neighborhood, lack of perceived negative impact, and conformance with the Zoning Ordinance.

**VI. ATTACHMENTS TO REPORT**

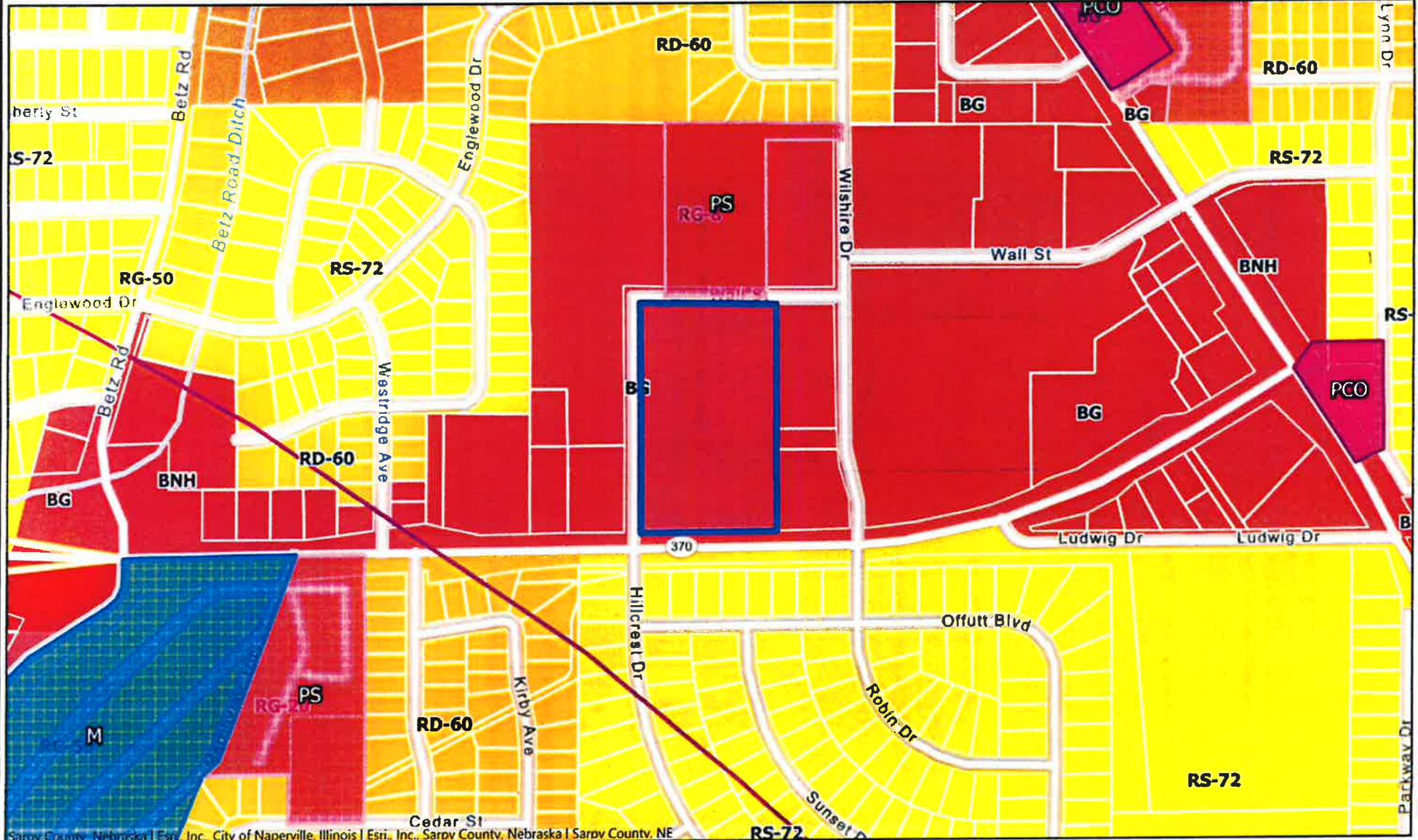
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Justification letter received June 21, 2021
4. Site plan received June 18, 2021
5. Landscape plan received July 8, 2021
6. Architectural renderings received June 18, 2021

**VII. COPIES OF REPORT TO:**

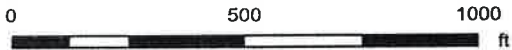
1. Freedom Village, LLC
2. TD2
3. Larry Jobeun, Fullenkamp, Jobeun, Johnson & Bellevue LLP
4. Public Upon Request

\_\_\_\_\_  
Prepared by:

\_\_\_\_\_  
Assistant Planning Manager: Date of Report



Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska | Sarpy County, NE



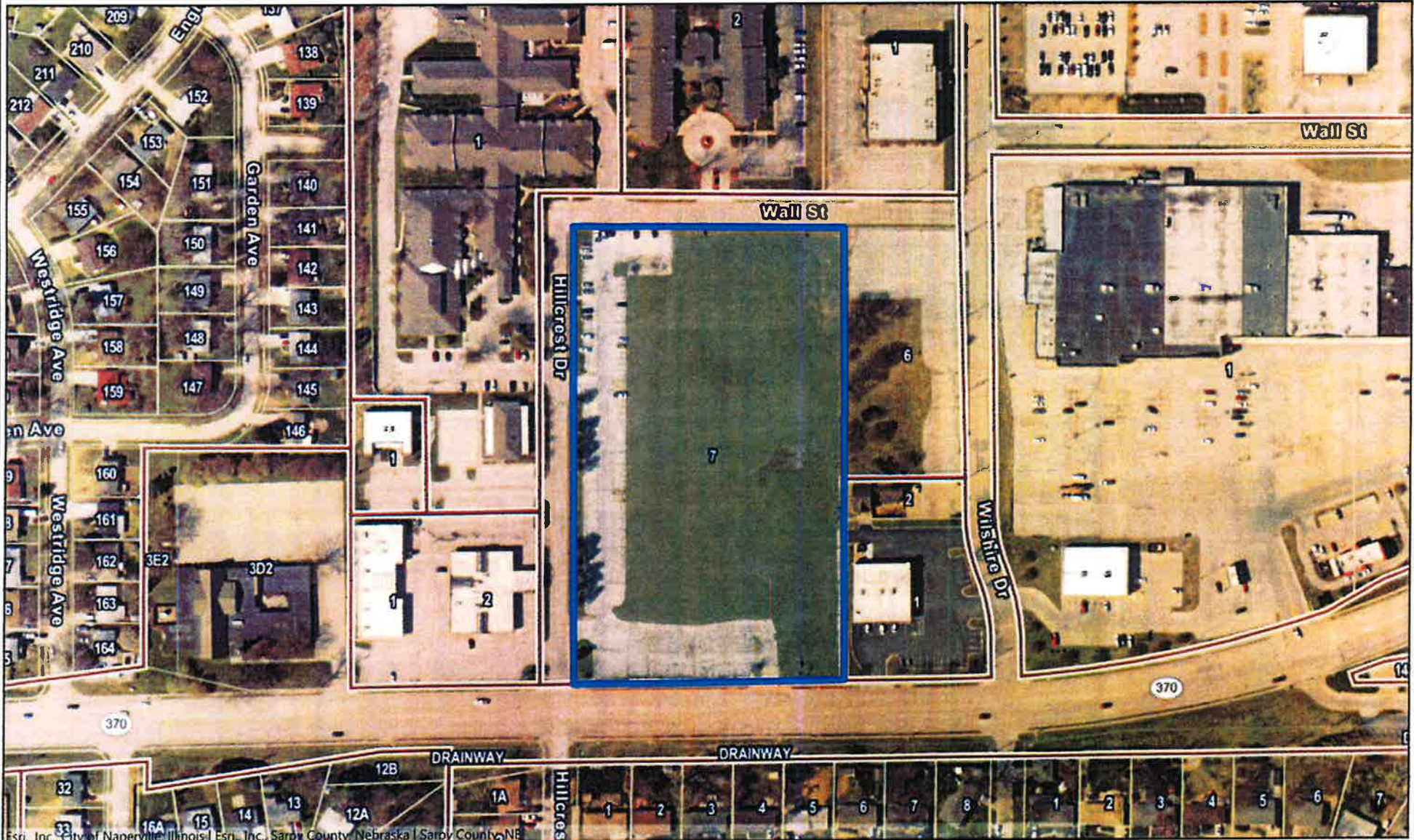
Map Scale 1: 6370

This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.

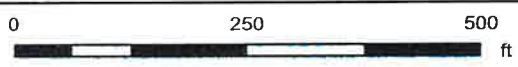


Notes





Esri, Inc., City of Naperville, Illinois Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 3185

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



**FREEDOM VILLAGE**  
**WRITTEN JUSTIFICATION OF THE ZONING CHANGE**

The Applicant proposes to develop 1811 Harlan Drive in Bellevue Nebraska, Sarpy County, legally described as Lot 7 Tiller's 4th Addition, into an age 55 and older, active adult community. The redevelopment site is immediately to the east of Hillcrest Health and Rehabilitation (post-acute rehab and long-term care of 151 occupants) and south of Harmony Court (independent living for over 100 aging adult occupants) and east of Hillcrest Home Care and Hospice and Innovate Rehab and Wellness. This redevelopment compliments the existing neighborhood of housing and services for aging adults 55 years and older.

The new development, which shall be known as Freedom Village, can be described as a small community of people who desire to live in a 'lock and leave' homestyle environment. Freedom Village consists of two living options. The first is designed as a 4-plex single family garden home (28 homes total). Each ranch style home size is 1050 SF to 1287 SF. Each home has a garage, two bedrooms or bedroom with den, two bathrooms, kitchen, living room, laundry and storage space. The homes face a large green community space that will feature a fire pit area, gazebo reading/conversation area, and BBQ grill with outdoor covered dining area. In addition, Freedom Village will feature a fenced-in dog park and designated garden plots.

The second living option entails a small apartment building featuring 28 individual apartments. Apartments will range in size from 850 SF to 990 SF and have one bedroom with bath, or one bedroom with den, laundry, kitchen, storage, and a balcony/patio. The entry level of the intimate apartment building faces the large open courtyard space and offers a clubhouse for Freedom Village residents. Within the clubhouse is a fireplace room, large group gathering area with a kitchen, and a fitness center. The onsite property manager will have a sales office near the clubhouse.

Currently, the subject property is zoned as BG (Business General District) and does not allow for the intended use of the redevelopment project. As such, the Applicant requests a re-zoning of the subject property from BG to RG-20 PS – General Residential, which permits moderately high density, multifamily housing. A re-zoning of the subject property to RG-20 is required for the redevelopment project to move forward.

**RECEIVED**  
**JUN 21 2021**  
**PLANNING DEPT.**

RECEIVED  
JUN 18 2021  
PLANNING DEPT.

NOT FOR CONSTRUCTION

Overall Site Plan

C0.1

SITE SUMMARY		
EXISTING ZONING: R3 PROPOSED ZONING: R3-20-PS		
SITE DATA	REQUIRED	PROVIDED
TOTAL SITE SIZE	2,000,000 S.F. (12,000 S.F.)	4,100,000 S.F. (288,378 S.F.)
SETBACKS*	FRONTYARD - 30' REARYARD - 10' SIDEYARD - 5' STREET YARD - 10'	FRONTYARD - 51.4' (MIN) REARYARD - 91.4' (MIN) SIDEYARD - 99.1' (MIN) STREET YARD - 51.4' (MIN)
IMPERVIOUS COVERAGE	80% MAX.	60%
BUILDING HEIGHT	75'	48'-0" MAX (APPROX.)

- NOTES:**
- THE SITE PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE (POCC) AS REQUIRED BY SITE. SITE SPECIFIC DESIGN IS PROVIDED FOR APPROVAL AS PROVIDED FOR IN BELLEVUE MUNICIPAL CODE APPENDIX A, ARTICLE 6.04B SUBPARAGRAPH 2.
  - THE LIST OF MATERIALS FOR THIS SITE INCLUDE THE FOLLOWING:
    - COMMON AREA FOR RESIDENTS
    - 1.1A. READING STRUCTURE
    - 1.1A. FIRE PIT
    - 1.1A. PHONE SHED
    - 1.1A. BBQ AREA
    - 1.1A. FENCED IN DOG PAVEMENT FOR USE BY THE RESIDENTS

GARDEN HOME SUMMARY				
BUILDING NO.	TYPE	1 BRD	2 BRD	TOTAL
BUILDING A	TYPE A	0	4	4
BUILDING B	TYPE B	2	2	4
BUILDING C	TYPE A	0	4	4
BUILDING D	TYPE A	0	4	4
BUILDING E	TYPE B	2	2	4
BUILDING F	TYPE A	0	4	4
BUILDING G	TYPE B	2	2	4
		TOTAL UNITS		28

APARTMENT UNIT BREAKDOWN (BUILDING H)		
TYPE	NUMBER OF UNITS	
1 BEDROOM	28	
TOTAL	28	

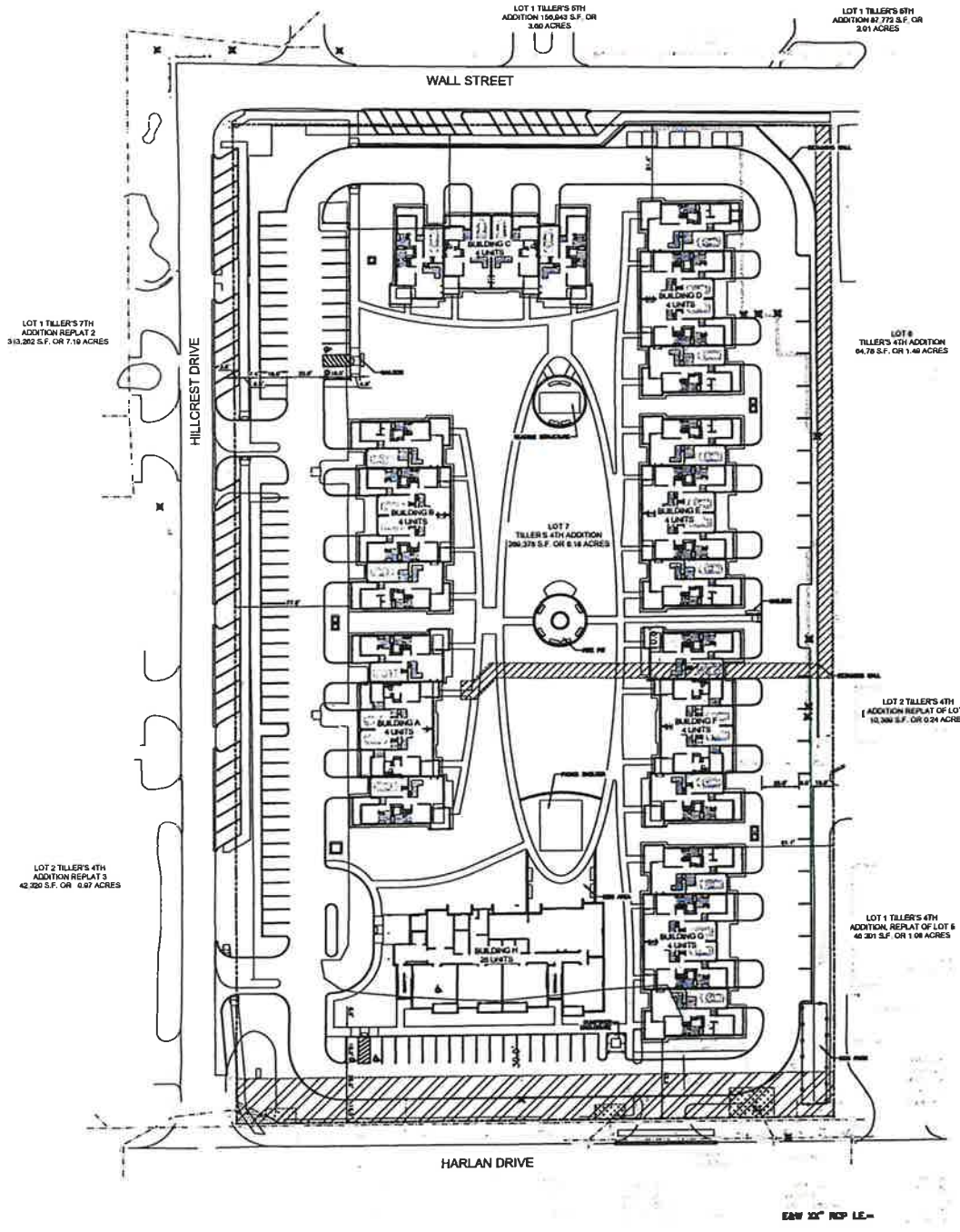
PARKING SUMMARY		
STALL TYPE	STALLS	
STANDARD STALLS	65	
ADA STALLS	4	
GARAGE STALLS	25	
TANDEM STALLS (AT GARAGE)	25	
TOTAL STALLS	119	

**DRIVING REQUIREMENTS:**  
 1 FREE DRIVING PER 75 STALLS  
 2 PER APPROVEMENT = 65 STALLS  
 TOTAL REQUIRED = 94 STALLS



**EASEMENT LEGEND**

- EASEMENT OWNERSHIP TO BELLEVUE PUBLIC UTILITIES COMPANY (BUC) FOR THE BELLEVUE WATER MAIN SYSTEM. REFERENCED TO THE BELLEVUE MUNICIPAL CODE RECORDS.
- EASEMENT OWNERSHIP TO BELLEVUE PUBLIC UTILITIES COMPANY (BUC) FOR THE BELLEVUE WATER MAIN SYSTEM. REFERENCED TO THE BELLEVUE MUNICIPAL CODE RECORDS.
- EASEMENT OWNERSHIP TO THE STATE OF NEBRASKA. REFERENCED TO THE BELLEVUE MUNICIPAL CODE RECORDS.



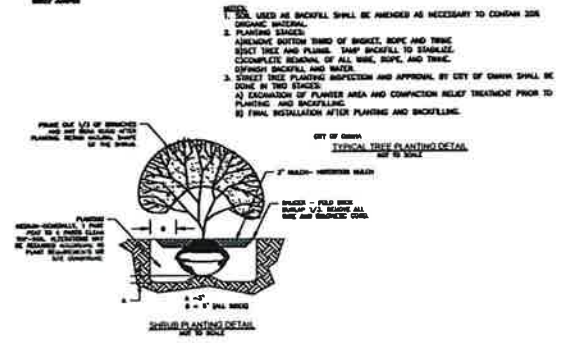
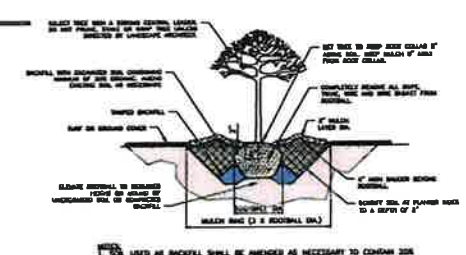
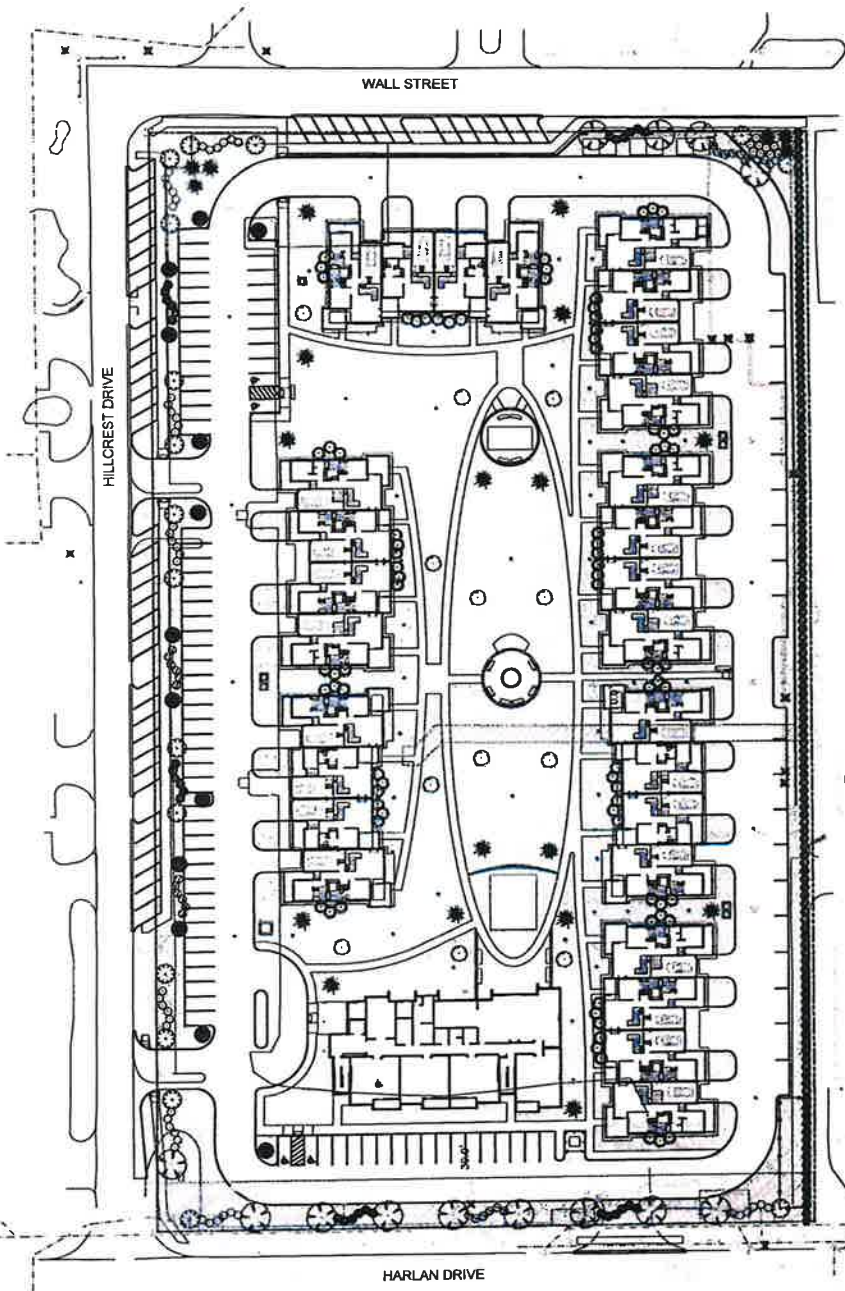
NOTED: This drawing is prepared by the architect and is not to be used for construction purposes. It is the responsibility of the engineer to verify all dimensions and quantities shown on this drawing. The architect is not responsible for any errors or omissions on this drawing. The engineer is not responsible for any errors or omissions on this drawing. The architect is not responsible for any errors or omissions on this drawing. The engineer is not responsible for any errors or omissions on this drawing.

PRELIMINARY

NOT FOR CONSTRUCTION

Landscaping Plan

L1.1



LANDSCAPE TREE SCHEDULE							
QTY.	BOTANICAL NAME	COMMON NAME	PLANTING METHOD	SIZE @ PLANTING	SPACING	MATURE SPREAD	MATURE HEIGHT
<b>OVERSTORY DECIDUOUS TREES</b>							
10	ACER FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B&B	2" CAL.	AS SHOWN	35'	45'
12	QUERCUS RUBRUM	RED OAK	B&B	2" CAL.	AS SHOWN	50'	60'
<b>UNDERSTORY/ORNAMENTAL</b>							
18	ACER GINNALA	AMUR MAPLE	B&B	2" CAL.	AS SHOWN	20'	25'
13	MALUS X PRAIRIFRENS	PAIRIFRENS CRAB	B&B	2" CAL.	AS SHOWN	15'	20'
<b>CONIFEROUS TREE</b>							
22	PICEA OLAUCA DENSATA	BLACKHILLS SPRUCE	B&B	6" FT.	AS SHOWN	25'	40'
<b>DECIDUOUS SHRUBS</b>							
24	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	CONT.	5 GAL.	AS SHOWN	3'	7'
80	AMELANCHIER ALBIFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	3 GAL.	AS SHOWN	6'	8'
84	SPIREA BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	CONT.	3 GAL.	36" O.C.	3'	3'
<b>EVERGREEN SHRUBS</b>							
185	JUNIPERUS CHINENSIS 'MANEY'	MANEY JUNPER	CONT.	3 GAL.	6" O.C.	6'	3'

**LANDSCAPING CALCULATIONS**  
 - REMOVED LANDSCAPING AREA = 126 PROPOSED DETAILS @ 10 S.F./DETAIL = 1,260 S.F.  
 - TOTAL PROPOSED LANDSCAPING AREA = 18,081 S.F.  
 12,821 S.F. > 2,270 S.F.

RECEIVED  
JUL 08 2021  
PLANNING DEPT.





RECEIVED  
MAY 18 2021  
PLANNING DEPT.

2021-05-14

**SCHEMATIC DESIGN**  
**FREEDOM VILLAGE**



RECEIVED  
JUN 18 2021  
PLANNING DEPT.

2021-05-14

*VIEW 1 - LOOKING EAST TO READING STRUCTURE AND NEIGHBORHOOD GREEN*  
**FREEDOM VILLAGE**



RECEIVED  
JUN 18 2021  
PLANNING DEPT.

2021-05-14

*VIEW 3 - LOOKING SOUTHWEST TO APARTMENT BUILDING*  
**FREEDOM VILLAGE**



RECEIVED  
JUN 18 2021  
PLANNING DEPT.

*VIEW 4 - APARTMENT BUILDING ENTRY*  
**FREEDOM VILLAGE**

2021-05-14



RECEIVED

JUN 18 2021

2021-05-14

VIEW 5 - NEIGHBORHOOD GREEN FROM NORTH  
FREEDOM VILLAGE

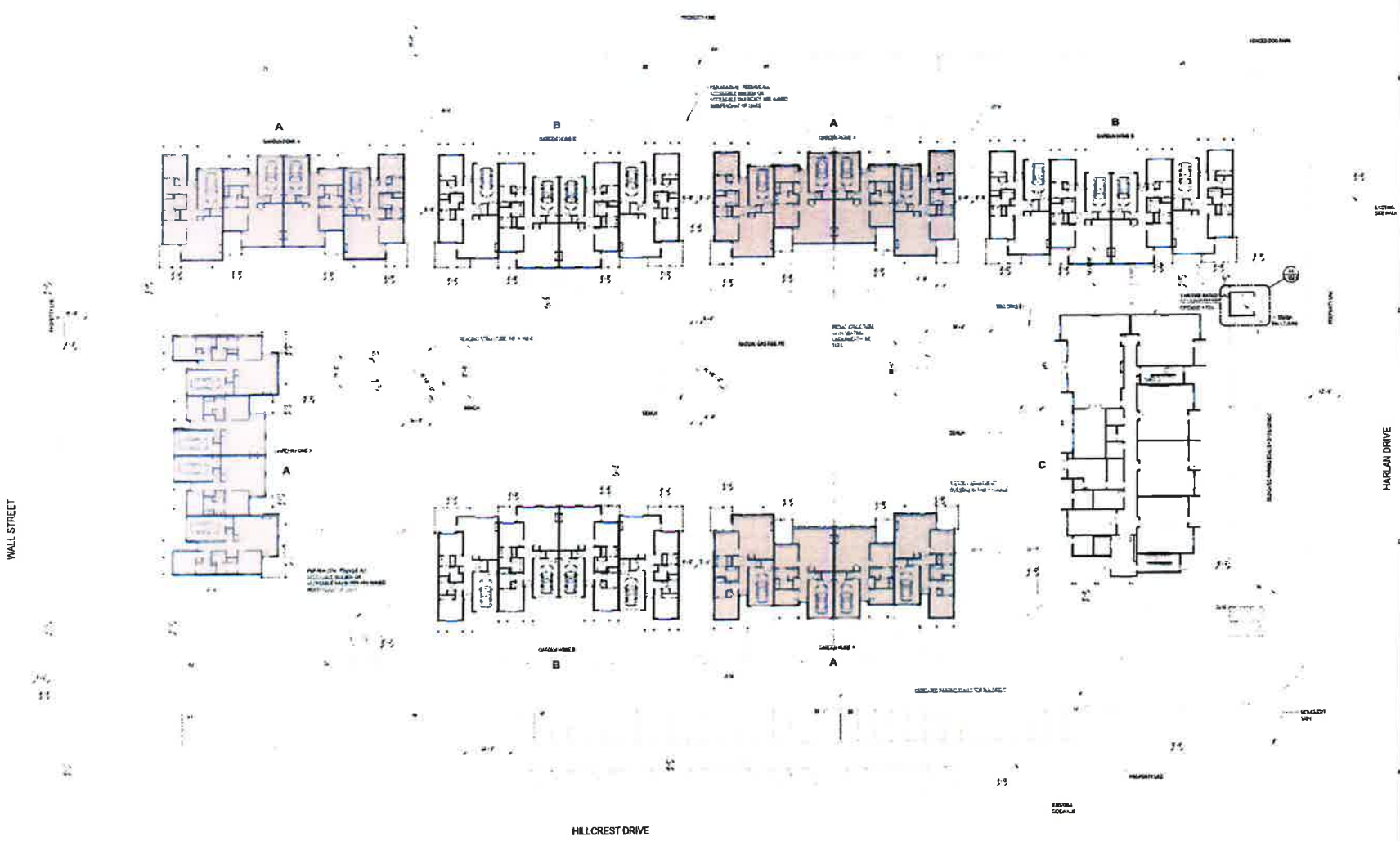
PLANNING DEPT.

22

FREEDOM VILLAGE -  
GARDEN HOME A

1811 HILLCREST DR  
ELLELVUE, NE 68005

NOT TO SCALE  
DATE: 6/23/2021 12:46:23 PM  
DRAWN BY: K.B.  
CHECKED BY: J.P.  
SCALE: AS SHOWN  
PROJECT: FREEDOM VILLAGE - GARDEN HOME A



SITE PROGRAM

- 28 GARDEN HOMES
- 28 APARTMENTS
- 28 GARAGE PARKING SPACES AT GARDEN HOMES
- 28 DRIVEWAY PARKING SPACES AT GARDEN HOMES
- 91 SURFACE PARKING REGULAR STALLS
- 4 ACCESSIBLE PARKING
- 95 TOTAL SURFACE PARKING (REGULAR STALLS + ACCESSIBLE PARKING)

A 4 PLEX GARDEN HOME\*

- (2) 1BD+1BA+DEN+1 CAR GARAGE AT 1050 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- \*AREAS DO NOT INCLUDE GARAGE

B 4 PLEX GARDEN HOME\*

- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1290 SF.
- \*AREAS DO NOT INCLUDE GARAGE

C APARTMENT BUILDING (4 LEVELS)

- (21) 1BD+1BA APARTMENTS AT 845 SF.
- (7) 1BD+1BA+DEN APARTMENT AT 900 SF.
- 1470 SF. COMMUNITY ROOM ON LEVEL 1
- 430 SF. EXERCISE ROOM ON LEVEL 1

Item	No.	Date	Description

NO. OF SHEETS	
NO. OF SHEETS USED	
DATE OF DESIGN (SHEET LATEST)	06.11.2021

PRELIMINARY


ARCHITECTURAL SITE PLAN

RECEIVED  
JUN 18 2021  
PLANNING DEPT.

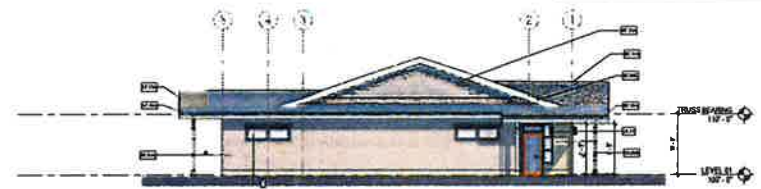
NOT FOR CONSTRUCTION



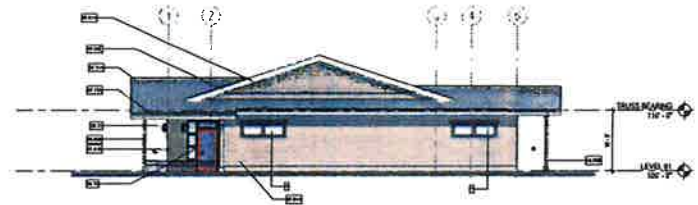
NOTED: THESE DRAWINGS OR SPECIFICATIONS ARE PRELIMINARY. THEY ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

EXTERIOR LIGHTING: MODEL OF FIXTURE  
 TRANSLUCENT FINISH, WHITE BRASS/ROSE GOLD  
 Manufacturer: [www.hue.com](http://www.hue.com)

KEYNOTE LEGEND	
KEYNOTE NUMBER	KEYNOTE TEXT
101	MANUFACTURED STONE VENEER, COLOR: TAN
102	CLAY TILE, FINISH: WHITE
103	EXTERIOR WALL, FINISH: WHITE
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D1 EXTERIOR ELEVATION - SIDE



C1 EXTERIOR ELEVATION - SIDE



B1 EXTERIOR ELEVATION - GARAGE SIDE



A1 EXTERIOR ELEVATION FACING PARK

**LAUREN Boggio**  
 Architect  
 800 875 7000 | Suite 200 | Englewood | CO 80111 | Ph. 303.723.8800

**FREEDOM VILLAGE -  
 GARDEN HOME A**  
 1811 HILLCREST DR  
 LLEVUE, NE 68005

Item	Rev.	Date	Description

Project Status:  New  
 Revise  
 Reissue  
 Date: 08.11.2021

PRELIMINARY

LBA Project #: 2020-24  
 Date: 05 Jun 2020  
 Drawn by: Author  
 Checked by: Checker

EXTERIOR ELEVATIONS

NOT FOR CONSTRUCTION

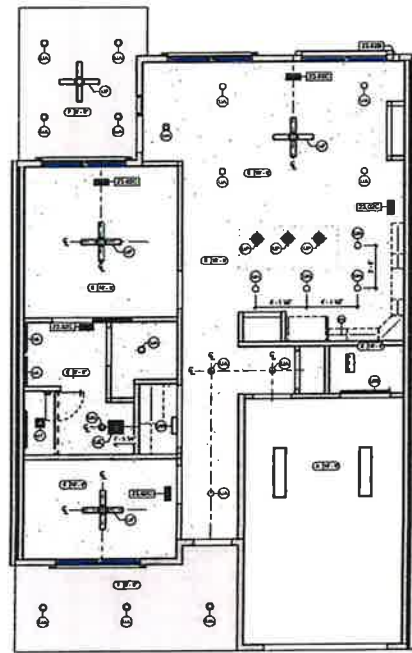
A-401.A

RECEIVED  
 JUN 18 2021  
 PLANNING DEPT.

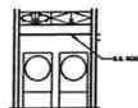
REVISION: 1. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 2. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 3. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 4. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 5. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 6. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 7. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 8. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 9. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0. 10. 06/18/21 11:15 AM - Update floor finish and ceiling type for unit B1.0.



**A1 ENLARGED UNIT PLAN - UNIT B1.0**  
6'0" x 9'0"



**A3 ENLARGED UNIT RCP - UNIT B1.0**  
6'0" x 9'0"



**A4 LAUNDRY ELEV.**  
6'0" x 4'0"

### FINISH GENERAL NOTES

- DESIGN AND CONSTRUCTION TO MEET ALL APPLICABLE LOCAL AND COUNTY REGULATIONS AND ALL CITY ORDINANCES. PLEASE VERIFY ALL REGULATIONS AND ALL CITY ORDINANCES FOR CURRENTITY AND APPLICABILITY.
- CARPET INSTALLATION SHALL COMPLY WITH THE CARPETING INSTALLATION PRACTICES AS PUBLISHED BY THE CARPETING INSTITUTE (LATEST EDITION) AND SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS. CARPET SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL CARPETING SHALL BE INSTALLED ON A CONTINUOUS UNDERLAYMENT (CUT BACK UNDERLAYMENT) TO BE LEVEL AND TO MATCH THE FINISH FLOORING TO WHICH IT IS TO BE INSTALLED.
- CEILING TRUSSES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- WOOD FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- FLOORING SHALL BE INSTALLED ON A CONTINUOUS UNDERLAYMENT (CUT BACK UNDERLAYMENT) TO BE LEVEL AND TO MATCH THE FINISH FLOORING TO WHICH IT IS TO BE INSTALLED.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL WALLS TO BE FINISHED WITH DRYWALL. ALL CEILING SHALL BE FINISHED WITH DRYWALL.
- ALL WALLS TO BE FINISHED WITH DRYWALL. ALL CEILING SHALL BE FINISHED WITH DRYWALL.
- ALL ELECTRICAL SYMBOLS AND PLACEMENT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL ELECTRICAL SYMBOLS AND PLACEMENT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.

**FINISH WORKING NOTES:**

**FLOOR FINISH COLOR LEGEND:**

**Key Value**                          **Keynote Text**

**Key Value**                          **Keynote Text**

### CEILING PLAN GENERAL NOTES

**BLDG A AND B**

- CEILING FINISH SHALL COMPLY WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- CONSTRUCTION TO COMPLY WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL ELECTRICAL SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL ELECTRICAL SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
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- ALL ELECTRICAL SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.
- ALL ELECTRICAL SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND COUNTY REGULATIONS.

### CEILING PLAN SYMBOLS LEGEND

**WIRING SYMBOLS**

**Mechanical / Low Voltage & Misc. Ceiling Symbols**

**CEILING TYPE LEGEND**

**KEYNOTE LEGEND**

**RECEIVED  
 JUN 18 2021  
 PLANNING DEPT.**

**FREEDOM VILLAGE  
 BUILDING A**  
 1181 Hillcrest, Raleigh, NC

Issue #	Date	Description

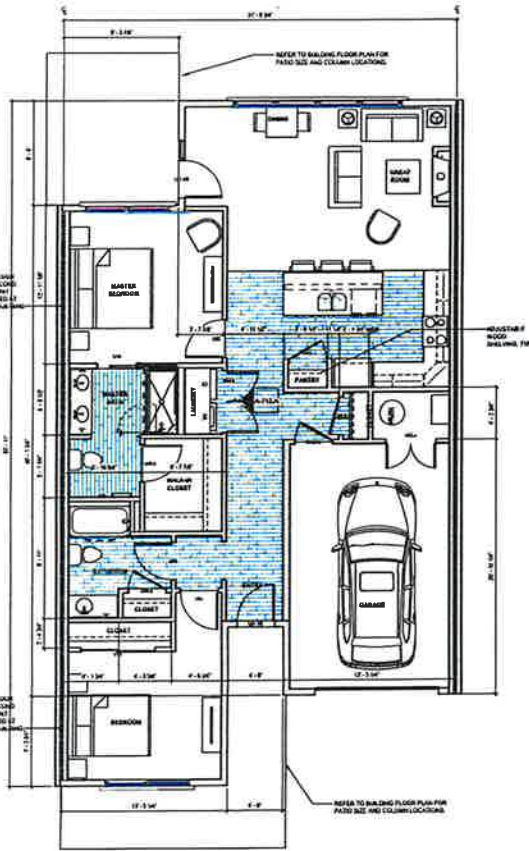
**PRELIMINARY**

Issue #	Date	Description

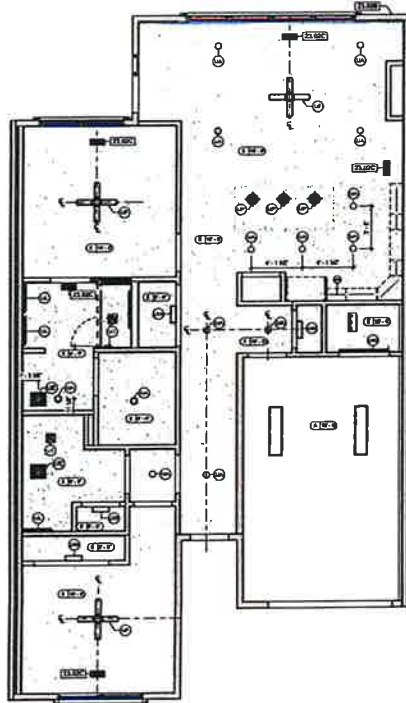
**ENLARGED UNIT PLAN AND RCP**

**NOT FOR CONSTRUCTION**

NOT FOR CONSTRUCTION  
 01/30/2021 11:00:20 AM  
 Project Name: 1181 Hillcrest  
 Building: 1181 Hillcrest Building A



**A1** ENLARGED UNIT PLAN - UNIT C1.0  
1/8" = 1'-0"



**A3** ENLARGED UNIT RCP - UNIT C1.0  
1/8" = 1'-0"

**FINISH GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL CONTRACTOR TO VERIFY ALL APPROVED MATERIALS AND COMPONENTS ARE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. PLEASE VERIFY AND REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY PRIOR TO INSTALLATION.
- COPYRIGHTED MATERIAL SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. THE MANUFACTURER'S INSTRUCTIONS SHALL BE THE SOURCE OF ACCURACY FOR ALL DIMENSIONS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.
- INSTALL CONTRACTOR TO REMOVE EXISTING BLANKETS OF GYPSUM, ADHESIVE AND OTHER MATERIALS IN PREPARATION FOR A FINISH SURFACE.
- ALL CARPET TO BE LAYED AND FASTENED TO THE SUBFLOOR PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL CARPET TO BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR TO VERIFY ALL APPROVED MATERIALS AND COMPONENTS ARE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- FINISH CONTRACTOR TO VERIFY THAT ALL CARPET FASTENING MATERIALS ARE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. ALL CARPET TO BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- REFER TO ARCHITECT FOR SPECIFIC FINISH REQUIREMENTS FOR FINISHES, WALL FINISHES AND PARTITIONS.
- ALL WALLS TO BE FINISHED PER THE FINISH SCHEDULE. ALL FINISHES TO BE FINISHED PER THE FINISH SCHEDULE. ALL FINISHES TO BE FINISHED PER THE FINISH SCHEDULE.
- ALL WALL FINISHES SHALL BE FINISHED PER THE FINISH SCHEDULE. ALL WALL FINISHES SHALL BE FINISHED PER THE FINISH SCHEDULE. ALL WALL FINISHES SHALL BE FINISHED PER THE FINISH SCHEDULE.
- ALL ELECTRICAL WIRING AND PIPING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. ALL ELECTRICAL WIRING AND PIPING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.

**FINISH WORKING NOTES:**

**FLOOR FINISH COLOR LEGEND:**

- CARPET (CPT)
- WALL (W)

**Keynote Legend**

Key Value	Keynote Text
21.02B	PLASTIC COVERED WALL CAP, PAINTED TO MATCH EXTERIOR. RE: MECH.
22.00C	CEILING AND SUPPLY GRILES COORDINATED FOR LIGHT FIXTURES. FIELD VERIFY. RE: MECH.

**CEILING PLAN GENERAL NOTES**  
 BLDG A AND B

- CEILING HEIGHTS INDICATED ARE FINISH.
- CONTRACTOR IS REQUIRED TO VERIFY ALL APPROVED MATERIALS AND COMPONENTS ARE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. PLEASE VERIFY AND REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY PRIOR TO INSTALLATION.
- ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- REFER TO ARCHITECT FOR SPECIFIC FINISH REQUIREMENTS FOR FINISHES, WALL FINISHES AND PARTITIONS.
- ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- REFER TO ARCHITECT FOR SPECIFIC FINISH REQUIREMENTS FOR FINISHES, WALL FINISHES AND PARTITIONS.
- ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
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- ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.

**CEILING PLAN SYMBOLS LEGEND**

- LIGHTING SYMBOLS**
- CEILING FAN LIGHT
  - AMBIENT LIGHT
  - EXIT LIGHT
  - LED RECESSED LIGHT
  - MR16 RECESSED LIGHT
  - RECESSED LIGHT
  - LED RECESSED LIGHT
  - LED RECESSED LIGHT
  - LED RECESSED LIGHT
  - LED RECESSED LIGHT

**MECHANICAL, LOW VOLTAGE & MISC. CEILING SYMBOLS**

- MECHANICAL BALANCE
- SUPPLY EXHAUST
- RETURN AIR GRILLE
- EXHAUST FAN
- EXHAUST FAN WITH RAIN CAP
- EXHAUST FAN WITH RAIN CAP
- EXHAUST FAN WITH RAIN CAP
- EXHAUST FAN WITH RAIN CAP
- EXHAUST FAN WITH RAIN CAP
- EXHAUST FAN WITH RAIN CAP

**CEILING TYPE LEGEND**

- DRY BOARD ON WOOD FRAMING, FINISH 1/2" (1 FORM AND FINISH) AND JOINT
- GYPSUM BOARD ON WOOD FRAMING, FINISH LEVEL 4 FINISH AND JOINT
- FIBER GYPSUM BOARD ON STEEL DECK

RECEIVED  
 JUN 18 2021  
 PLANNING DEPT.

**LANTZ BOGGIO**  
 Architects & Interiors, Inc.  
 8000 ETC Plaza | Suite 200 | Denver, CO 80231 | P: 303.733.3300

**FREEDOM VILLAGE**  
**BUILDING A**  
**BUILDING B**  
 1181 Hillcrest  
 Bellevue NE

Date	Rev	Description


PRELIMINARY


ENLARGED UNIT PLAN AND RCP

**A-713.AB**

# HILLCREST FREEDOM VILLAGE - GARDEN HOME B

1181 HILLCREST DRIVE | LEVUE, NE 68005

Item #	Rev.	Date	Description

Project Name: \_\_\_\_\_  
 Sheet # \_\_\_\_\_ of \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Drawn by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_

**PRELIMINARY**

License #	2050-24
Date	
Drawn by	Author
Checked by	Checker

ARCHITECTURAL SITE PLAN

A-101.B



**SITE PROGRAM**

- 28 GARDEN HOMES
- 28 APARTMENTS
- 28 GARAGE PARKING SPACES AT GARDEN HOMES
- 28 DRIVEWAY PARKING SPACES AT GARDEN HOMES
- 91 SURFACE PARKING REGULAR STALLS
- 4 ACCESSIBLE PARKING
- 95 TOTAL SURFACE PARKING (REGULAR STALLS + ACCESSIBLE PARKING)

**A 4 PLEX GARDEN HOME\***

- (2) 1BD+1BA+DEN+1 CAR GARAGE AT 1050 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- \*AREAS DO NOT INCLUDE GARAGE

**B 4 PLEX GARDEN HOME\***

- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- (2) 1BD+1BA+DEN APARTMENT AT 900 SF.
- \*AREAS DO NOT INCLUDE GARAGE

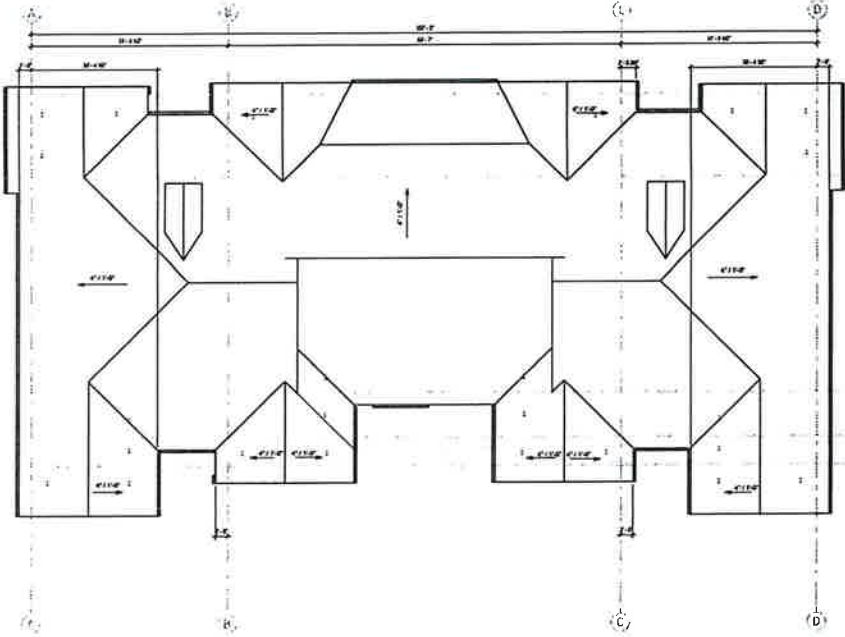
**C APARTMENT BUILDING (4 LEVELS)**

- (2) 1BD+1BA APARTMENTS AT 845 SF.
- (7) 1BD+1BA+DEN APARTMENT AT 900 SF.
- 1470 SF. COMMUNITY ROOM ON LEVEL 1
- 430 SF. EXERCISE ROOM ON LEVEL 1

RECEIVED  
 JUN 18 2021  
 PLANNING DEPT

NOT FOR CONSTRUCTION

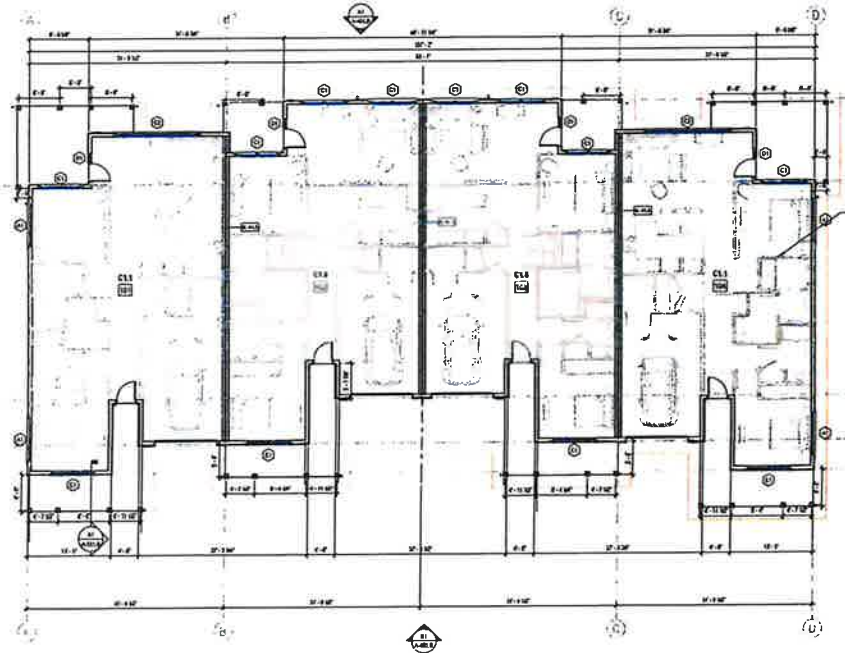
DATE: These drawings or portions thereof were prepared under contract with Hillcrest Freedom Village - Garden Home B, LLC. All dimensions and notes shall be as shown on these drawings. No dimensions shall be taken from any other drawings. 6/15/2021 6:58:33 PM  
 Project Title: Hillcrest Freedom Village - Garden Home B  
 Sheet: B1



- FLOOR PLAN GENERAL NOTES**
1. EXISTING ROOM WALLS ARE SHOWN IN CHAIN DASH LINE AND NEW WALLS ARE SHOWN IN SOLID LINE UNLESS OTHERWISE NOTED.
  2. ALL FINISH WALLS AND CEILING SHALL BE FINISHED WITH A FINISH TO BE DETERMINED BY THE OWNER. FINISHES SHALL BE THE SAME THROUGHOUT FOR ALL ROOMS UNLESS OTHERWISE NOTED.
  3. GRID LINES AND LOCATIONS OF LOADINGS SHALL BE SHOWN AND DIMENSIONS OF THESE LOADINGS SHALL BE THE SAME THROUGHOUT FOR ALL ROOMS UNLESS OTHERWISE NOTED.
  4. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR UNFINISHED FLOOR FINISHES.
  5. REFER TO PLUMBING PLAN FOR ALL FLOOR AND CEILING FINISHES, FLOOR SLOPE, PIPING SLOPE TO DRAIN.
  6. ALL ROOMS OPERATED AND SPECIFICALLY INDICATED ON FLOOR PLAN SHALL BE LOCATED 4" FROM FACE OF ADJACENT WALL, TYPICAL UNLESS NOTED.
  7. REFER TO OVER COMPLIANCE PLANS (C-COMM) DRAWINGS FOR ALL BATH WALL LOCATIONS AND TILING REQUIREMENTS.

- ROOF PLAN GENERAL NOTES**
1. SEE ROOF RISE CALCULATIONS FOR DIMENSIONS OF ROOF VALLES AT EACH GABLE.
  2. PROVIDE ROOF RISE AT EACH GABLE SHOWN WITH CARE TYPICAL THROUGHOUT UNLESS OTHERWISE NOTED.
  3. REFER TO LIFE SAFETY PLAN SHEETS FOR LOCATIONS OF ROOF WALLS AND FINISHES. ALL ROOF WALLS AND FINISHES SHALL BE FINISHED TO BE COMPARABLE TO THE FINISHES TO BE USED IN THE INTERIOR OF THE ROOF SPACE. FINISHES AND MATERIALS TO BE USED SHALL BE LISTED IN THE GARDEN HOME B C-COMM (C-COMM) DRAWINGS. REFER TO OVER COMPLIANCE PLANS (C-COMM) DRAWINGS FOR ADDITIONAL FINISHES AND MATERIALS TO BE USED IN THE ROOF SPACE.
  4. ALL DOWNSPUTTS TO BE CONNECTED TO UNDERGROUND STORMWATER COLLECTION SYSTEM UNLESS OTHERWISE NOTED.
  5. INSTALL A MINIMUM 1/2" UP FROM FINISH FLOOR TO FINISH FLOOR TO PROVIDE PROTECTIVE WATER RESISTIVE BARRIER TO ALL ROOF WALLS AND CEILING FINISHES. FINISHES TO BE USED IN THE INTERIOR OF THE ROOF SPACE SHALL BE FINISHED TO BE COMPARABLE TO THE FINISHES TO BE USED IN THE INTERIOR OF THE ROOF SPACE. FINISHES AND MATERIALS TO BE USED SHALL BE LISTED IN THE GARDEN HOME B C-COMM (C-COMM) DRAWINGS.
  6. ALL ROOF WALLS TO BE FINISHED TO BE COMPARABLE TO THE FINISHES TO BE USED IN THE INTERIOR OF THE ROOF SPACE. FINISHES AND MATERIALS TO BE USED SHALL BE LISTED IN THE GARDEN HOME B C-COMM (C-COMM) DRAWINGS.
  7. ALL INTERIOR DOWNSPUTTS SHALL BE FINISHED TO BE COMPARABLE TO THE FINISHES TO BE USED IN THE INTERIOR OF THE ROOF SPACE. FINISHES AND MATERIALS TO BE USED SHALL BE LISTED IN THE GARDEN HOME B C-COMM (C-COMM) DRAWINGS.

(B1) OVERALL ROOF PLAN



(A1) LEVEL 01 OVERALL FLOOR PLAN

LANTZ BOGGIO  
 ARCHITECTS INC.  
 3868 57th Plwy. | Suite 202 | Bismarck ND 58101 | Ph. 701.731.1111

**HILLCREST FREEDOM  
 VILLAGE - GARDEN  
 HOME B**

1181 HILLCREST DR | LEVIEUE, NE 68005

Issue No.	Date	Description

Issue 1  
 DATE: 06/15/2021  
 BY: [Redacted]

PRELIMINARY

RECEIVED  
 JUN 18 2021  
 PLANNING DEPT.

USA Project # 2020-24  
 Drawn by: [Redacted]  
 Checked by: [Redacted]

OVERALL FLOOR PLAN &  
 ROOF PLAN

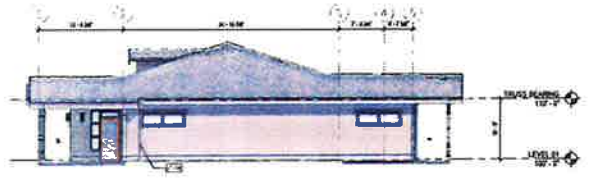
A-210.B

NOT FOR CONSTRUCTION

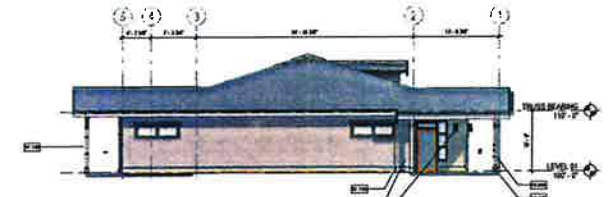
1000 West 10th Street, Suite 100, Lincoln, NE 68502  
 402.441.1111  
 © 2020 Lantz Boggio

ITEM NUMBER	DESCRIPTION	REVISIONS
0100	GENERAL NOTES	
0200	FOUNDATION	
0300	FLOOR	
0400	ROOF	
0500	WALLS	
0600	DOORS	
0700	WINDOWS	
0800	EXTERIOR FINISHES	
0900	MECHANICAL	
1000	ELECTRICAL	
1100	PLUMBING	
1200	HAZARDOUS WASTE	
1300	ENVIRONMENTAL	
1400	CONCRETE	
1500	PAINT	
1600	IRONWORK	
1700	STEEL DECK	
1800	GLASS	
1900	OTHER	

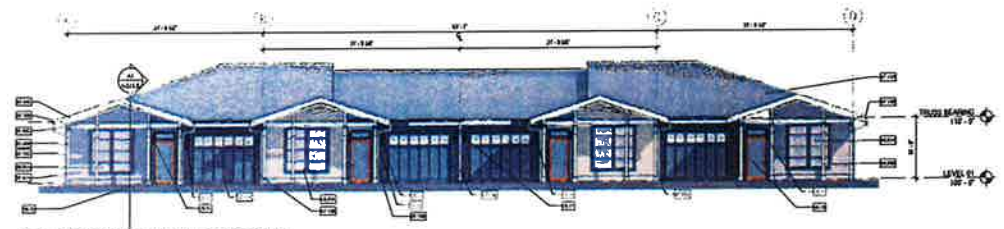
EXTERIOR FINISHES - BASES OF DOORS  
 AND WINDOWS SHALL BE AS SHOWN UNLESS  
 OTHERWISE NOTED.



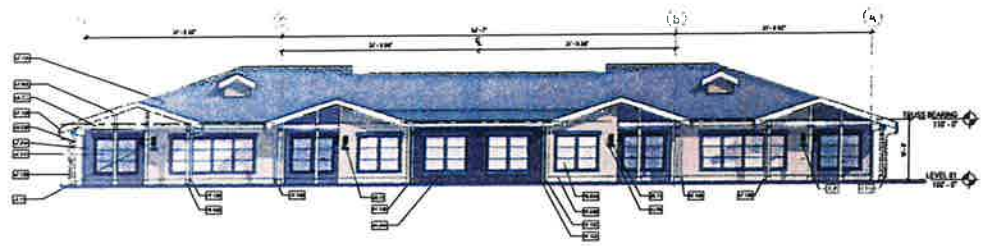
**D1** OVERALL WEST ELEVATION  
14' x 11'4"



**D4** OVERALL EAST ELEVATION  
14' x 11'4"



**B1** EXTERIOR ELEVATION GARAGE SIDE  
14' x 11'4"



**A1** EXTERIOR ELEVATIONS PARK SIDE  
14' x 11'4"

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**LANTZ BOGGIO**  
 ARCHITECTS  
 1000 West 10th Street, Suite 100  
 Lincoln, NE 68502

**HILLCREST FREEDOM  
 VILLAGE - GARDEN  
 HOME B**

1181 HILLCREST DR  
 LINCOLN, NE 68505

Rev	Date	Description

Project Name: \_\_\_\_\_  
 Sheet #: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Author: \_\_\_\_\_  
 Checked by: \_\_\_\_\_

PRELIMINARY

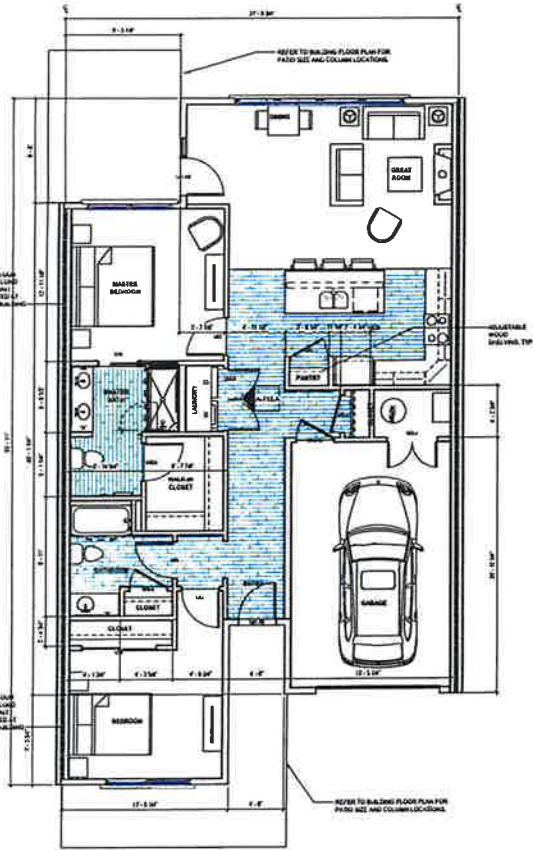
LBA Project # 2020-24  
 Date: \_\_\_\_\_  
 Author: \_\_\_\_\_  
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EXTERIOR ELEVATIONS

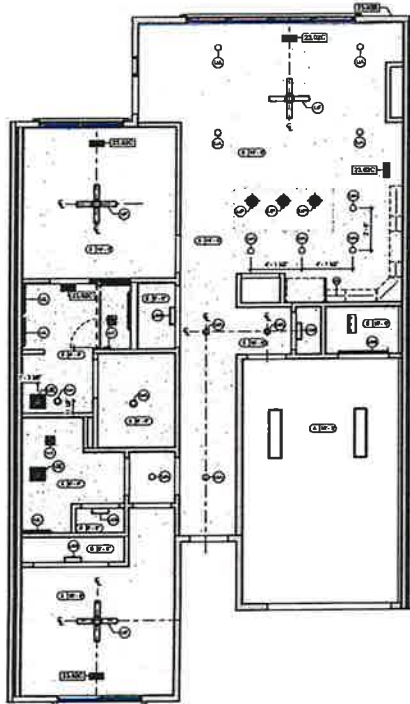
NOT FOR CONSTRUCTION

**A-401.B**

Vertical text on the left margin: 0/12/2021 7:11:00 PM



A1 ENLARGED UNIT PLAN - UNIT C1.0



A3 ENLARGED UNIT RCP - UNIT C1.0

FINISH GENERAL NOTES

- 1. CONSULT WITH SUBCONTRACTORS TO VERIFY ALL APPROVED...
2. CARPET INSTALLATION SHALL COMPLY WITH THE SPECIFICATIONS...
3. PLASTER/FLOOR FINISHES SHALL BE FINISHED TO MATCH...
4. FINISH CONTRACTOR TO VERIFY EXISTING...
5. VERIFY ALL FINISHING...
6. ALL WALLS TO BE PAINTED TO...
7. ALL INLET AND OUTLET...
8. ALL ELECTRICAL...
9. GROUT, GROUT FINISHES, TILE...
10. FINISH CONTRACTOR TO VERIFY...

FINISH WORKING NOTES:

- 03 G20 PLASTIC LAMINATED WALL CAP, PAINTED TO MATCH EXISTING...
03 G21 CEILING SUPPLY GRILLE COORDINATED WITH LIGHT FIXTURES; FIELD VERIFY; RE: MECH

FLOOR FINISH COLOR LEGEND:

Table with 2 columns: Key Value, Keynote Text. Includes symbols for carpet, wood paneling, and ceiling panels.

CEILING PLAN GENERAL NOTES

- 1. VERIFY ALL...
2. CONSTRUCTION...
3. ALL...
4. REFER TO...
5. ALL...
6. ALL...
7. ALL...
8. ALL...
9. ALL...
10. ALL...

CEILING PLAN SYMBOLS LEGEND

Table defining lighting symbols (e.g., recessed canlight, surface mounted) and mechanical symbols (e.g., diffuser, return).

MECHANICAL LOW VOLTAGE & MISC. CEILING SYMBOLS

Table defining symbols for electrical and miscellaneous ceiling items like diffusers and access panels.

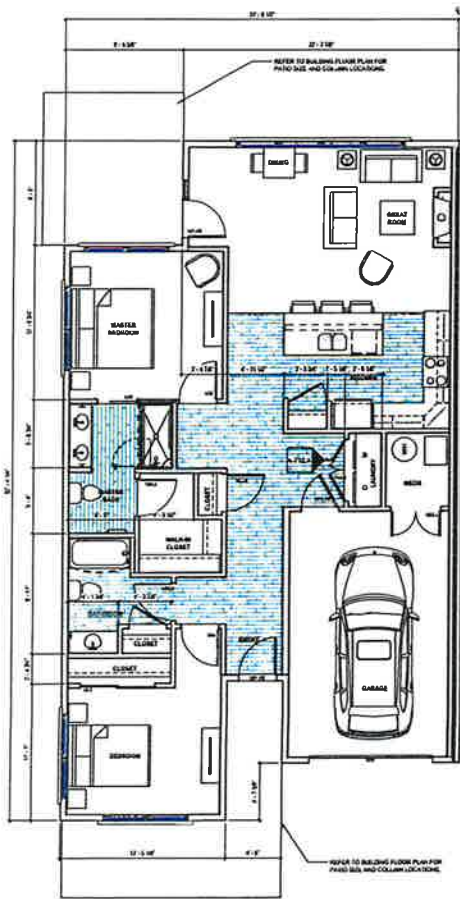
CEILING TYPE LEGEND

Legend for ceiling types (e.g., drop board, vaulted, plaster) with corresponding symbols and notes.

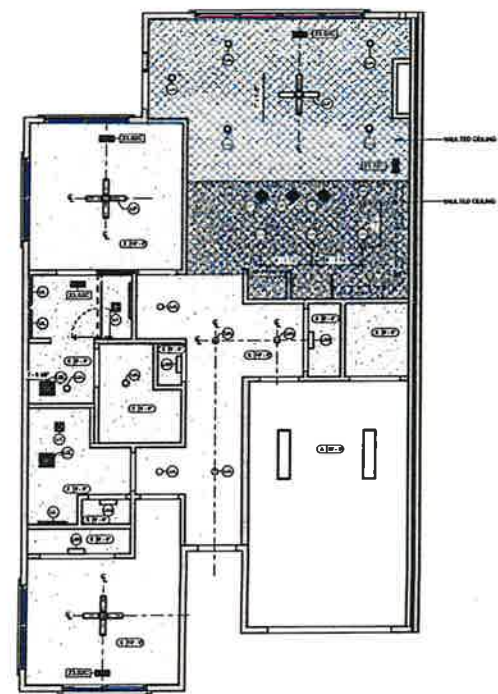
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Project title block containing: FREEDOM VILLAGE BUILDING A BUILDING B, 1181 Hillcrest Bellevue WA, LANTZ+BOGGIO ARCHITECTS & INTERIORS INC., a table for project details, and the text 'PRELIMINARY' and 'ENLARGED UNIT PLAN AND RCP'. A stamp reads 'NOT FOR CONSTRUCTION'.

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



**A1 ENLARGED UNIT PLAN - UNIT C1.1**  
11' x 11'



**A3 ENLARGED UNIT RCP - UNIT C1.1**  
11' x 11'

**FINISH GENERAL NOTES**

- SEARCH EXISTING RECORDS AND CONSULT WITH ARCHITECT TO VERIFY ALL APPROPRIATE MEASUREMENTS AND CONDITIONS FOR ALL WORK AND VERIFY FOR MATERIALS AND FINISHES. PLEASE VERIFY ALL DIMENSIONS AGAINST EXISTING RECORDS AND MEASUREMENTS PRIOR TO CONSTRUCTION.
- CARPET INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OUTLINED AS PERMITTED BY THE APPLICABLE CARPET INSTALLATION CODES FOR ALL AREAS AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. PROVIDER OR MANUFACTURER'S FINISH APPEARANCE. CARPET SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- FINISHES SHALL BE INSTALLED AT THE SAME LEVEL AS THE FLOOR TO WHICH THEY ARE APPLIED UNLESS OTHERWISE INDICATED.
- MECHANICAL CONTRACTOR TO VERIFY EXISTING IS AS SHOWN AND CORRECT AS NECESSARY TO ACCOMMODATE ALL MECHANICAL EQUIPMENT AND SYSTEMS. PROVIDER OR MANUFACTURER'S FINISH APPEARANCE. CARPET SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- MECHANICAL CONTRACTOR TO VERIFY EXISTING IS AS SHOWN AND CORRECT AS NECESSARY TO ACCOMMODATE ALL MECHANICAL EQUIPMENT AND SYSTEMS. PROVIDER OR MANUFACTURER'S FINISH APPEARANCE. CARPET SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
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- MECHANICAL CONTRACTOR TO VERIFY EXISTING IS AS SHOWN AND CORRECT AS NECESSARY TO ACCOMMODATE ALL MECHANICAL EQUIPMENT AND SYSTEMS. PROVIDER OR MANUFACTURER'S FINISH APPEARANCE. CARPET SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

**FINISH WORKING NOTES:**

REFER TO UNIT RCP FOR EQUIPMENT SCHEDULES

**FLOOR FINISH COLOR LEGEND:**

- Light Blue: Carpet (6.1.1)
- Light Green: Carpet (6.1.2)
- Light Yellow: Carpet (6.1.3)

**Keynote Legend:**

Key Value	Keynote Text
23.02B	PLASTIC COVERED WALL CAP, PAINTED TO MATCH EXTERIOR, SEE MECH
23.02C	CEILING SUPPLY GRILLE COORDINATED W/ LIGHT FIXTURES; FIELD VERIFY, SEE MECH.

**CEILING PLAN GENERAL NOTES BLDG A AND B**

- CEILING HEIGHTS INDICATED ARE MINIMUMS.
- CONTRACTOR IS RESPONSIBLE TO CONSULT WITH ARCHITECT PRIOR TO ANY CHANGES OR ALTERATIONS TO CEILING HEIGHTS.
- ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED TO BE CENTERED OVER THE PARTY WALL/STAIR.
- REFER TO MECHANICAL SCHEDULES FOR LIGHT FIXTURE SCHEDULES.
- ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED TO BE CENTERED OVER THE PARTY WALL/STAIR.
- REFER TO MECHANICAL SCHEDULES FOR LIGHT FIXTURE SCHEDULES.
- REFER TO MECHANICAL SCHEDULES FOR LIGHT FIXTURE SCHEDULES.
- REFER TO MECHANICAL SCHEDULES FOR LIGHT FIXTURE SCHEDULES.
- REFER TO MECHANICAL SCHEDULES FOR LIGHT FIXTURE SCHEDULES.
- REFER TO MECHANICAL SCHEDULES FOR LIGHT FIXTURE SCHEDULES.

**CEILING PLAN SYMBOLS LEGEND**

**ELECTRICAL SYMBOLS**

- LA: REEFER CASE LIGHT
- LE: EXTERIOR LIGHT
- LC: REAR PLUMBING (SINK)
- LF: PLUMBING FIXTURE
- LP: PLUMBING FIXTURE LIGHT
- LU: CEILING FAN

**MECHANICAL SYMBOLS**

- LA: REEFER CASE LIGHT
- LE: EXTERIOR LIGHT
- LC: REAR PLUMBING (SINK)
- LF: PLUMBING FIXTURE
- LP: PLUMBING FIXTURE LIGHT
- LU: CEILING FAN

**MECHANICAL LOW VOLTAGE & MISC. CEILING SYMBOLS**

- LA: REEFER CASE LIGHT
- LE: EXTERIOR LIGHT
- LC: REAR PLUMBING (SINK)
- LF: PLUMBING FIXTURE
- LP: PLUMBING FIXTURE LIGHT
- LU: CEILING FAN

**CEILING TYPE LEGEND**

**CEILING TAG**

- CL: CEILING TYPE
- CL1: CEILING TYPE 1
- CL2: CEILING TYPE 2
- CL3: CEILING TYPE 3

**CL1:** 6" x 6" GRID ON HANGERS, FINISH: 1/2" PLASTER AND FINISH AND PAINT

**CL2:** 12" x 12" GRID ON HANGERS, FINISH: 1/2" PLASTER AND FINISH AND PAINT

**CL3:** 12" x 12" GRID ON HANGERS, FINISH: 1/2" PLASTER AND FINISH AND PAINT

**LANTZ BOGGIO**  
ARCHITECTS & ENGINEERS, P.C.  
800 375 7700 | Suite 200 | Georgetown, CO 80131 | Tel. 303.772.4444

**FREEDOM VILLAGE**  
**BUILDING B**  
1181 Hiltree | Bellevue NE

**RECEIVED**  
**JUN 18 2021**  
**PLANNING DEPT.**

Date	No.	Date	Description

**Project Name:**

**Sheet /** **Count**

**DATE:** 06.17.2021

**DATE:** 06.17.2021

**PRELIMINARY**

**DATE:** 06.17.2021

**DATE:** 06.17.2021

**DATE:** 06.17.2021

**DATE:** 06.17.2021

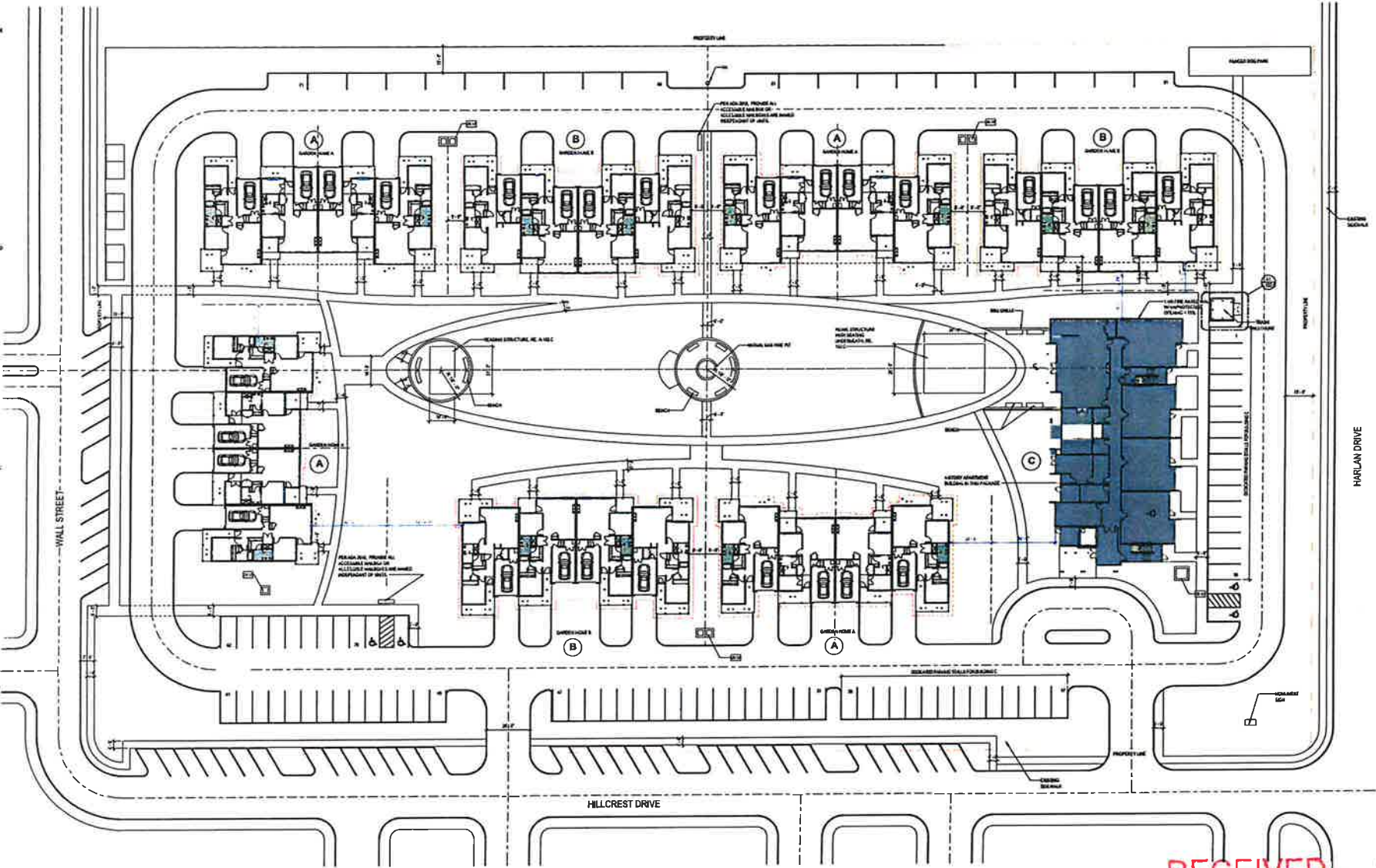
**DATE:** 06.17.2021

**ENLARGED UNIT PLAN AND RCP**

**A-714.B**

REVISED	REVISION

**LANTZ BOGGIO**  
 Architects & Interior Design  
 1401 17th Ave, Suite 201, Bellevue, WA 98005  
 (206) 451-1100



# FREEDOM VILLAGE BUILDING C

1811 HILLCREST DRIVE BELLEVUE, NE 68005

Item	No.	Date	Description

Project Name	
Sheet #	
Date	
Scale	
Drawn by	
Checked by	

PRELIMINARY


ARCHITECTURAL SITE PLAN

A-101.C

**SITE PROGRAM**

- 28 GARDEN HOMES
- 28 APARTMENTS
- 28 GARAGE PARKING SPACES AT GARDEN HOMES
- 28 DRIVEWAY PARKING SPACES AT GARDEN HOMES
- 91 SURFACE PARKING REGULAR STALLS
- 4 ACCESSIBLE PARKING
- 95 TOTAL SURFACE PARKING (REGULAR STALLS + ACCESSIBLE PARKING)

**A 4 PLEX GARDEN HOME\***

- (2) 1BD+1BA+DEN+1 CAR GARAGE AT 1050 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- \*AREAS DO NOT INCLUDE GARAGE

**B 4 PLEX GARDEN HOME\***

- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- (2) 2BD+2BA+1 CAR GARAGE AT 1250 SF.
- \*AREAS DO NOT INCLUDE GARAGE

**C APARTMENT BUILDING (4 LEVELS)**

- (21) 1BD+1BA APARTMENTS AT 845 SF.
- (7) 1BD+1BA+DEN APARTMENT AT 900 SF.
- 1470 SF. COMMUNITY ROOM ON LEVEL 1
- 430 SF. EXERCISE ROOM ON LEVEL 1

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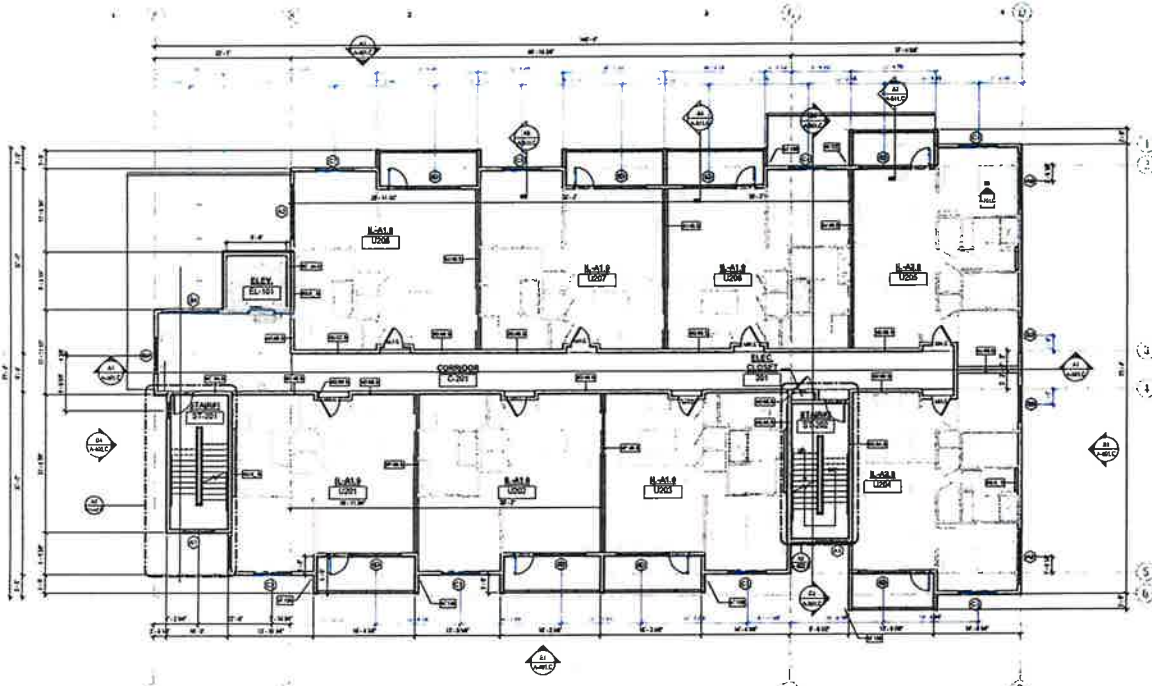
JUN 18 2021

PLANNING DEPT.

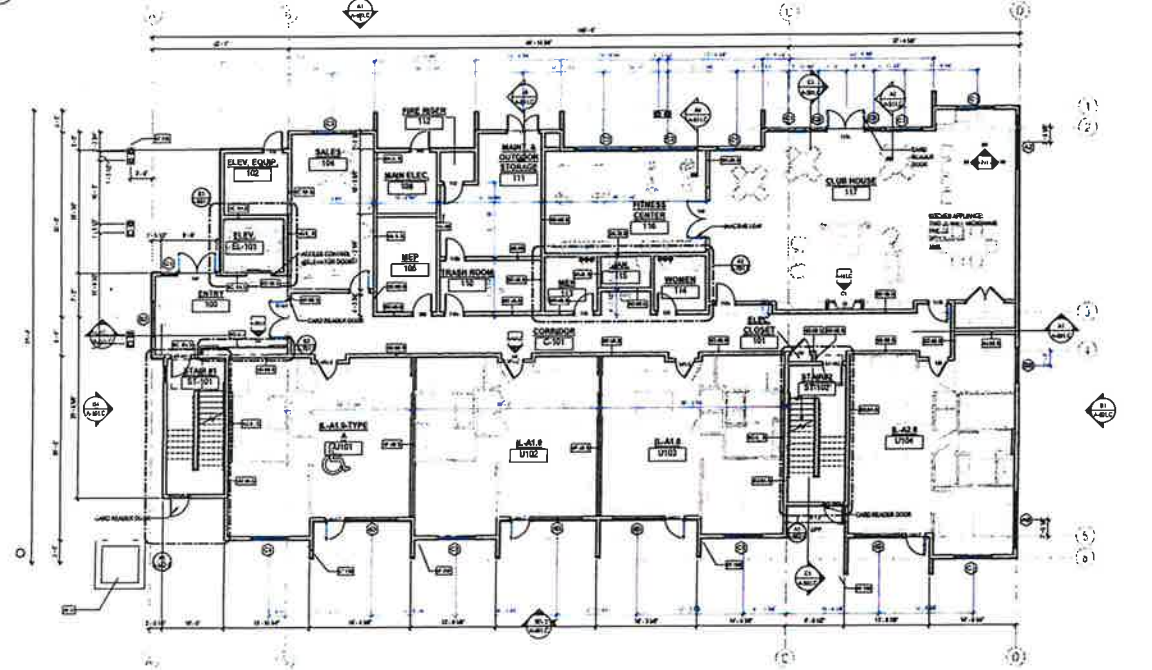
NOT FOR CONSTRUCTION

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 User: jlanter  
 Plot Date: 11/20/21  
 Sheet: 01 of 01

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 01/20/2021 10:43:23 AM  
 P:\01\2021\164633.DWG  
 Spring



**C1** LEVEL 02 OVERALL FLOOR PLAN  
16' x 16'



**A1** LEVEL 01 OVERALL FLOOR PLAN  
16' x 16'

- FLOOR PLAN GENERAL NOTES**
1. REFER TO ALL OTHER DRAWINGS WHICH SHOW THE EXISTING AND PROPOSED WALLS AND CHARACTER OF EXISTING WALLS AND CHARACTER OF EXISTING WALLS.
  2. ALL PROPOSED WALLS AND EXISTING WALLS ARE INDICATED BY THE FACE OF THE WALL OR THE CENTERLINE OF THE WALL.
  3. GRID LINES ARE LOCATED ON FACE OF UNDESIGNED EXISTING WALLS AND CHARACTER OF EXISTING WALLS.
  4. REFER TO ALL OTHER DRAWINGS WHICH SHOW THE EXISTING AND PROPOSED WALLS AND CHARACTER OF EXISTING WALLS.
  5. REFER TO ALL OTHER DRAWINGS WHICH SHOW THE EXISTING AND PROPOSED WALLS AND CHARACTER OF EXISTING WALLS.
  6. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE SHOWN BY DASHED LINES AND ALL NEW WALLS SHALL BE SHOWN BY SOLID LINES.
  7. REFER TO ALL OTHER DRAWINGS WHICH SHOW THE EXISTING AND PROPOSED WALLS AND CHARACTER OF EXISTING WALLS.
  8. ALL DOOR OPENINGS NOT SPECIFICALLY DIMENSIONED SHALL BE LOCATED BY THE FACE OF THE DOOR.
  9. REFER TO ALL OTHER DRAWINGS WHICH SHOW THE EXISTING AND PROPOSED WALLS AND CHARACTER OF EXISTING WALLS.

REVISIONS	
NO.	DESCRIPTION

**LANTZ BOGGIO**  
 Architects  
 1811 Hillcrest Drive, Bellevue, NE 68005  
 (408) 463-1111

**FREEDOM VILLAGE  
 BUILDING C**

1811 HILLCREST DRIVE, BELLEVUE, NE 68005

Date	Rev.	State	Description

Project Name: \_\_\_\_\_  
 Sheet # \_\_\_\_\_ of \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Author: \_\_\_\_\_  
 Checker: \_\_\_\_\_

PRELIMINARY

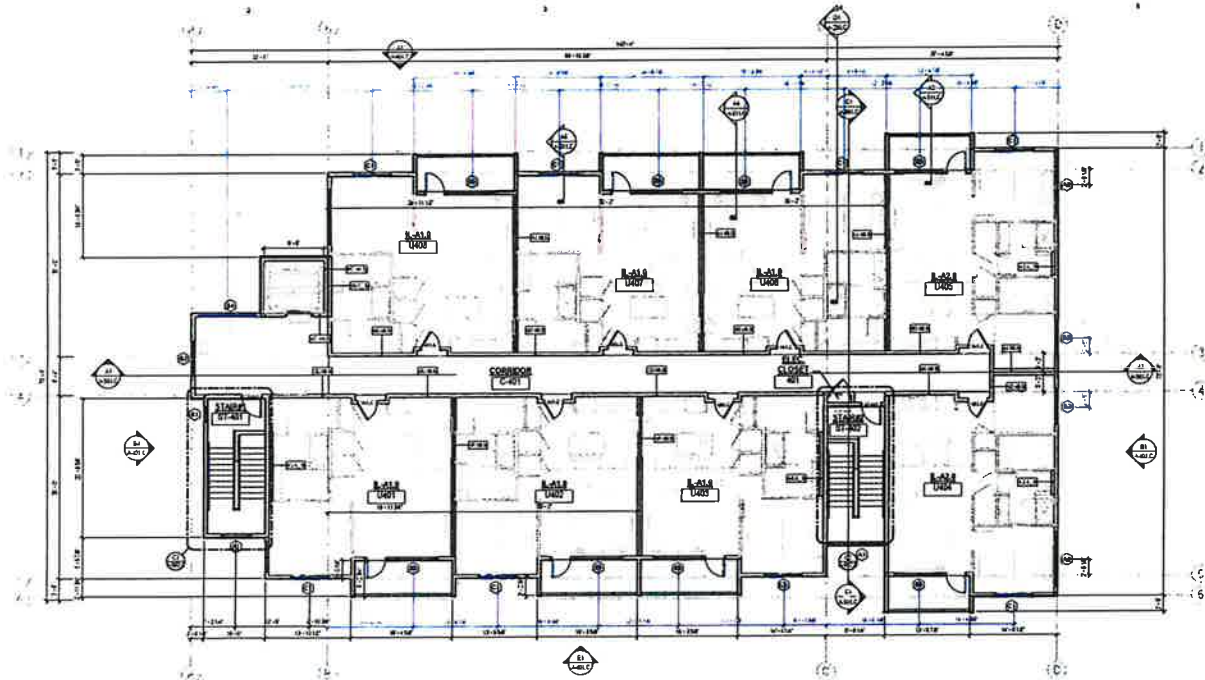
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Overall Project # \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Author: \_\_\_\_\_  
 Checker: \_\_\_\_\_

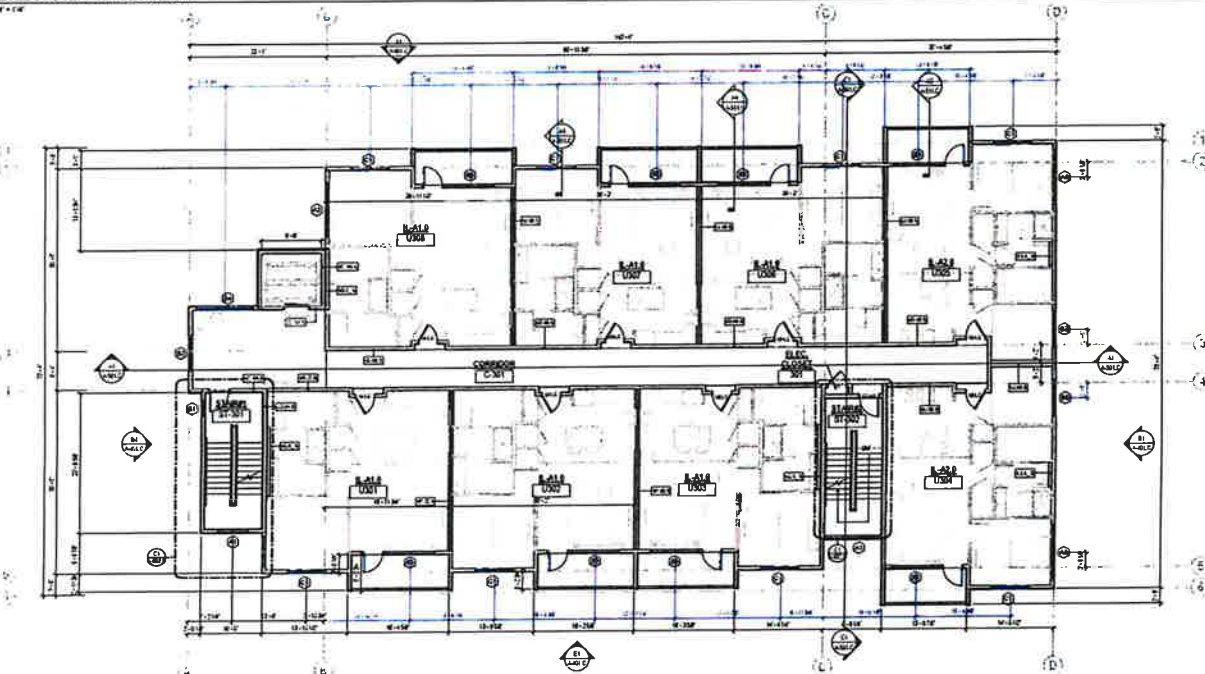
OVERALL FLOOR PLAN -  
 LEVEL 1 & 2

**A-210.C**

NOT FOR CONSTRUCTION



C1 LEVEL 04 OVERALL FLOOR PLAN



A1 LEVEL 03 OVERALL FLOOR PLAN

- FLOOR PLAN GENERAL NOTES**
1. REFER TO S&P SCHEDULE AND GENERAL NOTES FOR SCHEDULES OF FINISHES THROUGHOUT DRAWING. FINISHES TO BE SHOWN ON THE FACE OF THE CONCRETE SLAB.
  2. ALL FINISHES SHALL BE REFERRED TO AS THE EXISTING FACE OF FINISH UNLESS OTHERWISE NOTED.
  3. SCHEDULES ARE LOCATED ON THE FACE OF CONCRETE UNLESS OTHERWISE NOTED OR OTHERWISE NOTED OTHERWISE.
  4. REFER TO S&P AND SCHEDULES FOR FINISHES AND FINISHES.
  5. REFER TO S&P FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE GIVEN FOR ALL NECESSARY MATERIALS PER S&P OR OTHERWISE.
  6. ALL WALLS SHALL BE CONSTRUCTED PER S&P. FINISHES TO BE SHOWN ON THE FACE OF CONCRETE. ALL WALLS SHALL BE FINISHED WITH THE FINISHES SHOWN ON THE FACE OF CONCRETE. ALL WALLS SHALL BE FINISHED WITH THE FINISHES SHOWN ON THE FACE OF CONCRETE.
  7. REFER TO S&P FOR ALL DIMENSIONS AND FINISHES. FINISHES TO BE SHOWN ON THE FACE OF CONCRETE.
  8. ALL DIMENSIONS SHALL BE GIVEN IN FEET AND INCHES. DIMENSIONS SHALL BE GIVEN TO THE FACE OF CONCRETE UNLESS OTHERWISE NOTED.
  9. REFER TO S&P FOR ALL DIMENSIONS AND FINISHES. FINISHES TO BE SHOWN ON THE FACE OF CONCRETE.

**LANTZ BOGGIO**  
ARCHITECTS & ENGINEERS  
1811 HILLCREST DRIVE, BELLEVUE, NE 68005  
(408) 438-3333

**FREEDOM VILLAGE  
BUILDING C**

1811 HILLCREST DRIVE, BELLEVUE, NE 68005

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Date:  
Author:  
Checked by:

OVERALL FLOOR PLAN -  
LEVEL 3 & 4

A-220.C

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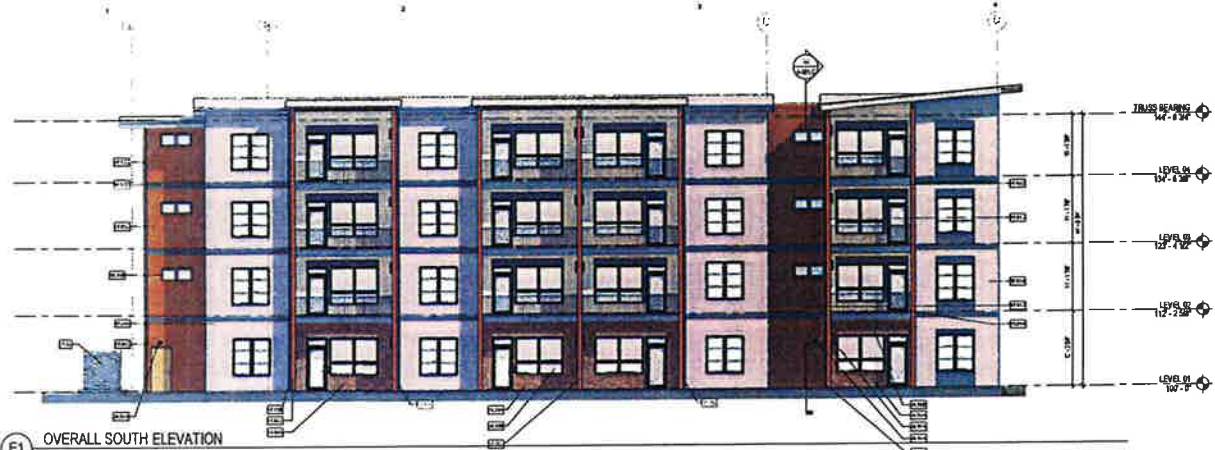
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 DRAWN BY: J. BOGGIO  
 CHECKED BY: J. BOGGIO  
 PROJECT MANAGER: J. BOGGIO  
 ARCHITECT: LANTZ BOGGIO ARCHITECTS & ENGINEERS  
 1811 Hillcrest Drive, Bellevue, NE 68005  
 (408) 438-3333

REVISIONS	
NO.	DESCRIPTION

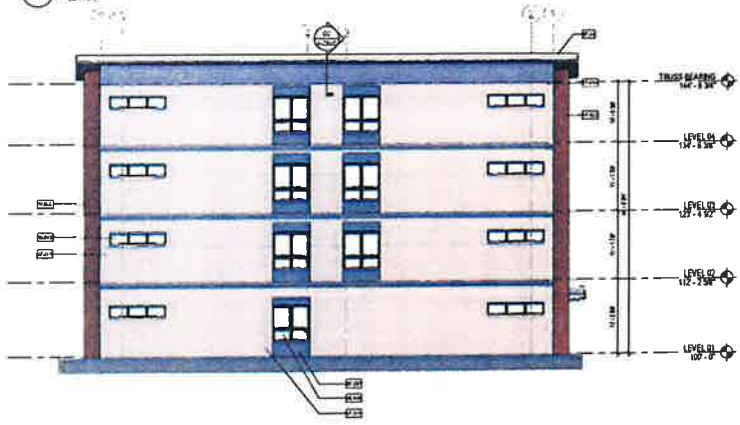
**EXTERIOR LIGHTING FIXTURE**

**LANDSCAPE**  
LANDSCAPE CONSULTANT: [Redacted]  
LANDSCAPE DESIGN: [Redacted]  
LANDSCAPE INSTALLATION: [Redacted]

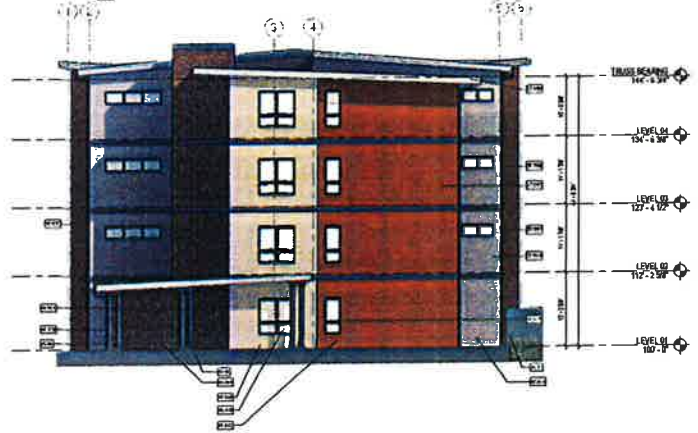
**EXTERIOR LIGHTING**  
EXTERIOR LIGHTING CONSULTANT: [Redacted]  
EXTERIOR LIGHTING DESIGN: [Redacted]  
EXTERIOR LIGHTING INSTALLATION: [Redacted]



E1 OVERALL SOUTH ELEVATION  
MP = 1/8"



B1 OVERALL EAST ELEVATION  
MP = 1/8"



B4 OVERALL WEST ELEVATION  
MP = 1/8"



A1 OVERALL NORTH ELEVATION  
MP = 1/8"

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JUN 18 2021  
PLANNING DEPT.

# FREEDOM VILLAGE BUILDING C

1811 HILLCREST DRIVE, BELLEVUE, NE 68005

Date	No.	Date	Description

Name / Title: \_\_\_\_\_  
 PROJECT: 1811 HILLCREST DRIVE, BELLEVUE, NE  
 DATE: 06/18/2021

PRELIMINARY

USA Project #	2021-1400
Client	
Drawn By	Autodesk
Checked By	Autodesk

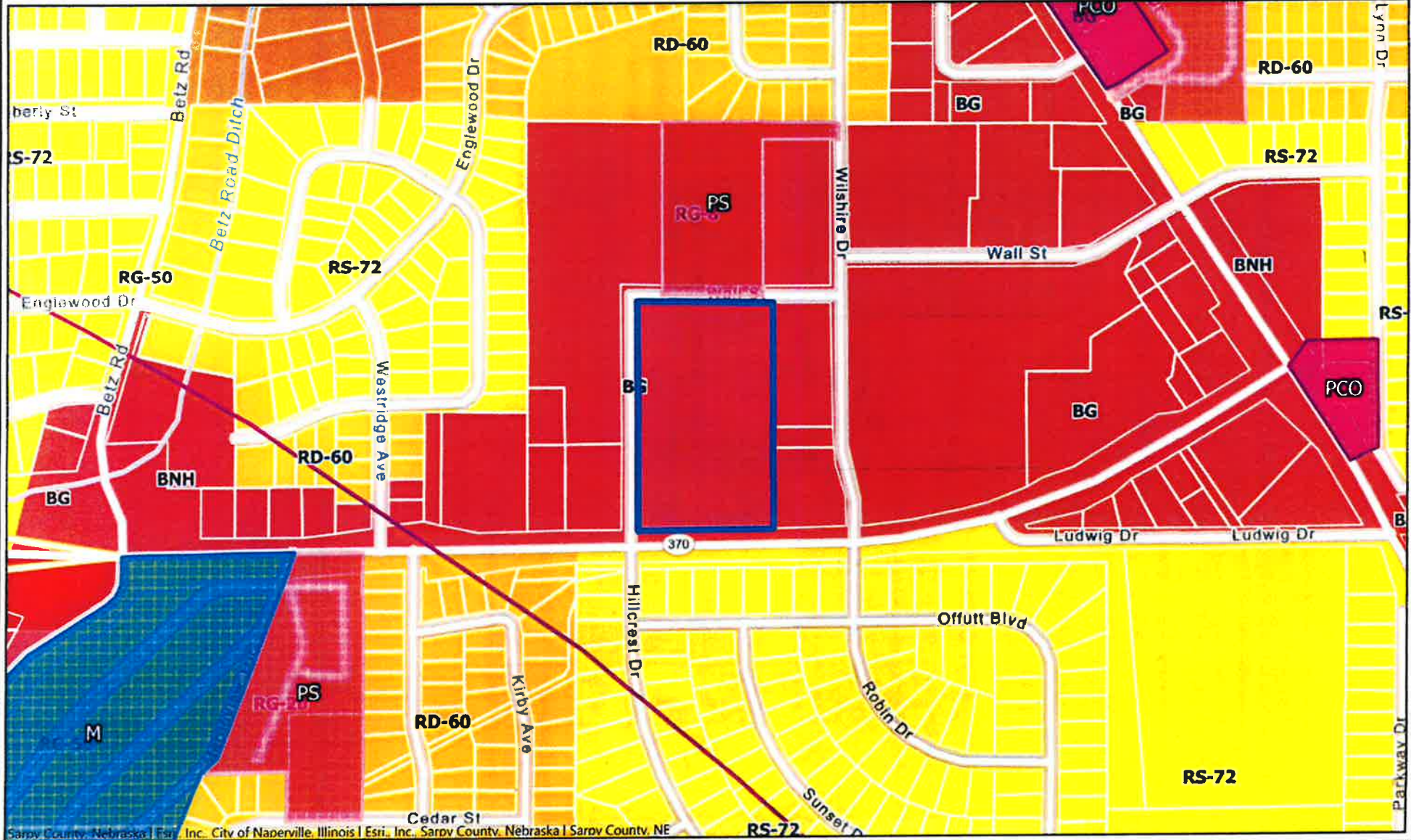
EXTERIOR ELEVATIONS

A-401.C

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DATE PLOTTED: 6/18/2021 10:23:18 PM  
 PLOT DATE / TIME: 6/18/2021 10:23:18 PM  
 USER: [Redacted]





Sarpy County, Nebraska | Esri, Inc. City of Naperville, Illinois | Esri, Inc. Sarpy County, Nebraska | Sarpy County, NE



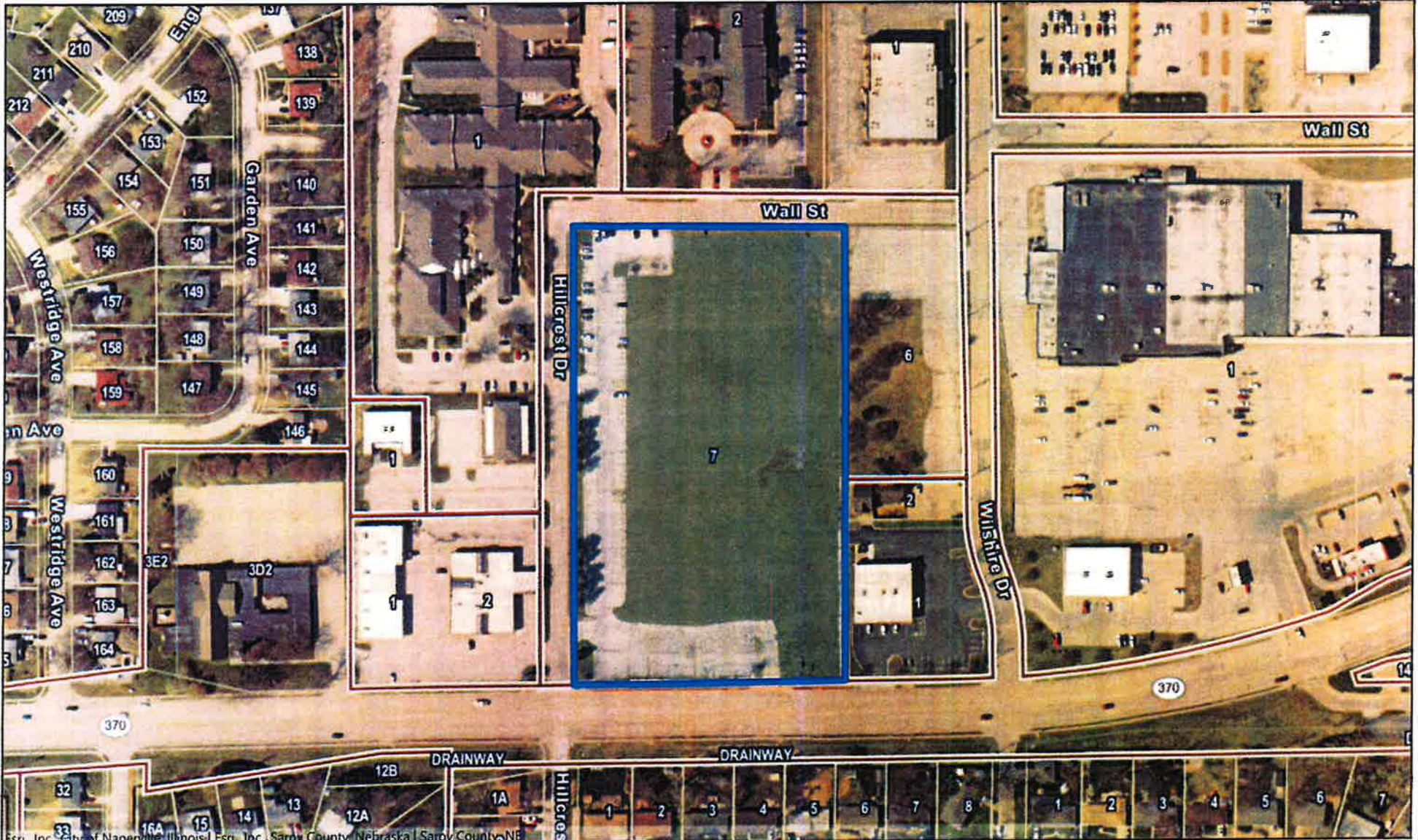
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Notes





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0 250 500 ft

Map Scale 1: 3185

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Notes



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Overall Site Plan

C0.1

SITE SUMMARY		
EXISTING ZONING: R3 PROPOSED ZONING: R3-28-PFS		
SITE DATA	REQUIRED	PROVIDED
TOTAL SITE SIZE	2,000 S.F. (112,000 S.F.)	4,100 S.F. (288,270 S.F.)
SETBACKS*	FRONTYARD - 20' REARYARD - 10' SIDEYARD - 10'	FRONTYARD - 51.4' (MIN) REARYARD - 91.4' (MIN) SIDEYARD - 15.1' (MIN) STREET YARD - 61.4' (MIN)
IMPERVIOUS COVERAGE	80% MAX.	60%
BUILDING HEIGHT	7'0"	48'-0" MAX (APPROX.)

\*PER R3 DISTRICT REQUIREMENTS.

- REMARKS:**
- THE SITE PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE (PCC) AS REQUIRED BY SITE. SITE SPECIFIC DESIGN IS PROVIDED FOR APPROVAL AS PROVIDED FOR IN BELLEVUE MUNICIPAL CODE APPENDIX A, ARTICLE 6.3.0. SUBPARAGRAPHS 2.
  - THE LIST OF AMENITIES FOR THIS SITE INCLUDE THE FOLLOWING:
    - RESIDUAL STRUCTURE
    - FIRE PIT
    - PORCH/SHELTER
    - BBO AREA
  - PERFORM GOOD PARK FOR USE BY THE RESIDENTS

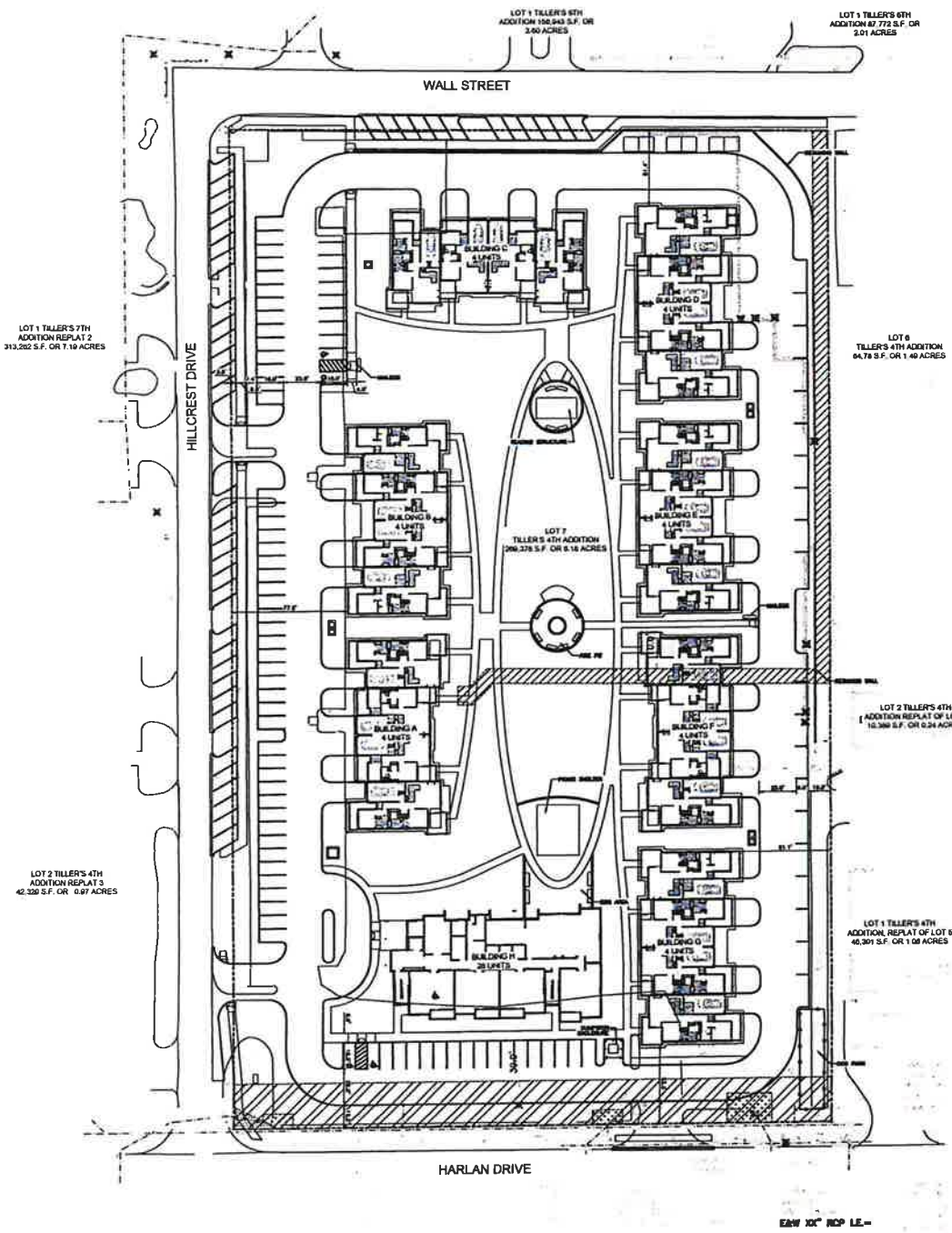
GARDEN HOME SUMMARY			
BUILDING NO.	TYPE	1 BED UNITS	2 BED UNITS
BUILDING A	TYPE A	0	4
BUILDING B	TYPE B	2	2
BUILDING C	TYPE A	0	4
BUILDING D	TYPE A	0	4
BUILDING E	TYPE B	2	2
BUILDING F	TYPE A	0	4
BUILDING G	TYPE B	2	2
TOTAL UNITS		28	28

APARTMENT UNIT BREAKDOWN (BUILDING H)	
TYPE	NUMBER OF UNITS
1 BEDROOM	28
TOTAL	28

PARKING SUMMARY	
STALL TYPE	STALLS
STANDARD STALLS	80
ADA STALLS	4
GARAGE STALLS	28
TANDEM STALLS (AT GARAGE)	28
TOTAL STALLS	132

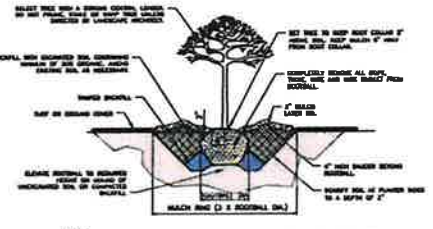
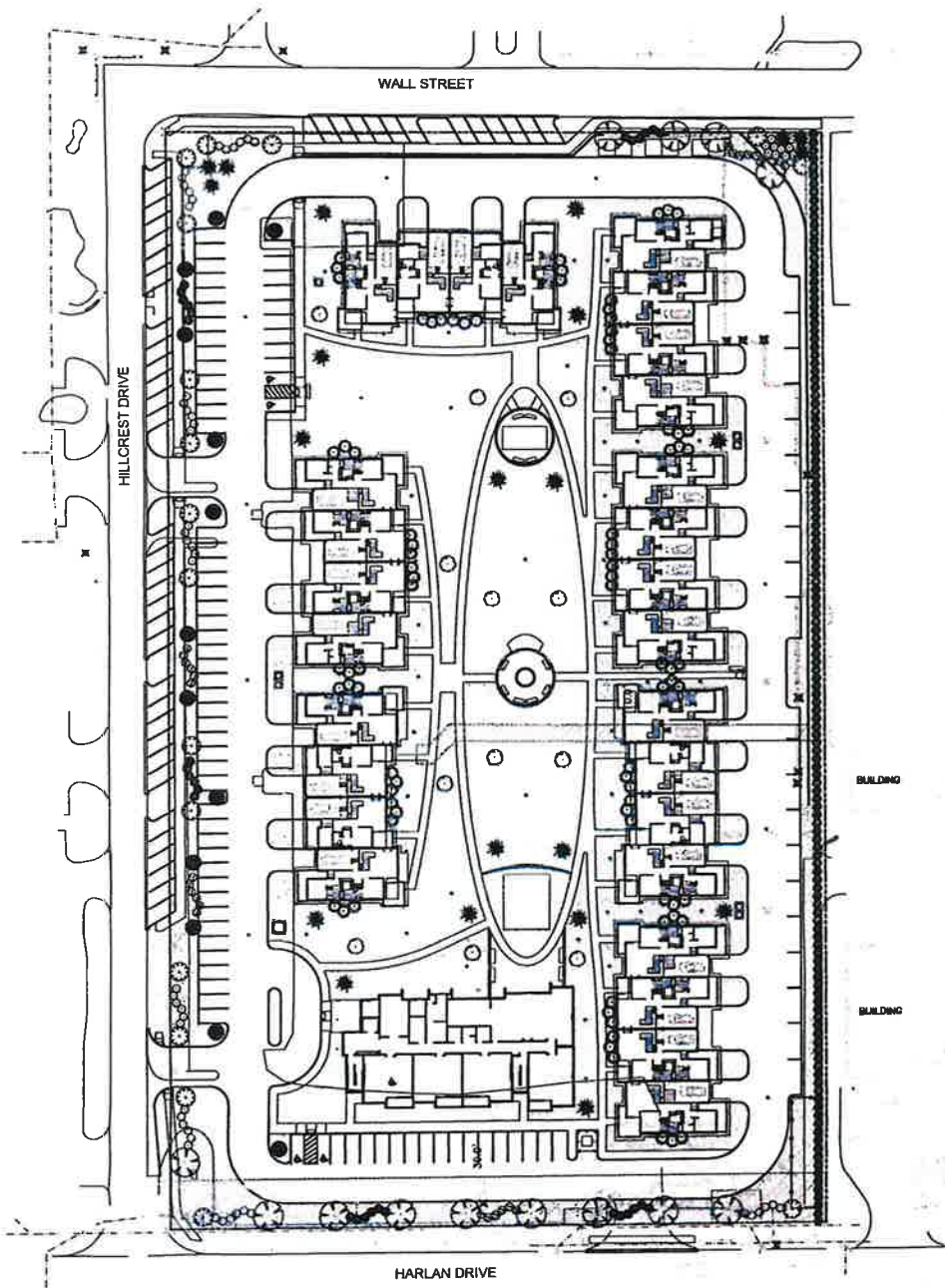
**PARKING REQUIREMENTS:**  
1 PER DWELLING = 18 STALLS  
2 PER APARTMENT = 58 STALLS  
TOTAL REQUIRED = 44 STALLS

EASEMENT LEGEND	
	EASEMENT GRANTED TO CHESAPEAKE PUBLIC UTILITIES COMPANY FOR THE INSTALLATION OF WATER MAINS AND SEWER LINES AS SHOWN ON THE SHEDD COUNTY RECORDS.
	EASEMENT GRANTED TO THE STATE OF NEBRASKA FOR THE INSTALLATION OF HIGHWAY RIGHTS-OF-WAY AS SHOWN ON THE SHEDD COUNTY RECORDS.
	EASEMENT GRANTED TO THE STATE OF NEBRASKA FOR THE INSTALLATION OF HIGHWAY RIGHTS-OF-WAY AS SHOWN ON THE SHEDD COUNTY RECORDS.

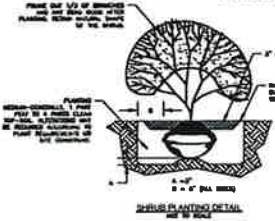


EAJ 100' ROP LE-

NOT FOR CONSTRUCTION



1. ALL SOIL USED AS BACKFILL SHALL BE AMENDED AS NECESSARY TO CORRECT SOIL ORGANIC MATTER.
2. PLANTING STAGES:  
 A. AMENDMENT BOTTOM THIRD OF BACKFILL, ROOTS AND TRUNK.  
 B. TRIM TREE AND PLANTS. TRIM BACKFILL TO STABILIZE.  
 C. COMPLETE REMOVAL OF ALL WIRE, BUMP, AND TRUNC.  
 D. FINISH BACKFILL AND WALKS.
3. STREET TREE PLANTING INSPECTION AND APPROVAL BY CITY OF OMAHA SHALL BE DONE IN TWO STAGES:  
 A) ESTABLISHMENT OF PLANTING AREA AND CONNECTION RELIEF TREATMENT PRIOR TO PLANTING AND BACKFILLING.  
 B) FINAL INSTALLATION AFTER PLANTING AND BACKFILLING.



LANDSCAPE TREE SCHEDULE							
QTY.	BOTANICAL NAME	COMMON NAME	PLANTING METHOD	SIZE @ PLANTING	SPACING	NATURE SPREAD	NATURE HEIGHT
<b>OVERSTORY DECIDUOUS TREES</b>							
13	ACER FRAXINUS 'AUTUMN GLAZE'	AUTUMN GLAZE MAPLE	BAB	2" CAL.	AS SHOWN	35'	40'
12	QUERCUS FLUMINUM	RED OAK	BAB	2" CAL.	AS SHOWN	50'	80'
<b>UNDERSTORY/ORNAMENTAL</b>							
18	ACER GRINOLA	AMUR MAPLE	BAB	2" CAL.	AS SHOWN	20'	20'
13	MALUS X PRAIRIFERAE	PRAIRIFER CRAB	BAB	2" CAL.	AS SHOWN	15'	20'
<b>CONIFEROUS TREE</b>							
22	PICEA GLAUCA DENSATA	BLACKHILLS SPRUCE	BAB	6" HT.	AS SHOWN	25'	50'
<b>DECIDUOUS SHRUBS</b>							
24	ARONIA ARBUTIFOLIA 'VIGILANTISSIMA'	RED CHOCBERRY	CONT.	3 GAL.	AS SHOWN	3'	7'
60	AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	3 GAL.	AS SHOWN	5'	6'
84	SPirea RETULIFOLIA 'TOR'	BIRCHLEAF SPirea	CONT.	3 GAL.	36" O.C.	3'	3'
<b>EVERGREEN SHRUBS</b>							
185	JUNIPERUS CHINENSIS 'MANEY'	MANEY JUNPER	CONT.	3 GAL.	6" O.C.	6'	3'

LANDSCAPE QUALITIES  
 - RETAINED LANDSCAPE AREA = 125 PROPOSED SHALES @ 18 SF/SHALE = 2,250 SF.  
 - TOTAL PROPOSED LANDSCAPE AREA = 12,681 SF.  
 12,681 SF. > 2,250 SF.

LANTZ-BOGGIO  
 Architects & Interior Designers  
 523 15th Street, Suite 200, Omaha, NE 68102  
 (402) 552-8800



FREEDOM VILLAGE  
 1811 HILLCREST DRIVE, BELLEVUE, NE 68005

Scale: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Design by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_

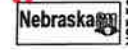
PRELIMINARY

LBA Project # 2000 2400  
 Date: \_\_\_\_\_  
 Design by: S. Green  
 Checked by: G. Hines

Landscaping Plan

L1.1

RECEIVED  
 JUL 08 2021  
 PLANNING DEPT.



NOT FOR CONSTRUCTION

ORDINANCE NO. 4046

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF BELLEVUE, NEBRASKA, AS PROVIDED FOR BY ARTICLE 3 OF ORDINANCE NO. 3619 BY CHANGING THE ZONE CLASSIFICATION OF LAND LOCATED AT OR ABOUT 1811 HILLCREST DRIVE, MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THE ORDINANCE AND TO PROVIDE AN EFFECTIVE DATE.

WHEREAS, having received a recommendation from the city of Bellevue Planning Commission and proper notice having been given and public hearing held as provided by law:

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That part of the official zoning map of the City of Bellevue, Nebraska, as provided in Article 3, of Ordinance No. 3619 is hereby amended to change the zone classification of the following described parcel of land:

Lot 7, Tiller's 4<sup>th</sup> Addition, located in the Northeast ¼ of Section 35, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska.

From BG (General Business) to RG-20-PS (General Residential – 2,000 Square Foot Zone – Planned Subdivision).

(Freedom Village, LLC)

Section 2. Except as amended herein, the official zoning map and the classification shown therein shall remain as heretofore existing.

Section 3. This ordinance shall take affect and be in force from and after its adoption and publication according to law.

ADOPTED by the Mayor and City Council this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

ATTEST

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

First Reading: 8/3/2021  
Second Reading: \_\_\_\_\_  
Third Reading: \_\_\_\_\_

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

13b.  
08/03/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

**SUBJECT:**

Request to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, from RG-50 to RG-20 and RG-50 for the purpose of a single-family residence and care facility for disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One. Applicant: Sharon Chaudhuri. General location: 8700 S 25th Street.

**SYNOPSIS/BACKGROUND:**

Sharon Chaudhuri submitted a request to rezone Lots 1 and 2, Harold Square Replat one, from RG-50 to RG-50 and RG-20 for the purpose of a single family residence for herself on Lot 2, and a care facility for young disabled adults (ages 18-34) on proposed Lot 1. The applicant is requesting RG-20 zoning for proposed Lot 1, while Lot 2 will remain zoned RG-50. The applicant has indicated the facility will be named Asha's House after her late daughter. The applicant will provide a day learning center, as well as overnight stays at Asha's House. She states the facility will be designed like a large single-family residence. This request is not for site plan approval. The conceptual site plan and architectural plans are for reference only. A small subdivision plat will be on the agenda when this ordinance has second reading.

FISCAL IMPACT:  BUDGETED FUNDS?: NO  GRANT/MATCHING FUNDS?: NO

**TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:**

IS THIS A CONTRACT?: NO  COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: NO

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

**RECOMMENDATION:**

The Planning Department and Planning Commission have recommended approval of this request.

**ATTACHMENTS:**

- |   |                         |                            |
|---|-------------------------|----------------------------|
| 1. Planning Commission Recommendation Sheet | 2. Staff Report         | 3. Rezoning Ordinance 4047 |
| 4. <input type="text"/>                     | 5. <input type="text"/> | 6. <input type="text"/>    |

**SIGNATURES:**

LEGAL APPROVAL AS TO FORM: \_\_\_\_\_

FINANCE APPROVAL AS TO FORM: \_\_\_\_\_

ADMINISTRATOR APPROVAL AS TO FORM: \_\_\_\_\_

*(Handwritten signatures)*

# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

APPLICANT: Sharon Chaudhuri  
CASE #'s: Z-2106-08, S-2106-14  
CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, from RG-50 to RG-20 and RG-50 for the purpose of a single-family residence and a care facility for disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One.

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

**APPROVAL** based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding neighbors.

VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Perrin
	Aerni						Cutsforth
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021

# CITY OF BELLEVUE PLANNING DEPARTMENT

## RECOMMENDATION REPORT # 2

**CASE NUMBERS:** Z-2106-08  
S-2106-14

**FOR HEARING OF:**  
**REPORT #1:** July 22, 2021  
**REPORT #2:** August 17, 2021

### **I. GENERAL INFORMATION**

#### **A. APPLICANT:**

Sharon Chaudhuri  
12054 Carpenter  
Papillion, NE 68046

#### **B. PROPERTY OWNERS:**

Farouq and Marlen Qaqish  
12316 Rose Lane  
Omaha, NE 68154

#### **C. GENERAL LOCATION:**

8700 South 25<sup>th</sup> Street

#### **D. LEGAL DESCRIPTION:**

Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, located in the NE ¼ of Section 21, T4N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska.

#### **E. REQUESTED ACTIONS:**

1. Rezone Lots 1 and 2, Harold Square Replat One, from RG-50 to RG-50 and RG-20.
2. Small Subdivision plat Lots 1 and 2, Harold Square Replat One.

#### **F. EXISTING ZONING AND LAND USE:**

RG-50, Vacant

**G. PURPOSE OF REQUEST:**

The applicant is requesting a change of zone and small subdivision plat to facilitate the construction of a single family residence, as well as a care facility for young disabled adults.

**H. SIZE OF SITE:**

The site is approximately 5.8 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:**

The site is presently vacant and covered in vegetation.

**B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

1. **North:** Duplex Residential, RD-60
2. **East:** Single Family Residential, RS-72
3. **South:** Single Family Residential, RS-72
4. **West:** Single Family Residential (across S 25<sup>th</sup> St), RE

**C. REVELANT CASE HISTORY:**

On July 22, 2021, the Planning Commission recommended APPROVAL of a request to rezone Lots 1 and 2, Harold Square Replat One, being a replat of Lot 49, Harold Square, located in the Northeast ¼ of Section 21, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska, from RG-50 to RG-50 and RG-20 for the purpose of construction of a single family residence, as well as a care facility for young disabled adults; and small subdivision plat Lots 1 and 2, Harold Square Replat One.

**D. APPLICABLE REGULATIONS:**

1. Section 5.12, Zoning Ordinance, regarding RG-50 uses and requirements.
2. Section 5.14, Zoning Ordinance, regarding RG-20 uses and requirements.
3. Chapter 5, Subdivision Regulations, regarding small subdivisions.

### **III. ANALYSIS**

#### **A. COMPREHENSIVE PLAN:**

The Future Land Use Map of the Comprehensive Plan designates this property as medium density residential.

#### **B. OTHER PLANS:**

None

#### **C. TRAFFIC AND ACCESS:**

1. There is no MAPA traffic data information available for this area.
2. The property has access from South 25<sup>th</sup> Street.

#### **D. UTILITIES:**

All utilities are available to this property.

#### **E. ANALYSIS:**

1. Sharon Chaudhuri has submitted a request to small subdivision plat Lots 1 and 2, Harold Square Replat One.
2. The applicant is also requesting to rezone Lots 1 and 2, Harold Square Replat One. The property is presently zoned RG-50.

The applicant is requesting RG-20 zoning for proposed Lot 1, while Lot 2 will remain zoned RG-50.

3. Ms. Chaudhuri wishes to construct a single family residence for herself on proposed Lot 2. She wants to build a care facility for young disabled adults (ages 18-34) on proposed Lot 1. The applicant has indicated this facility will be named Asha's House after her late daughter. The intent of this facility is "to give parents an opportunity to refresh themselves while their loved one enjoys time socializing with others their age." The applicant has established a non-profit for Asha's House. Ms. Chaudhuri will provide a day learning center, as well as overnight stays at Asha's House. She states the facility will be designed like a large single-family residence. Please refer to Ms. Chaudhuri's attached letter and architectural plans.
4. This request is not for site plan approval. The conceptual site plan and architectural plans are for reference only. Staff will complete a full review of items such as access, parking, setbacks, and architectural design standards upon submittal of a building permit.

5. The proposed lots meet the minimum requirements for their intended zoning districts.

6. This application was sent out for review by the following departments and individuals: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, Sarpy County Planning Director, Sarpy County Public Works Department, and the Omaha Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Public Works Engineer Matt Knight requested minor technical revisions to the plat. These revisions have since been made by the applicant's surveyor.

No other comments were received in this case.

7. This property was platted in 1973. It has likely remained vacant due to a 75' wide OPPD easement which cuts through the property, thereby making development difficult.

With the platting and proposed layout of the property, the buildings will front and take access from South 25<sup>th</sup> Street. This property has no access through the adjacent neighborhood.

8. The Future Land Use Map of the Comprehensive Plan designates this area as medium density residential. While the requested RG-50 zoning is compatible with the Future Land Use Map, a change to RG-20 zoning will require an amendment.

**F. TECHNICAL DEFICIENCIES:**

None

**IV. DEPARTMENT RECOMMENDATION**

APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding area.

**V. PLANNING COMMISSION RECOMMENDATION**

APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, as well as lack of perceived negative impact upon the surrounding neighbors.

**VI. ATTACHMENTS TO REPORT**

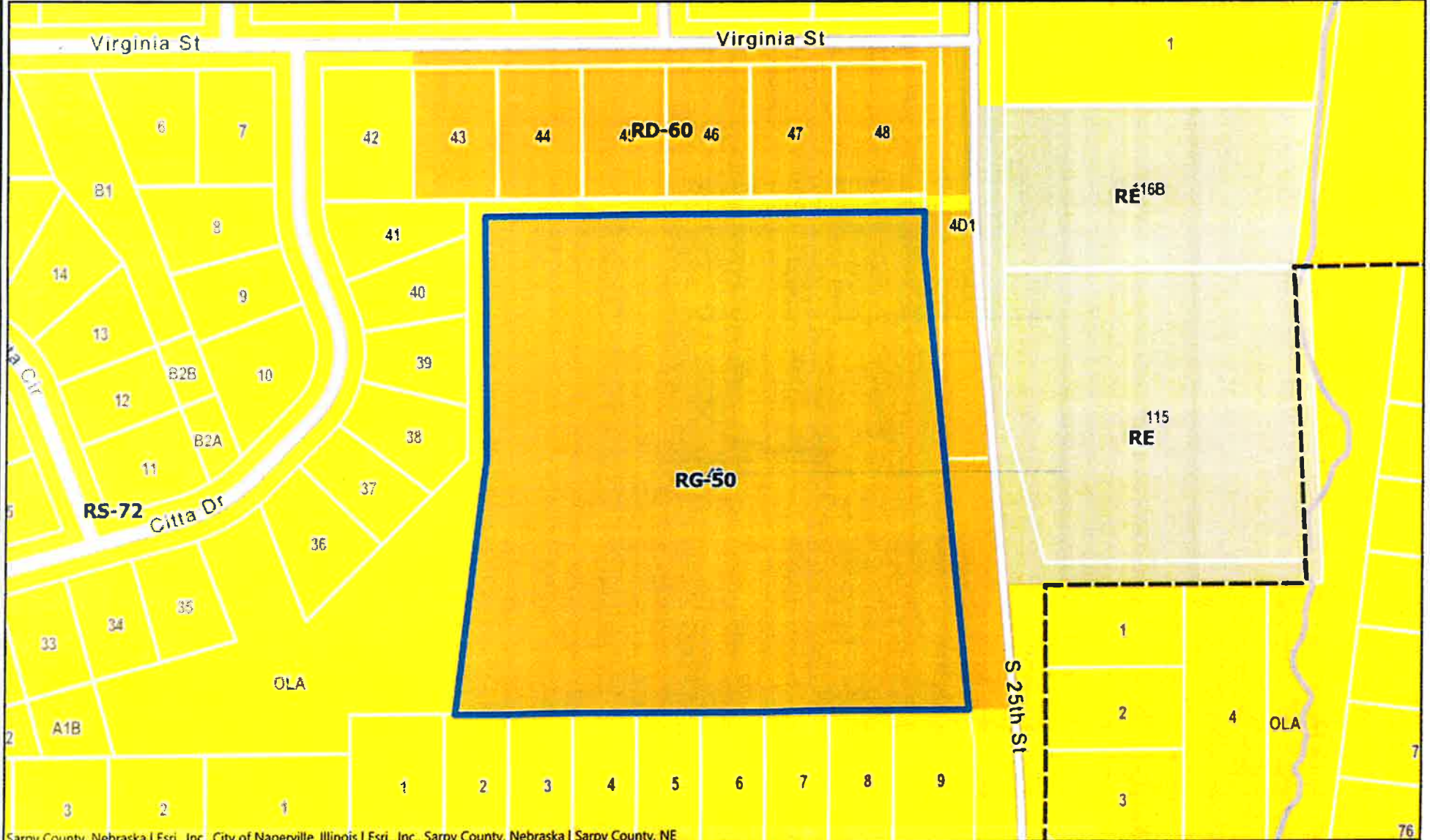
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Small Subdivision plat received July 14, 2021
4. Letter from the applicant received June 17, 2021
5. Conceptual site plan received June 17, 2021
6. Architectural rendering received June 17, 2021
7. Email from Christine Anderson received July 14, 2021

**VII. COPIES OF REPORT TO:**

1. Sharon Chaudhuri
2. TD2, Chris Dörner
3. Public Upon Request

\_\_\_\_\_  
Prepared by:

\_\_\_\_\_  
Assistant Planning Manager: Date of Report



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE

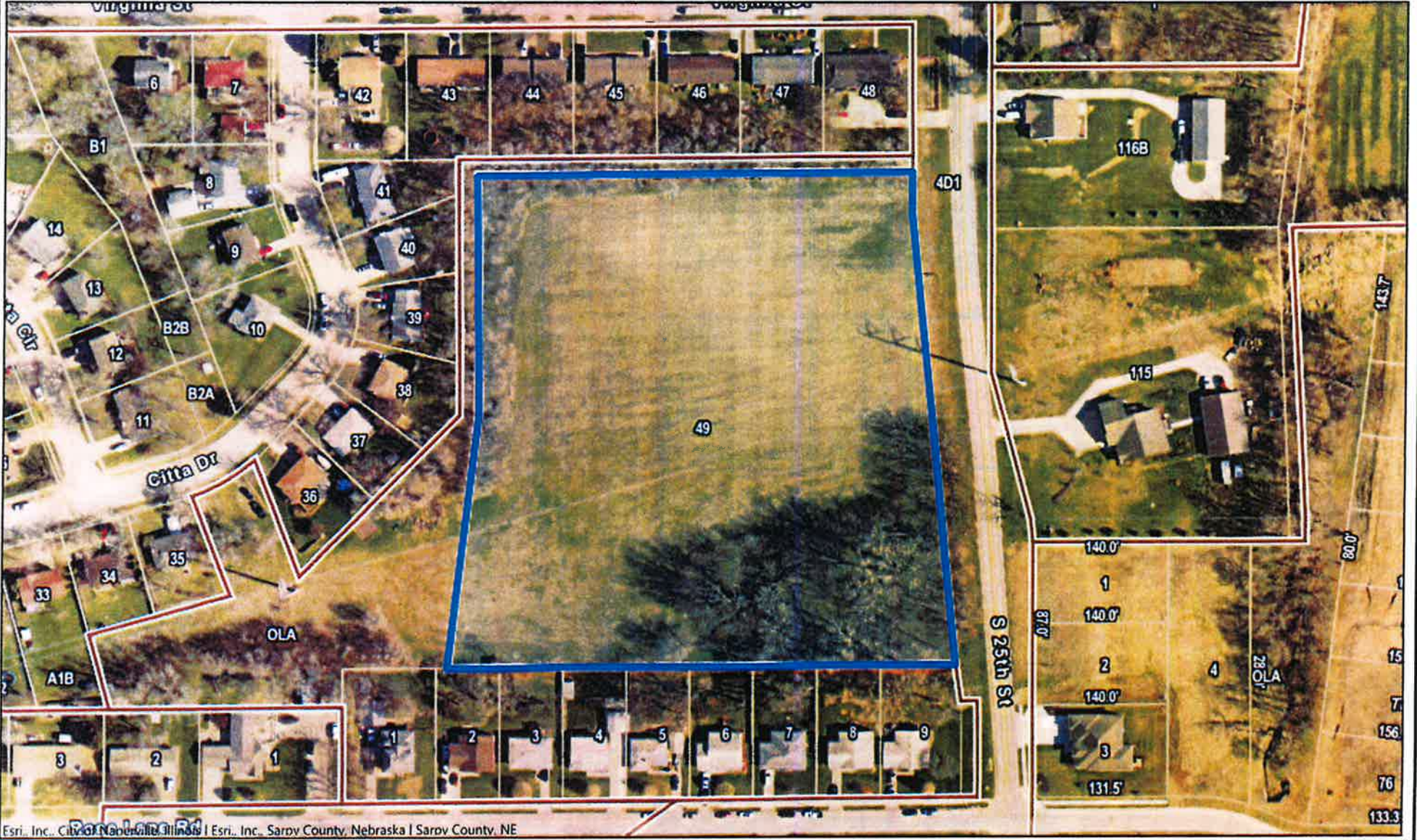
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Map Scale 1: 2257

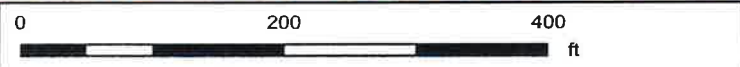
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Notes

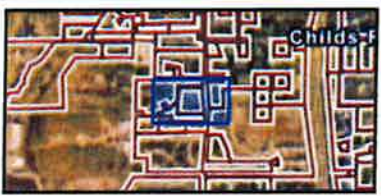


Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



# HAROLD SQUARE REPLAT ONE

## LOTS 1 AND 2

BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA,  
LOCATED IN THE NE 1/4 OF SECTION 21, T14N, R13E OF THE 6th P.M. SAID SARPY COUNTY.

RECEIVED

JUL 14 2021

PLANNING DEPT.

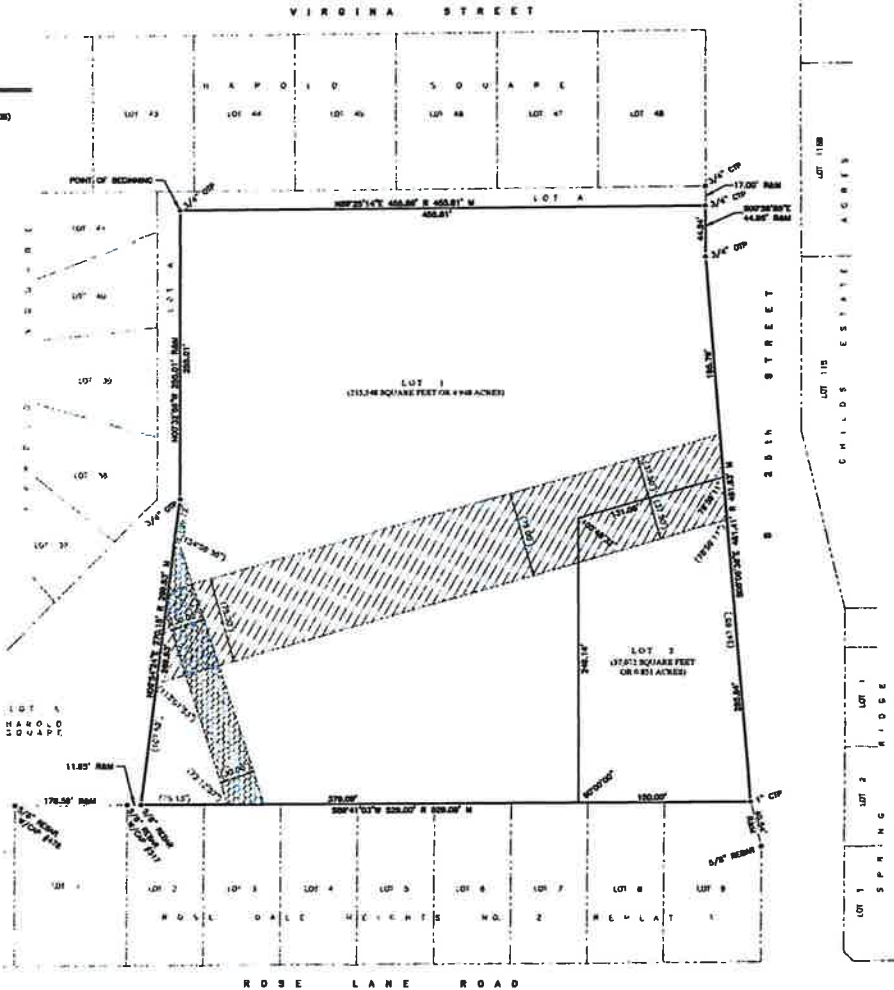


thompson, dressman & dornier, inc.  
10836 Old Mill Rd  
Omaha, NE 68154  
p.402.330.8860 f.402.330.5866  
td2co.com

NOTE:  
1. DIMENSIONS AND ANGLES IN PARENTHESES  
PERTAIN TO EASEMENTS.

30 FOOT WIDE SANITARY AND DRAINAGE EASEMENT  
RECORDED AS SHOWN ON THE FINAL PLAT OF HAROLD  
SQUARE RECORDED IN BOOK 5 AT PAGE 97 OF THE  
SARPY COUNTY RECORDS.  
OMAHA PUBLIC POWER DISTRICT EASEMENT RECORDED IN  
BOOK 50 AT PAGE 514 AND AS SHOWN ON THE  
FINAL PLAT OF HAROLD SQUARE RECORDED IN BOOK 5  
AT PAGE 97 BOTH OF THE SARPY COUNTY RECORDS.

- LEGEND**
- CORNERS FOUND
  - CORNERS SET (3/8" REBAR W/CAP #308)
  - R RECORDED DISTANCE
  - M MEASURED DISTANCE
  - OTF OPEN TOP PIPE
  - CTP CRIMPED TOP PIPE



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE SUBDIVISION DESCRIBED HEREIN WAS MADE UNDER MY DIRECT SUPERVISION AND THAT PERMANENT MARKERS HAVE BEEN FOUND OR SET AT ALL CORNERS OF SAID BOUNDARY AND AT ALL LOT CORNERS WITHIN SAID SUBDIVISION TO BE KNOWN AS HAROLD SQUARE REPLAT ONE, LOTS 1 AND 2, BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, BEGINNING AT THE NW CORNER OF SAID LOT 49:

- THENCE N05°25'14"E (ASSUMED BEARING) 455.81 FEET ON THE NORTH LINE OF SAID LOT 49 TO THE NE CORNER THEREOF;
  - THENCE S02°28'35"E 44.86 FEET ON THE EAST LINE OF SAID LOT 49;
  - THENCE S05°08'36"E 481.83 FEET ON THE EAST LINE OF SAID LOT 49 TO THE SE CORNER THEREOF;
  - THENCE S89°41'03"W 528.09 FEET ON THE SOUTH LINE OF SAID LOT 49 TO THE SW CORNER THEREOF;
  - THENCE N05°54'24"E 268.93 FEET ON THE WEST LINE OF SAID LOT 49;
  - THENCE N07°32'58"W 250.01 FEET ON THE WEST LINE OF SAID LOT 49 TO THE POINT OF BEGINNING.
- CONTAINING 252,820 SQUARE FEET OR 5.799 ACRES

JUNE 8, 2021  
DATE



JAMES D. WARNER  
NEBRASKA RLS #308

**DEDICATION**

KNOW ALL MEN BY THESE PRESENTS: THAT I, SHARON CHAUMONIN, BEING THE OWNER OF THE LAND DESCRIBED WITHIN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO LOTS, TO BE NUMBERED AS SHOWN SAID SUBDIVISION TO BE HEREAFTER KNOWN AS HAROLD SQUARE REPLAT ONE, AND WE DO HEREBY BARELY AND APPROVE OF THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT AND WE DO HEREBY GRANT PERPETUAL EASEMENTS TO OMAHA PUBLIC POWER DISTRICT (OPPD), CENTURYLINK AND COX COMMUNICATIONS ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE FRONT AND SIDE BOUNDARY LOT LINES AND AN EIGHT (8) FOOT WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES.

PERPETUAL EASEMENTS ARE HEREBY GRANTED TO METROPOLITAN UTILITIES DISTRICT AND/OR BLACK HILLS ENERGY, THEIR SUCCESSORS AND ASSIGNS TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND REPAIR PIPELINES, HYDRANTS AND OTHER RELATED FACILITIES AND TO EXTEND THEREIN PIPES FOR THE TRANSMISSION OF GAS AND WATER ON, THROUGH, UNDER AND ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE STREET.

NO PERMANENT BUILDINGS OR RETAINING WALLS SHALL BE PLACED IN SAID EASEMENT STRIPS, BUT THE SAME MAY BE USED FOR GARDENS, SWINGS, LANDSCAPING, SIDEWALKS, DRIVWAYS AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID OR RIGHTS HEREBY GRANTED.

SHARON CHAUMONIN

**ACKNOWLEDGEMENT OF NOTARY**

STATE OF NEBRASKA)  
COUNTY OF SARPY)  
THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021 BY SHARON CHAUMONIN.

NOTARY PUBLIC

**SARPY COUNTY TREASURER'S CERTIFICATE**

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT AS SHOWN ON THE RECORDS OF THIS OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

SARPY COUNTY TREASURER



**APPROVAL OF BELLEVUE CITY COUNCIL**

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE CITY COUNCIL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

SUSAN KLUTHE, CITY CLERK

RUSTY HIRE, MAYOR

**APPROVAL OF BELLEVUE PLANNING COMMISSION**

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

CHAIRMAN

**REVIEW BY SARPY COUNTY PUBLIC WORKS**

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYORS OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

SARPY COUNTY SURVEYOR/ENGINEER

HAROLD SQUARE REPLAT ONE  
LOTS 1 AND 2



**Revision Dates**

Rev.	Description	MM-DD-YY

Job No.: B1436-21-5B  
Drawn By: RJR  
Reviewed By: JDW  
Date: JUNE 8, 2021  
Book: 21/03  
Pages: 31-33

Sheet Title

CITY OF BELLEVUE  
FINAL PLAT

Sheet Number

SHEET 1 OF 1

To the Bellevue City Council Members RE:Parcel at 8700 S. 25<sup>th</sup> Street,

On December 27, 2018, my 25-year-old daughter, Asha, was called home to be with the Lord after she was accidentally trapped in our home elevator. Asha was born with a condition called “cavernous malformation” which are lesions located in her mid-brain. Asha underwent several surgical procedures as well as major brain operations leaving her with vision and hearing impairments. A brain bleed in 2013 rendered her wheelchair bound. Asha suffered a great deal, but never giving up on the ideal of walking again or her love for Christ.

I have a desire to honor her life while meeting a need I discovered while caring for my daughter. The vision for Asha’s house came out of my own frustration. While caring for Asha, I was never successful at finding a place where she could feel like she belonged and enjoy the company of people in similar life situations. I also found it impossible to find a caring, safe environment where I could entrust Asha’s care whenever I needed respite as her caregiver. In Asha’s House, I want to give parents an opportunity to refresh themselves while their loved one enjoys time socializing with others their age.

Our mission is to support parents and caregivers of young disabled adults (18-34) years of age. Asha’s House is a non-profit 501(3C) which is already in place. We have an active board of directors with a heart for the disabled. I’ve been looking for the perfect location for over a year and I feel that the location at 8700 S. 25<sup>th</sup> Street is it. Our ministry is helping these young disabled adults find “A PLACE TO BELONG”. We want the residents to feel like they are on a retreat with their friends. We have plans in place for a 5200+ FSF single story seven-bedroom home will be set up like any other single-family home. Asha’s House will accommodate up to seven guests on weekends from Friday 3:00 pm to Sunday 3:00 pm. Monday – Friday Asha’s Day Learning Center will accommodate up to eight students from 8 am – 3:30 pm.

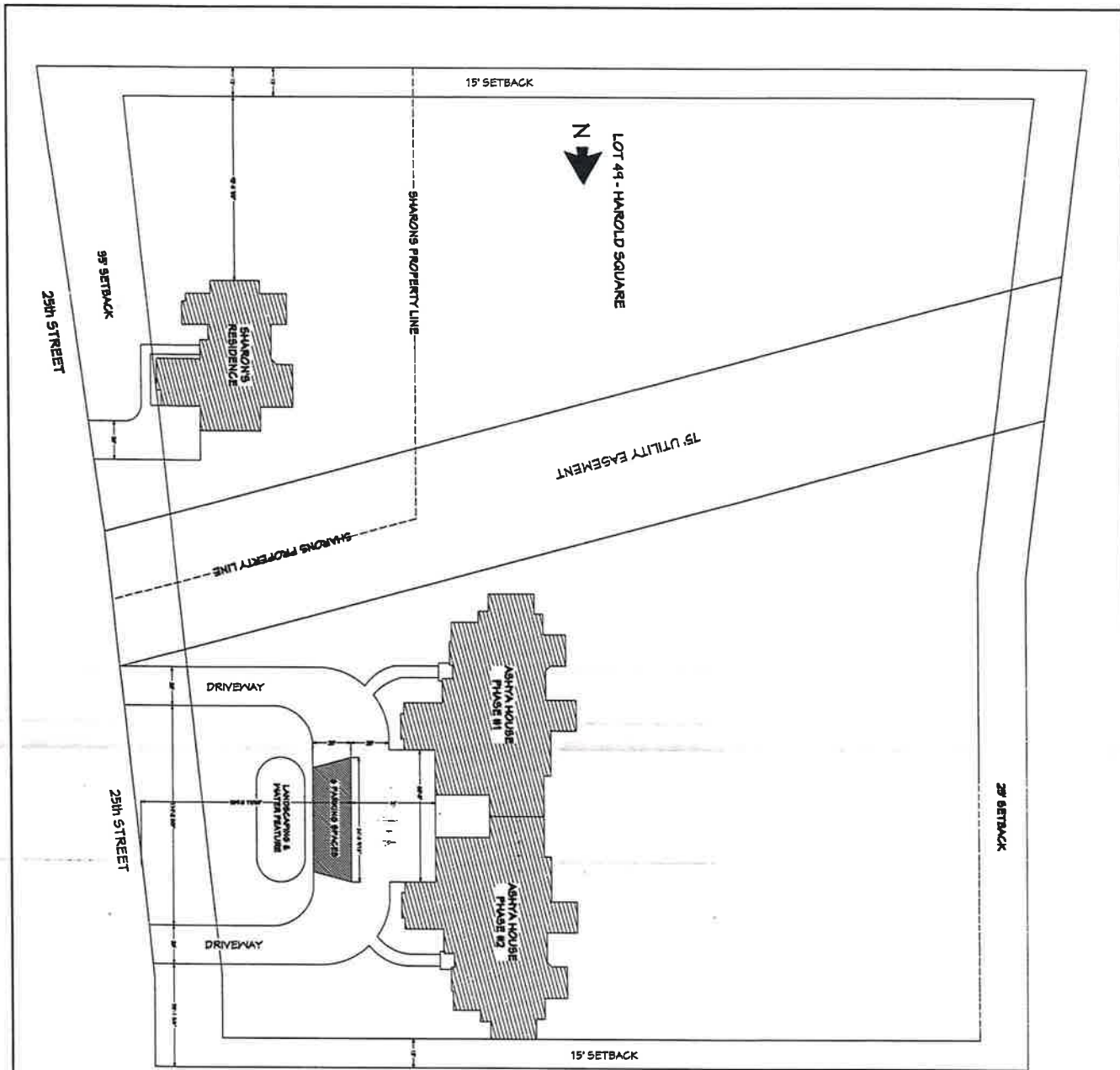
As I understand it, the current zoning of RG-50 does not allow for overnight guests. Therefore, I am asking for a rezoning of the Asha’s House parcel to RG-20 to accommodate my plans for the facility. I will be needing to separate the original 5.82 parcel in order to have two separate legal descriptions as I will be building my personal administrative house on site. This is a requirement of the 501(3C). Please see the Offer to Purchase Offer and the other supporting documents and feel free to contact me with any questions. Thank you, in advance, for your consideration.

Sharon Chaudhuri  
President/Founder

Please visit our website for more information, floor plans and artist renderings:

[www.ashashouse.org](http://www.ashashouse.org)

RECEIVED  
JUN 17 2021  
PLANNING DEPT.



RECEIVED  
 JUN 17 2021  
 PLANNING DEPT.

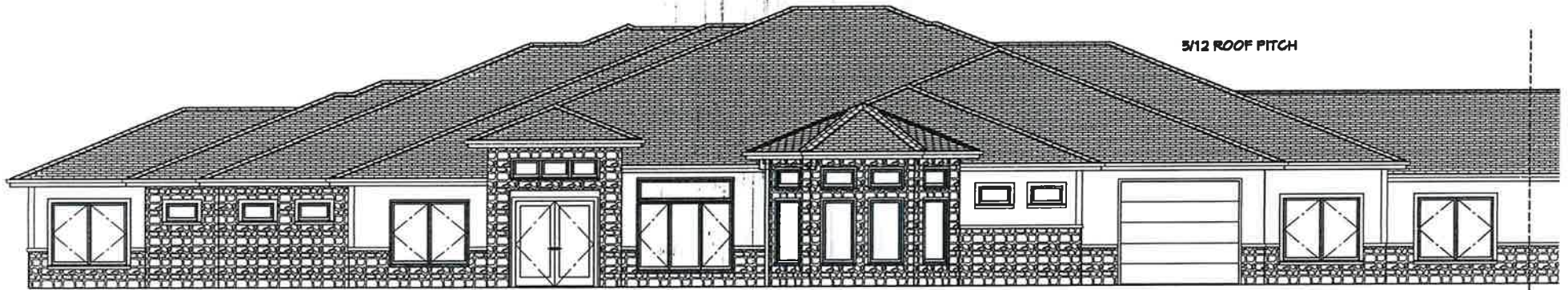
6 of 6 SHEETS	PRELIMINARY	✓/✓
	PRELIMINARY	✓/✓
	FINAL DRAFT	✓/✓
	REVISED	✓/✓
	REVISED	✓/✓

INITIALS:

THE "AYSHA" HOUSE  
 LOT TBD

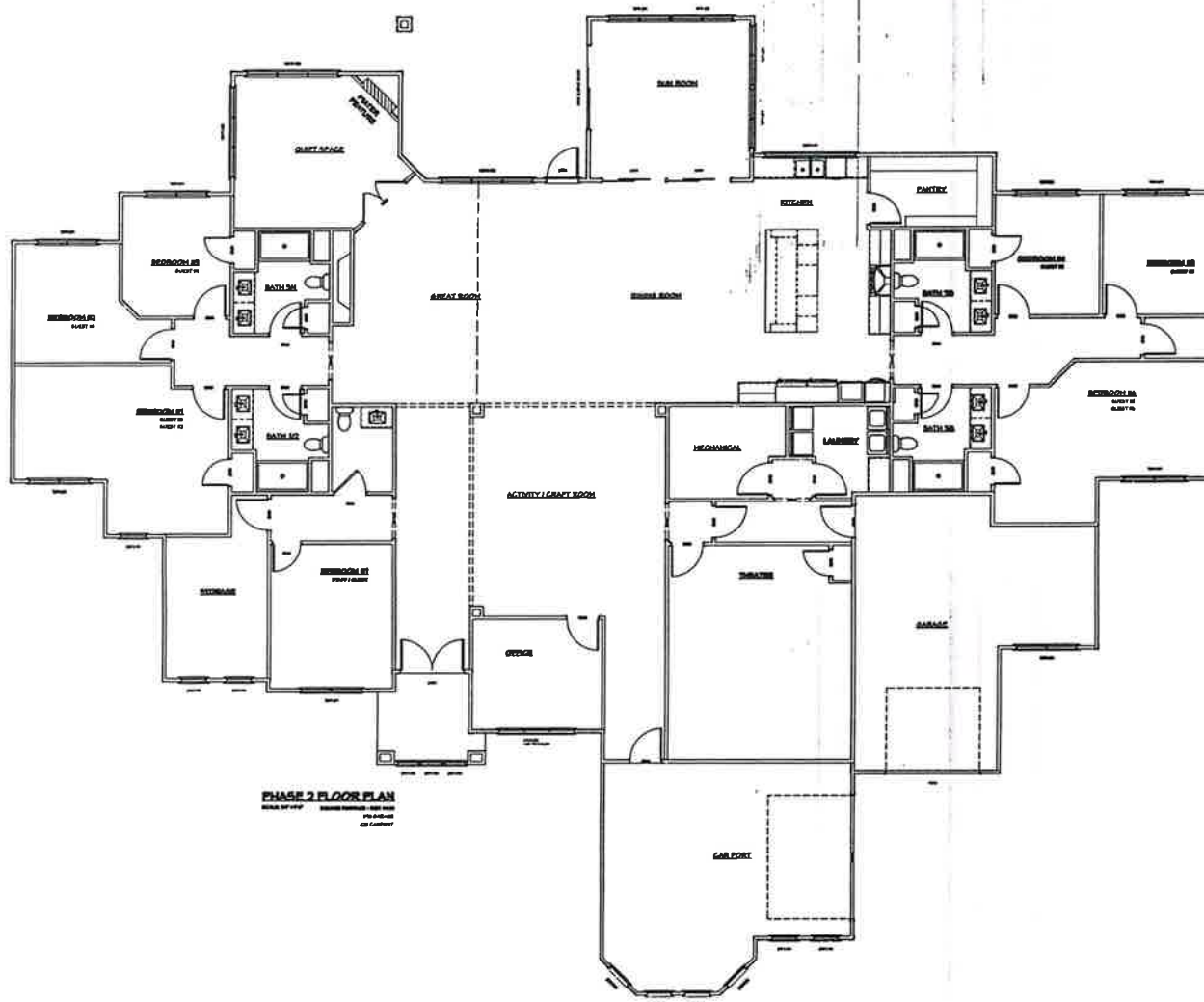
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5/12 ROOF PITCH

**FRONT ELEVATION PHASE 1**  
SCALE 3/8" = 1'-0"



**PHASE 2 FLOOR PLAN**  
SCALE 3/8" = 1'-0"  
DATE: 06/17/21  
DRAWN BY: [Name]  
CHECKED BY: [Name]

RECEIVED  
JUN 17 2021  
PLANNING DEPT.

## Tammi Palm

---

**From:** Christine Anderson <cranderson63@yahoo.com>  
**Sent:** Wednesday, July 14, 2021 7:41 PM  
**To:** Tammi Palm  
**Subject:** Proposed Care Facility

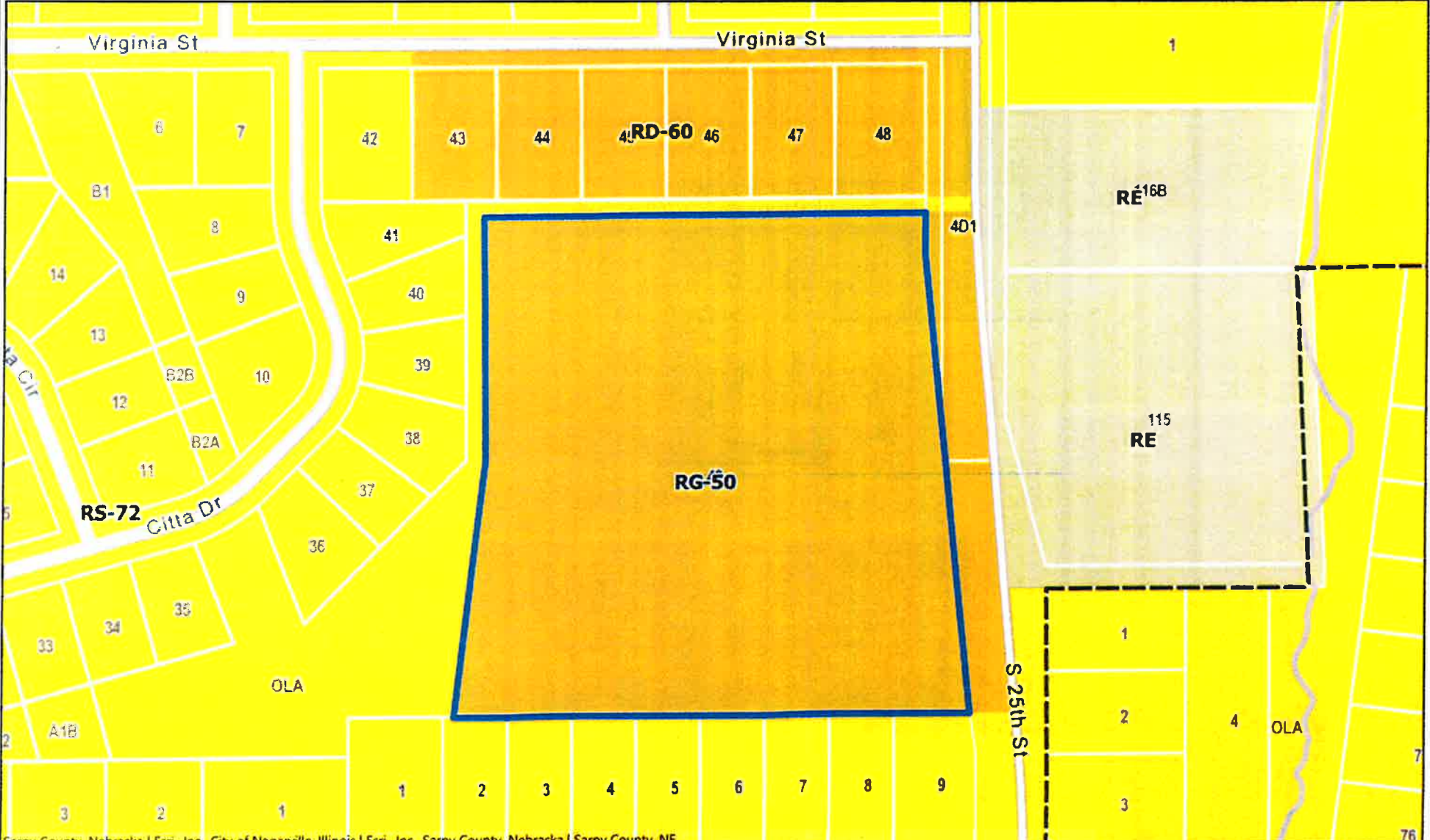
Ms. Palm,

I am writing about the rezoning of lots at 8700 South 25th street. I have researched the project on applicant Sharon Chaudhuri's website, Asha's House, and understand how important this project is to her and the people she wishes to help. However, the area off of 25th street doesn't seem to be the most appropriate location for this facility. This is mostly a residential area. I would assume there would be a more commercial area for it to be located. Having grown up in the area, I always thought nothing could be built under the power lines. There are numerous empty buildings and lots throughout both Sarpy and Douglas counties that may be a better fit. Traffic on 25th street has already doubled even tripled in the last 10 years with the Habitat for Humanity houses along Rose Lane and the new subdivisions east of 25th to Cornhusker Road. Please consider another area for this facility. Thank you.

Very Respectfully,

Christine Anderson

RECEIVED  
JUL 14 2021  
PLANNING DEPT.



Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska | Sarpy County, NE

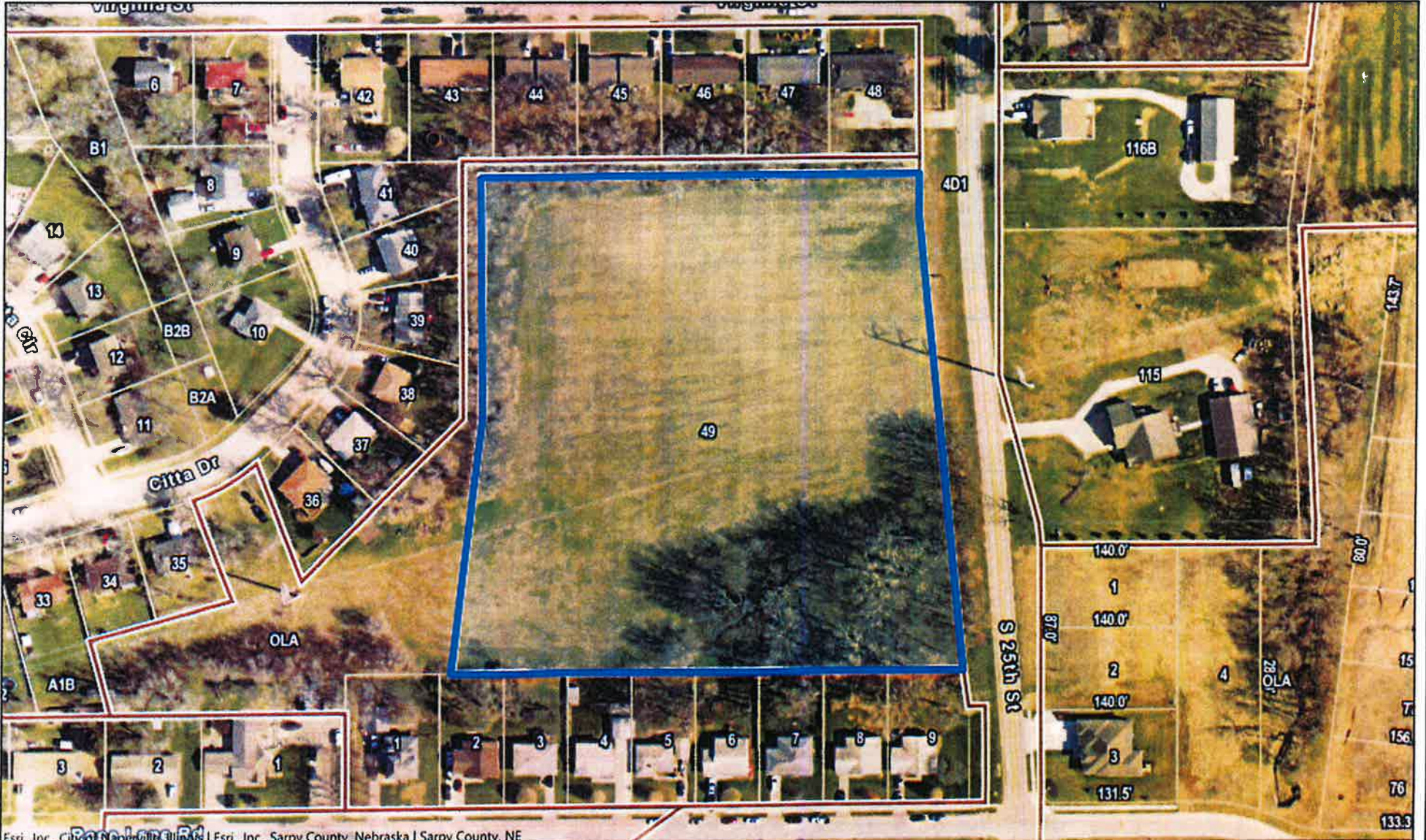
0 200 400 ft

Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes

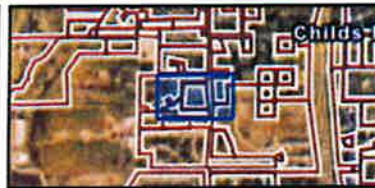


Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



ORDINANCE NO. 4047

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF BELLEVUE, NEBRASKA, AS PROVIDED FOR BY ARTICLE 3 OF ORDINANCE NO. 3619 BY CHANGING THE ZONE CLASSIFICATION OF LAND LOCATED AT OR ABOUT 8700 SOUTH 25<sup>TH</sup> STREET, MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THE ORDINANCE AND TO PROVIDE AN EFFECTIVE DATE.

WHEREAS, having received a recommendation from the city of Bellevue Planning Commission and proper notice having been given and public hearing held as provided by law:

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That part of the official zoning map of the City of Bellevue, Nebraska, as provided in Article 3, of Ordinance No. 3619 is hereby amended to change the zone classification of the following described parcel of land:

Lot 1, Harold Square Replat One, located in the Northeast  $\frac{1}{4}$  of Section 21, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska.

From RG-50 (General Residential - 5,000 Square Foot Zone) to RG-20 (General Residential - 2,000 Square Foot Zone); AND

Lot 2, Harold Square Replat One, located in the Northeast  $\frac{1}{4}$  of Section 21, T14N, R13E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska.

From RG-50 (General Residential - 5,000 Square Foot Zone) to RG-50 (General Residential - 5,000 Square Foot Zone).

(Sharon Chaudhuri)

Section 2. This ordinance shall not take effect until such time as the final plat of Harold Square Replat One is filed with the Sarpy County Register of Deeds in accordance with Section 5-10 of the City of Bellevue Subdivision Regulations.

Section 3. Except as amended herein, the official zoning map and the classification shown therein shall remain as heretofore existing.

Section 4. This ordinance shall take affect and be in force from and after its adoption and publication according to law.

ADOPTED by the Mayor and City Council this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

ATTEST

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

First Reading: 08/03/2021

Second Reading: \_\_\_\_\_

Third Reading: \_\_\_\_\_

# HAROLD SQUARE REPLAT ONE

## LOTS 1 AND 2

BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA, LOCATED IN THE NE 1/4 OF SECTION 21, T14N, R13E OF THE 6th P.M. SAID SARPY COUNTY.

RECEIVED

JUL 14 2021

PLANNING DEPT.

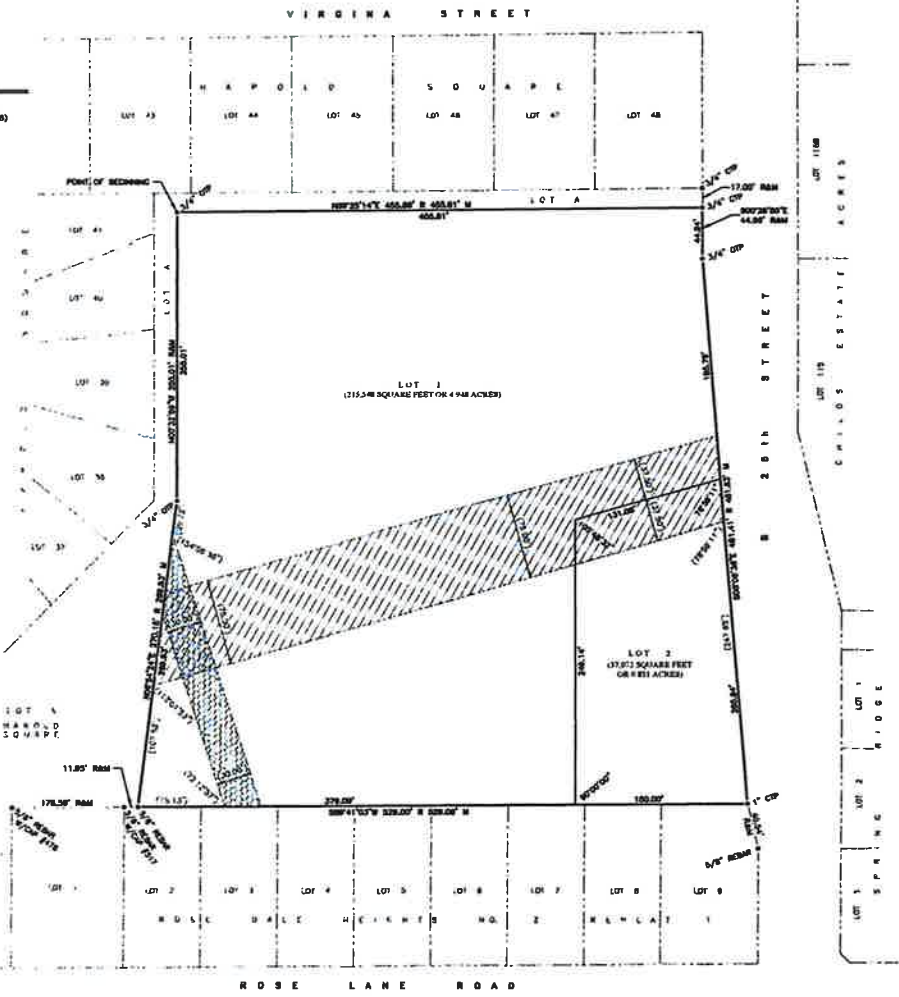


Shompson, Dressen & Dorner, Inc.  
10836 Old Mill Rd  
Omaha, NE 68154  
p. 402.330.8860 f. 402.330.5886  
td2co.com

**NOTE:**  
1. DIMENSIONS AND ANGLES IN PARENTHESES PERTAIN TO EASEMENTS.

30 FOOT WIDE SANITARY AND DRAINAGE EASEMENT RECORDED AS SHOWN ON THE FINAL PLAT OF HAROLD SQUARE RECORDED IN BOOK 5 AT PAGE 97 OF THE SARPY COUNTY RECORDS.  
OMAHA PUBLIC POWER DISTRICT EASEMENT RECORDED IN MISC. BOOK 50 AT PAGE 314 AND AS SHOWN ON THE FINAL PLAT OF HAROLD SQUARE RECORDED IN BOOK 5 AT PAGE 97 BOTH OF THE SARPY COUNTY RECORDS.

- LEGEND**
- CORNERS FOUND
  - CORNERS SET (3/8" REBAR W/ CAP #308)
  - R RECORDED DISTANCE
  - M MEASURED DISTANCE
  - OTF OPEN TOP PIPE
  - CTP CHAMPED TOP PIPE



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE SUBDIVISION DESCRIBED HEREIN WAS MADE UNDER MY DIRECT SUPERVISION AND THAT PERMANENT MARKERS HAVE BEEN FOUND OR SET AT ALL CORNERS OF SAID BOUNDARY AND AT ALL LOT CORNERS WITHIN SAID SUBDIVISION TO BE KNOWN AS HAROLD SQUARE REPLAT ONE, LOTS 1 AND 2, BEING A REPLATTING OF LOT 49, HAROLD SQUARE, A SUBDIVISION IN SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, BEGINNING AT THE NW CORNER OF SAID LOT 49:

- THENCE N65°25'14"E (ASSUMED BEARING) 433.81 FEET ON THE NORTH LINE OF SAID LOT 49 TO THE NE CORNER THEREOF;
  - THENCE S07°28'35"E 44.08 FEET ON THE EAST LINE OF SAID LOT 49;
  - THENCE S05°08'38"E 481.63 FEET ON THE EAST LINE OF SAID LOT 49 TO THE SE CORNER THEREOF;
  - THENCE S89°41'03"W 328.09 FEET ON THE SOUTH LINE OF SAID LOT 49 TO THE SW CORNER THEREOF;
  - THENCE N05°34'24"E 268.93 FEET ON THE WEST LINE OF SAID LOT 49;
  - THENCE N07°32'59"W 255.01 FEET ON THE WEST LINE OF SAID LOT 49 TO THE POINT OF BEGINNING.
- CONTAINING 232,820 SQUARE FEET OR 5.799 ACRES



JUNE 8, 2021  
DATE:

**DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT I, SHARON CHAUDHURI, BEING THE OWNER, OF THE LAND DESCRIBED WITHIN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO LOTS, TO BE NUMBERED AS SHOWN SAID SUBDIVISION TO BE HEREINAFTER KNOWN AS HAROLD SQUARE REPLAT ONE, AND WE DO HEREBY RATEY AND APPROVE OF THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT AND WE DO HEREBY GRANT PERPETUAL EASEMENTS TO OMAHA PUBLIC POWER DISTRICT (OPPD), CENTURYLINK AND COX COMMUNICATIONS ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE FRONT AND SIDE BOUNDARY LOT LINES, AND AN (8) FOOT WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES.

PERPETUAL EASEMENTS ARE HEREBY GRANTED TO METROPOLITAN UTILITIES DISTRICT AND/OR BLACK HILLS ENERGY, THEIR SUCCESSORS AND ASSIGNS TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND RENEW PIPELINES, HYDRANTS AND OTHER RELATED FACILITIES AND TO EXTEND THEREIN PIPES FOR THE TRANSMISSION OF GAS AND WATER OIL, THROUGH, UNDER AND ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ABUTTING THE STREET.

NO PERMANENT BUILDINGS OR RETAINING WALLS SHALL BE PLACED IN SAID EASEMENT WAYS, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, SIDEWALKS, DRIVEWAYS AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID OR RIGHTS HEREIN GRANTED.

SHARON CHAUDHURI

**ACKNOWLEDGEMENT OF NOTARY**

STATE OF NEBRASKA  
COUNTY OF SARPY  
THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021 BY SHARON CHAUDHURI.

NOTARY PUBLIC

**SARPY COUNTY TREASURER'S CERTIFICATE**

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT AS SHOWN ON THE RECORDS OF THIS OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

SARPY COUNTY TREASURER



**APPROVAL OF BELLEVUE CITY COUNCIL**

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE CITY COUNCIL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

SUSAN KLUTHE, CITY CLERK

RUSTY HIKEL, MAYOR

**APPROVAL OF BELLEVUE PLANNING COMMISSION**

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

CHAIRMAN

**REVIEW BY SARPY COUNTY PUBLIC WORKS**

THIS PLAT OF HAROLD SQUARE REPLAT ONE WAS REVIEWED BY THE SARPY COUNTY SURVEYORS OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

SARPY COUNTY SURVEYOR/ENGINEER

HAROLD SQUARE REPLAT ONE  
LOTS 1 AND 2



Revision Dates

File	Description	MM-DD-YY

Job No.: B1436-21-5B  
Drawn By: RJR  
Reviewed By: JDW  
Date: JUNE 8, 2021  
Book: 21/03  
Pages: 31-33

Sheet Title  
CITY OF BELLEVUE  
FINAL PLAT

Sheet Number  
SHEET 1 OF 1

DATE PLOTTED: 7/14/21 10:45 AM. PLOT FILE: C:\Users\jdw\Documents\21-03-01-01.dwg

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

13c.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Storage of Building Materials on Streets and Sidewalks - Declaration of Nuisance Ordinance

SYNOPSIS/BACKGROUND:

Ordinance No. 4048 will amend Article I, Chapter 28, of the Bellevue Municipal Code by amending section 28-7 and adding a new section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks and provide an effective date.

FISCAL IMPACT: 0.00 BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Approve Ordinance No. 4048 amend Article I, Chapter 28, of the Bellevue Municipal Code by amending section 28-7 and adding a new section 28-15 regarding the declaration of nuisance and abatement procedure for unlawful storage of building materials on streets and sidewalks and provide an effective date.

ATTACHMENTS:

- Ordinance No. 4048 (Clean)
- Ordinance (red-lined)
- 
- 
- 
- 

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*[Handwritten signatures]*

ORDINANCE NO. 4048

AN ORDINANCE TO AMEND ARTICLE I, CHAPTER 28, OF THE BELLEVUE MUNICIPAL CODE BY AMENDING SECTION 28-7 AND ADDING A NEW SECTION 28-15 REGARDING THE DECLARATION OF NUISANCE AND ABATEMENT PROCEDURE FOR UNLAWFUL STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS AND TO PROVIDE AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA.

**Section 1.** That Section 28-7 of Chapter 28, Article I of the Bellevue Municipal Code is hereby amended to read as follows:

**Section §28-7 STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS**

Persons engaged in the erection, construction, reconstruction, wrecking or repairing of any building or the construction or repair of any sidewalk along any street may occupy the public space with building materials and equipment if such person shall make written application to and receive a permit in writing from the public works director to do so. No permit for the occupancy of the sidewalk space and more than one-third of the roadway of the public space adjacent to the real estate on which such building is to be constructed, erected, reconstructed, wrecked or repaired shall be granted. A suitable passageway for pedestrians shall be maintained within the public space included in the permit, which passageway shall be protected and lighted in the manner required by the public works director. The public works director and/or his or her designee shall enforce the provisions of this section.

**Section 2.** That Section 28-15 of Chapter 28, Article I of the Bellevue Municipal Code is hereby added to read as follows:

**Section §28-15 DECLARATION OF NUISANCE; ABATEMENT**

The occupation of the public space with building materials and equipment for the erection, construction, reconstruction, wrecking, or repairing of any building or the construction or repair of any sidewalk along any street without a permit in writing from the public works director pursuant to Section 28-7, or such occupation for which a permit has been issued but subsequently does not comply with the permitting requirements, is hereby declared to be a public nuisance and is subject to abatement and/or removal of such nuisance pursuant to the sections of Chapter 19, Article I of this Code.

**Section 3.** This Ordinance shall take effect and be in full force after passage of the same.

ADOPTED by the Mayor and City Council this \_\_\_\_ day of \_\_\_\_\_ 2021.

ATTEST:

\_\_\_\_\_  
Mayor, Rusty Hike

\_\_\_\_\_  
City Clerk

APPROVED AS TO FORM:

First Reading: \_\_\_\_\_  
Second Reading: \_\_\_\_\_  
Third Reading: \_\_\_\_\_

\_\_\_\_\_  
City Attorney

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE TO AMEND ARTICLE I, CHAPTER 28, OF THE BELLEVUE MUNICIPAL CODE BY AMENDING SECTION 28-7 AND ADDING A NEW SECTION 28-15 REGARDING THE DECLARATION OF NUISANCE AND ABATEMENT PROCEDURE FOR UNLAWFUL STORAGE OF BUILDING MATERIALS ON STREETS AND SIDEWALKS AND TO PROVIDE AN EFFECTIVE DATE.

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**Section 1.** That Section 28-7 of Chapter 28, Article I of the Bellevue Municipal Code is hereby amended to read as follows:

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**Section 3.** This Ordinance shall take effect and be in full force after passage of the same.

ADOPTED by the Mayor and City Council this \_\_\_\_ day of \_\_\_\_\_ 2021.

ATTEST:

\_\_\_\_\_  
Mayor, Rusty Hike

\_\_\_\_\_  
City Clerk

APPROVED AS TO FORM:

First Reading: \_\_\_\_\_  
Second Reading: \_\_\_\_\_  
Third Reading: \_\_\_\_\_

\_\_\_\_\_  
City Attorney

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

13d.  
08/03/2021

COUNCIL MEETING DATE: 08/07/2021		SUBMITTED BY: Budget Task Force	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input checked="" type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Administration's Draft 2021-2022 Budget (Fiscal Year Ending September 30, 2022).

SYNOPSIS/BACKGROUND:

This budget proposes appropriating expenditures of \$107.4 million in fiscal year 2021-22. This is an increase of \$10.1 million from the 2020-21 budgeted expenditures (due primarily to the increased cost of city services).

This budget provides funding for the City's operations and capital improvements. The General Fund, Community Betterment Fund and Debt Service Fund are budgeted using existing cash reserves and new revenues.

2021-2022 Budgeted Revenues of \$103,688,527.24 and Expenditures of \$107,438,527.24. Cash reserves decrease by \$3,750,000.00.

FISCAL IMPACT: \$107,438,527.24 BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME: FYE 2022 BUDGET

START DATE: 10/01/2021 END DATE: 09/30/2022 PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

No action taken at this meeting other than the 1st reading (August 7, 2021).  
Open public hearing on August 17, 2021.  
A separate public hearing will be held August 31, 2021.  
Vote on budget and additional 1% restricted funds at the September 7, 2021 meeting along with the tax request resolution

ATTACHMENTS:

- Draft Budget Ordinance
- Draft Resolution - Setting Tax Request
- State Budget Forms
- Summary Budget Data
- 
- 

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*[Handwritten signatures]*

## ORDINANCE NO. 4049

AN ORDINANCE TO ADOPT THE BUDGET STATEMENT TO BE TERMED THE ANNUAL APPROPRIATIONS BILL; TO APPROPRIATE SUMS FOR NECESSARY EXPENSES AND LIABILITIES; TO PROVIDE FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF BELLEVUE, NEBRASKA:

Section 1. That after complying with all procedures required by law, the budget, Exhibit A, as presented and set forth in the budget statement, is hereby approved as the Annual Appropriations Bill for the fiscal year beginning October 1, 2021, through September 30, 2022. All sums of money contained in the budget statement are hereby appropriated for the necessary expenses and liabilities of the City of Bellevue. A copy of the budget document, Exhibit A, shall be forwarded as provided by law to the Auditor of Public Accounts, State Capitol, Lincoln, Nebraska, and to the County Clerk of Sarpy County, Nebraska, for use by the levying authority.

Section 2. This ordinance shall take effect and be in full force from and after its passage, approval, and publication as required by law.

PASSED AND ADOPTED THIS 7th day of September, 2021.

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

\_\_\_\_\_  
Rusty Hike, Mayor

ATTEST:

\_\_\_\_\_  
Susan Kluthe, City Clerk

<u>First Reading:</u>	<u>08/03/2021</u>
<u>Second Reading:</u>	<u>08/17/2021</u>
<u>Special Budget Hearing:</u>	<u>08/31/2021</u>
<u>Third Reading:</u>	<u>09/07/2021</u>

**RESOLUTION NO. 2021-28**

**WHEREAS,** Nebraska Revised Statutes Section 77-1601.02 provides that the property tax request for the prior year shall be the property tax request for the current year for purposes of the levy set by the County Board of Equalization unless the Governing Body of the City of Bellevue passes by a majority vote a resolution or ordinance setting the tax request at a different amount;

**WHEREAS,** a special public hearing was held as required by law to hear and consider comments concerning the property tax request; and

**WHEREAS,** it is in the best interests of the City of Bellevue that the property tax request for the current year be a different amount than the property tax request for the prior year.

**NOW THEREFORE,** the Governing Body of the City of Bellevue, Nebraska, by a majority vote, resolves that:

1. The 2021-2022 property tax request be set at:

General Fund	\$20,338,612.00
Bond Fund	\$ 7,594,150.00
Total Property Tax Request	\$27,932,762.00
  
2. The total assessed value of property differs from last year's total assessed value by 4.66 percent.
  
3. The tax rate which would levy the same amount of property taxes as last year, when multiplied by the new total assessed value of property would be 0.583448 per \$100 of assessed value.
  
4. The City of Bellevue proposes to adopt a property tax request that will cause its tax rate to be 0.610003 per \$100 of assessed value.
  
5. Based on the proposed property tax request and changes in other revenue, the total operating budget of the City of Bellevue will increase last year's budget by 10.41 percent.
  
6. A copy of this resolution be certified and forwarded to the County Clerk on or before October 13, 2021.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution #2021-28.

Voting yes were:


Voting no were:


**PASSED AND APPROVED** this 7th day of September, 2021.

\_\_\_\_\_  
Rusty Hike, Mayor

ATTEST:

\_\_\_\_\_  
Susan Kluthe, City Clerk

**2021-2022  
STATE OF NEBRASKA  
CITY/VILLAGE BUDGET FORM**

**City of Bellevue  
TO THE COUNTY BOARD AND COUNTY CLERK OF  
Sarpy County**

**This budget is for the Period October 1, 2021 through September 30, 2022**

**Upon Filing, The Entity Certifies the Information Submitted on this Form to be Correct:**

The following **PERSONAL AND REAL PROPERTY TAX** is requested for the ensuing year:

\$ 20,338,612.00	Property Taxes for Non-Bond Purposes
\$ 7,594,150.00	Principal and Interest on Bonds
\$ 27,932,762.00	<b>Total Personal and Real Property Tax Required</b>

**Projected Outstanding Bonded Indebtedness as of October 1, 2021**  
(As of the Beginning of the Budget Year)

Principal	\$ 78,645,000.00
Interest	\$ 14,183,714.00
<b>Total Bonded Indebtedness</b>	<b>\$ 92,828,714.00</b>

\$ 4,579,120,323 **Total Certified Valuation (All Courses)**  
(Certification of Valuation(s) from County Assessor **MUST** be attached)

**Report of Joint Public Agency & Interlocal Agreements**

Was this Subdivision involved in any Interlocal Agreements or Joint Public Agencies for the reporting period of July 1, 2020 through June 30, 2021?  
 YES  NO  
 If YES, Please submit Interlocal Agreement Report by September 20th.

**County Clerk's Use ONLY**

**Report on Trade Names, Corporate Names & Business Names**

Did the Subdivision operate under a separate Trade Name, Corporate Name, or other Business Name during the period of July 1, 2020 through June 30, 2021?  
 YES  NO  
 If YES, Please submit Trade Name Report by September 20th.

**APA Contact Information**

**Submission Information**

Auditor of Public Accounts  
State Capitol, Suite 2303  
Lincoln, NE 68509

**Telephone:** (402) 471-2111 **FAX:** (402) 471-3301

**Website:** [www.auditors.nebraska.gov](http://www.auditors.nebraska.gov)

**Questions - E-Mail:** [Jeff.Schreier@nebraska.gov](mailto:Jeff.Schreier@nebraska.gov)

**Budget Due by 9-20-2021**

**Submit budget to:**

1. Auditor of Public Accounts -Electronically on Website or Mail
2. County Board (SEC. 13-508), C/O County Clerk

City of Bellevue in Sarpy County

Line No.	Beginning Balances, Receipts, & Transfers	Actual 2019 - 2020 (Column 1)	Actual/Estimated 2020 - 2021 (Column 2)	Adopted Budget 2021 - 2022 (Column 3)
1	Net Cash Balance	\$ 20,995,949.87	\$ 21,516,313.75	\$ 35,288,777.54
2	Investments			
3	County Treasurer's Balance	\$ 234,711.76	\$ 261,479.08	\$ 250,000.00
4	Beginning Balance Proprietary Function Funds (Only If Page 6 is Used)			\$ -
5	<b>Subtotal of Beginning Balances (Lines 1 thru 4)</b>	<b>\$ 21,230,661.63</b>	<b>\$ 21,777,792.83</b>	<b>\$ 35,538,777.54</b>
6	Personal and Real Property Taxes (Columns 1 and 2 - See Preparation Guidelines)	\$ 26,029,651.70	\$ 26,947,608.77	\$ 27,656,200.00
7	Federal Receipts	\$ 43,113.41	\$ 139,319.19	\$ 50,000.00
8	State Receipts: Motor Vehicle Pro-Rate	\$ 39,962.73	\$ 61,526.85	\$ 77,200.00
9		\$ -	\$ -	\$ -
10	State Receipts: Highway Allocation and Incentives	\$ 5,551,894.68	\$ 6,422,859.48	\$ 5,871,407.00
11	State Receipts: Motor Vehicle Fee	\$ 420,789.22	\$ 482,149.55	\$ 491,600.00
12	State Receipts: State Aid	\$ -	\$ -	
13	State Receipts: Municipal Equalization Aid	\$ 1,640,951.54	\$ 3,943,155.38	\$ 1,412,440.62
14	State Receipts: Other	\$ 531,294.93	\$ 1,125,239.57	\$ 13,352.00
15	State Receipts: Property Tax Credit	\$ -	\$ -	
16	Local Receipts: Nameplate Capacity Tax	\$ -	\$ -	\$ -
17	Local Receipts: Motor Vehicle Tax	\$ 1,227,904.02	\$ 1,334,443.39	\$ 2,146,600.00
18	Local Receipts: Local Option Sales Tax	\$ 12,544,326.88	\$ 14,759,353.02	\$ 15,497,100.00
19	Local Receipts: In Lieu of Tax	\$ 1,114,044.66	\$ 349,378.59	\$ 65,000.00
20	Local Receipts: Other	\$ 66,844,325.87	\$ 43,730,943.28	\$ 49,110,627.62
21	Transfers In of Surplus Fees	\$ -	\$ -	\$ -
22	Transfers In Other Than Surplus Fees	\$ 1,093,000.00	\$ 1,168,000.00	\$ 1,297,000.00
23	Proprietary Function Funds (Only if Page 6 is Used)			\$ -
24	<b>Total Resources Available (Lines 5 thru 23)</b>	<b>\$ 38,307,121.27</b>	<b>\$ 122,241,769.90</b>	<b>\$ 139,227,304.78</b>
25	<b>Total Disbursements &amp; Transfers (Line 22, Pg 3, 4 &amp; 5)</b>	<b>\$ 16,529,328.44</b>	<b>\$ 86,702,992.36</b>	<b>\$ 107,438,527.24</b>
26	<b>Balance Forward/Cash Reserve (Line 24 MINUS Line 25)</b>	<b>\$ 21,777,792.83</b>	<b>\$ 35,538,777.54</b>	<b>\$ 31,788,777.54</b>
27	Cash Reserve Percentage			43%
<b>PROPERTY TAX RECAP</b>		Tax from Line 6		\$ 27,656,200.00
		County Treasurer Commission at 1%		\$ 276,562.00
		<b>Total Property Tax Requirement</b>		<b>\$ 27,932,762.00</b>

Valuation to be Subject to Preliminary Draft August 20, 2021

City of Bellevue in Sarpy County

**To Assist the County For Levy Setting Purposes**

The Cover Page identifies the Property Tax Request between Principal & Interest on Bonds and All Other Purposes. If your municipality needs more of a breakdown for levy setting purposes, complete the section below.

Property Tax Request by Fund	Property Tax Request
General Fund	\$ 20,338,612.00
Bond Fund	\$ 7,594,150.00
_____ Fund	
_____ Fund	
<b>Total Tax Request</b>	<b>** \$ 27,932,762.00</b>

\*\* This Amount should agree to the Total Personal and Real Property Tax Required on the Cover Page 1.

**Cash Reserve Funds**

Statute 13-503 says cash reserve means funds required for the period before revenue would become available for expenditure but shall not include funds held in any special reserve fund. If the cash reserve on Page 2 exceeds 50%, you can list below funds being held in a special reserve fund.

Special Reserve Fund Name	Amount
American Rescue Plan Act (ARPA)	\$ 4,197,818.50
_____	
_____	
_____	
<b>Total Special Reserve Funds</b>	<b>\$ 4,197,818.50</b>
<b>Total Cash Reserve</b>	<b>\$ 31,788,777.54</b>
<b>Remaining Cash Reserve</b>	<b>\$ 27,590,959.04</b>
<b>Remaining Cash Reserve %</b>	<b>37%</b>

**Documentation of Transfers of Surplus Fees:**

(Only complete if Transfers of Surplus Fees Were Budgeted)

Please explain where the monies will be transferred from, where the monies will be transferred to, and the reason for the transfer.

Transfer From: \_\_\_\_\_ Transfer To: \_\_\_\_\_

Amount: \_\_\_\_\_

Reason: \_\_\_\_\_

Transfer From: \_\_\_\_\_ Transfer To: \_\_\_\_\_

Amount: \_\_\_\_\_

Reason: \_\_\_\_\_

Transfer From: \_\_\_\_\_ Transfer To: \_\_\_\_\_

Amount: \_\_\_\_\_

Reason: \_\_\_\_\_

Valuation to be Subject to Preliminary Draft August 20, 2021

City of Bellevue in Sarpy County

Line No.	2021-2022 ADOPTED BUDGET Disbursements & Transfers	Operating Expenses (A)	Capital Improvements (B)	Other Capital Outlay (C)	Debt Service (D)	Other (E)	Transfers Out (F)	TOTAL
1	Governmental:							
2	General Government	\$ 7,061,955.46	\$ 575,000.00	\$ 142,431.00	\$ 12,107,867.12	\$ 1,015,000.00	\$ -	\$ 20,902,253.58
3	Public Safety - Police and Fire	\$ 25,143,657.42	\$ -	\$ 1,940,000.00	\$ -	\$ -	\$ -	\$ 27,083,657.42
4	Public Safety - Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
5	Public Works - Streets	\$ 5,409,042.87	\$ 18,385,000.00	\$ 75,000.00	\$ 1,029,881.32	\$ -	\$ -	\$ 24,898,924.19
6	Public Works - Other	\$ 4,190,197.23	\$ 350,000.00	\$ -	\$ -	\$ -	\$ -	\$ 4,540,197.23
7	Public Health and Social Services	\$ 1,140,226.16	\$ -	\$ 70,000.00	\$ -	\$ -	\$ -	\$ 1,210,226.16
8	Culture and Recreation	\$ 5,097,131.82	\$ 5,650,000.00	\$ -	\$ -	\$ -	\$ -	\$ 10,747,131.82
9	Community Development	\$ 435,913.04	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 435,913.04
10	Miscellaneous	\$ 52,120.00	\$ 750,000.00	\$ -	\$ -	\$ -	\$ -	\$ 803,120.00
11	Business-Type Activities:							
12	Airport	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Nursing Home	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
14	Hospital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
15	Electric Utility	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
16	Solid Waste	\$ 4,086,730.50	\$ -	\$ -	\$ -	\$ 2,000.00	\$ -	\$ 4,088,730.50
17	Transportation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
18	Wastewater	\$ 8,475,654.57	\$ 3,500,000.00	\$ 75,000.00	\$ 397,718.73	\$ 280,000.00	\$ -	\$ 12,728,373.30
19	Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
20	Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Proprietary Function Funds (Page 6)					\$ -		\$ -
22	<b>Total Disbursements &amp; Transfers (Lns 2 thru 21)</b>	\$ 61,093,629.07	\$ 29,210,000.00	\$ 2,302,431.00	\$ 12,535,467.17	\$ 1,297,000.00	\$ -	\$ 107,438,527.24

- (A) **Operating Expenses** should include Personal Services, Operating Expenses, Supplies and Materials, and Equipment Rental.
- (B) **Capital Improvements** should include acquisition of real property or acquisition, construction, or extension of any improvements on real property.
- (C) **Other Capital Outlay** should include other items to be inventoried (i.e. equipment, vehicles, etc.).
- (D) **Debt Service** should include Bond Principal and Interest Payments, Payments to Retirement Interest-Free Loans from NDA (Airports) and other debt payments.
- (E) **Other** should include Judgments, and Proprietary Function Funds if a separate budget is filed.

City of Bellevue in Sarpy County

Line No.	2020-2021 ACTUAL/ESTIMATED Disbursements & Transfers	Operating Expenses (A)	Capital Improvements (B)	Other Capital Outlay (C)	Debt Service (D)	Other (E)	Transfers Out (F)	TOTAL
1	Governmental:							
2	General Government	\$ 3,032,921.54	\$ -	\$ 253,421.70	\$ 13,868,775.43	\$ 900,000.00	\$ -	\$ 18,055,118.67
3	Public Safety - Police and Fire	\$ 23,883,226.02	\$ 83,229.60	\$ 1,559,096.86	\$ 66,137.80	\$ -	\$ -	\$ 25,591,690.28
4	Public Safety - Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
5	Public Works - Streets	\$ 5,096,189.90	\$ 7,945,260.15	\$ 665,000.00	\$ 892,036.56	\$ -	\$ -	\$ 14,598,486.61
6	Public Works - Other	\$ 3,633,664.77	\$ 98,647.49	\$ 109,477.76	\$ -	\$ -	\$ -	\$ 3,841,790.02
7	Public Health and Social Services	\$ 1,078,018.80	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,078,018.80
8	Culture and Recreation	\$ 4,357,107.02	\$ 6,137,17.00	\$ 64,754.00	\$ -	\$ 3,000.00	\$ -	\$ 9,621,978.02
9	Community Development	\$ 688,732.98	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 688,732.98
10	Miscellaneous	\$ 167,390.80	\$ 725,050.92	\$ -	\$ -	\$ -	\$ -	\$ 892,451.09
11	Business-Type Activities:							
12	Airport	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Nursing Home	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
14	Hospital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
15	Electric Utility	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
16	Solid Waste	\$ 3,949,526.79	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ 3,950,526.79
17	Transportation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
18	Wastewater	\$ 7,070,659.11	\$ 654,352.51	\$ -	\$ 398,187.48	\$ 264,000.00	\$ -	\$ 8,384,199.10
19	Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
20	Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Proprietary Function Funds					\$ -		\$ -
22	<b>Total Disbursements &amp; Transfers (Ln 2 thru 21)</b>	\$ 52,957,437.80	\$ 14,700,666.97	\$ 2,851,750.32	\$ 15,225,137.27	\$ 1,168,000.00	\$ -	\$ 86,702,992.36

- (A) **Operating Expenses** should include Personal Services, Operating Expenses, Supplies and Materials, and Equipment Rental.
- (B) **Capital Improvements** should include acquisition of real property or acquisition, construction, or extension of any improvements on real property.
- (C) **Other Capital Outlay** should include other items to be inventoried (i.e. equipment, vehicles, etc.).
- (D) **Debt Service** should include Bond Principal and Interest Payments, Payments to Retirement Interest-Free Loans from MDA (Airports) and other debt payments.
- (E) **Other** should include Judgments, and Proprietary Function Funds if a separate budget is filed.

City of Bellevue in Sarpy County

Line No.	2019-2020 ACTUAL Disbursements & Transfers	Operating Expenses (A)	Capital Improvements (B)	Other Capital Outlay (C)	Debt Service (D)	Other (E)	Transfers Out (F)	TOTAL
1	Governmental:							
2	General Government	\$ 26,464,267.71	\$ 129,192.71	\$ 56,719.00	\$ 30,208,136.23	\$ 78,000.00	\$ -	\$ 56,936,315.65
3	Public Safety - Police and Fire	\$ 21,848,923.38	\$ 358,189.20	\$ 735,123.99	\$ 88,182.40	\$ -	\$ -	\$ 23,030,418.97
4	Public Safety - Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
5	Public Works - Streets	\$ 5,081,530.74	\$ 5,842,016.54	\$ 1,948,842.00	\$ 931,604.10	\$ -	\$ -	\$ 13,803,993.38
6	Public Works - Other	\$ 3,604,855.51	\$ 11,101.04	\$ 34,733.68	\$ -	\$ -	\$ -	\$ 3,650,690.23
7	Public Health and Social Services	\$ 951,768.28	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 951,768.28
8	Culture and Recreation	\$ 3,236,052.16	\$ 5,113,361.00	\$ 63,107.00	\$ -	\$ 750,000.00	\$ -	\$ 4,560,795.26
9	Community Development	\$ 527,779.25	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 527,779.25
10	Miscellaneous	\$ 31,998.90	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 31,998.90
11	Business-Type Activities:							
12	Airport	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Nursing Home	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
14	Hospital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
15	Electric Utility	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
16	Solid Waste	\$ 3,648,592.18	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ 3,649,592.18
17	Transportation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
18	Wastewater	\$ 7,986,890.18	\$ 457,856.98	\$ 284,169.20	\$ 393,159.98	\$ 264,000.00	\$ -	\$ 9,385,976.34
19	Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
20	Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Proprietary Function Funds							
22	<b>Total Disbursements &amp; Transfers (Ln 2 thru 21)</b>	\$ 73,382,658.29	\$ 7,309,992.57	\$ 3,122,594.87	\$ 31,621,082.71	\$ 1,093,000.00	\$ -	\$ 116,529,328.44

- (A) **Operating Expenses** should include Personal Services, Operating Expenses, Supplies and Materials, and Equipment Rental.
- (B) **Capital Improvements** should include acquisition of real property or acquisition, construction, or extension of any improvements on real property.
- (C) **Other Capital Outlay** should include other items to be inventoried (i.e. equipment, vehicles, etc.).
- (D) **Debt Service** should include Bond Principal and Interest Payments, Payments to Retirement Interest-Free Loans from RDA (Airports) and other debt payments.
- (E) **Other** should include Judgments, and Proprietary Function Funds if a separate budget is filed.

City of Bellevue in Sarpy County

**2021-2022 SUMMARY OF PROPRIETARY FUNCTION FUNDS**

NOTE: COMPLETE THIS PAGE ONLY IF A SEPARATE PROPRIETARY FUNCTION FUND BUDGET IS FILED WITH THE CLERK OF THE MUNICIPALITY.

**THIS SPACE FOR USE OF PROPRIETARY FUNCTION FUNDS ONLY**

Funds (List)	Beginning Balance	Total Budget of Receipts	Total Budget of Disbursements	Cash Reserve
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
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				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
<b>TOTAL</b>	\$ - <small>(Forward to Page 2, Line 4)</small>	\$ - <small>(Forward to Page 2, Line 26)</small>	\$ - <small>(Forward to Page 3, Line 21)</small>	\$ -

NOTE: State Statute Section 13-504 requires a uniform summary of the proposed budget statement including each proprietary function fund included in a separate proprietary budget statement prepared pursuant to the Municipal Proprietary Function Act. Proprietary function shall mean a water supply or distribution utility, a waste-water collection or treatment utility, an electric generator, transmission, or distribution utility, a gas supply, transmission, or distribution utility, an integrated solid waste management collection, disposal, or handling utility, or a hospital or a nursing home owned by a municipality.

## CORRESPONDENCE INFORMATION

### ENTITY OFFICIAL ADDRESS

*If no official address, please provide address where correspondence should be sent*

NAME Mayor Rusty Hike  
 ADDRESS 1500 Wall Street  
 CITY & ZIP CODE Bellevue, NE 68005  
 TELEPHONE (402) 293-3000  
 WEBSITE bellevue.net

#### BOARD CHAIRPERSON

#### CLERK/TREASURER/SUPERINTENDENT/OTHER

#### PREPARER

NAME	Rusty Hike	Rich Severson	Rich Severson
TITLE /FIRM NAME	Mayor	Treasurer	Treasurer
TELEPHONE	(402) 293-3000	(402) 293-3088	(402) 293-3088
EMAIL ADDRESS	rusty.hike@bellevue.net	rich.severson@bellevue.net	rich.severson@bellevue.net

For Questions on this form, who should we contact (please check one): Contact will be via email if supplied.

- Board Chairperson
- Clerk / Treasurer / Superintendent / Other
- Preparer

Valuation to be Subject to Change by August 20, 2021

City of Bellevue in Sarpy County

2021-2022 LID SUPPORTING SCHEDULE

Valuation to be Subject to Change Draft 2021

**Calculation of Restricted Funds**

Total Personal and Real Property Tax Requirements	(1) \$ 27,932,762.00
Motor Vehicle Pro-Rate	(2) \$ 77,200.00
In-Lieu of Tax Payments	(3) \$ 65,000.00
Prior Year Budgeted Capital Improvements that were excluded from Restricted Funds.	
Prior Year Capital Improvements Excluded from Restricted Funds (From Prior Year Lid Support, Line (17))	\$ 20,610,000.00 (4)
<b>LESS: Amount Spent During 2020-2021</b>	<u>\$ 6,995,466.50 (5)</u>
<b>LESS: Amount Expected to be Spent in Future Budget Years</b>	<u>\$ 1,200,000.00 (6)</u>
Amount to be included as Restricted Funds <i>(Cannot Be A Negative Number)</i>	(7) \$ 12,414,533.50
Motor Vehicle Tax	(8) \$ 2,146,600.00
Local Option Sales Tax	(9) \$ 15,497,100.00
Transfer of Surplus Fees	(10) \$ -
Highway Allocation and Incentives	(11) \$ 5,871,407.00
	(12) _____
Motor Vehicle Fee	(13) \$ 491,600.00
Municipal Equalization Fund	(14) \$ 1,412,440.62
Insurance Premium Tax	(15) \$ -
Nameplate Capacity Tax	(15a) \$ -

<b>TOTAL RESTRICTED FUNDS (A)</b>	(16) \$ <b>65,908,643.12</b>
-----------------------------------	------------------------------

**Lid Exceptions**

Capital Improvements (Real Property and Improvements on Real Property)	\$ 14,660,000.00 (17)
<b>LESS: Amount of prior year capital improvements that were excluded from previous lid calculations but were not spent and now budgeted this fiscal year (cannot exclude same capital improvements from more than one lid calculation.)</b>	<u>\$ 1,200,000.00 (18)</u>
Agrees to Line (6).	(18) _____
Allowable Capital Improvements	(19) \$ 13,460,000.00
Bonded Indebtedness	(20) _____
Public Facilities Construction Projects (Statutes 72-2301 to 72-2308)	(21) _____
Interlocal Agreements/Joint Public Agency Agreements	(22) \$ -
Public Safety Communication Project (Statute 86-416)	(23) _____
Benefits Paid Under the Firefighter Cancer Benefits Act	(23a) _____
Payments to Retire Interest-Free Loans from the Department of Aeronautics (Public Airports Only)	(24) _____
Judgments	(25) _____
Refund of Property Taxes to Taxpayers	(26) _____
Repairs to Infrastructure Damaged by a Natural Disaster	(27) _____

<b>TOTAL LID EXCEPTIONS (B)</b>	(28) \$ <b>17,460,000.00</b>
---------------------------------	------------------------------

<b>TOTAL RESTRICTED FUNDS For Lid Computation (To Line 9 of the Lid Computation Form)</b> <small>To Calculate: Total Restricted Funds (A)-Line 16 MINUS Total Lid Exceptions (B)-Line 28</small>	<b>\$ 52,448,643.12</b>
---	-------------------------

Total Restricted Funds for Lid Computation **cannot** be less than zero. See Instruction Manual on completing the Lid Supporting Schedule.

City of Bellevue  
IN  
Sarpy County

**LID COMPUTATION FORM FOR FISCAL YEAR 2021-2022**

**PRIOR YEAR RESTRICTED FUNDS AUTHORITY OPTION 1 OR OPTION 2**

OPTION 1	
2020-2021 Restricted Funds Authority (Base Amount) = Line (8) from last year's Lid Form	52,793,143.82
	Option 1 - (Line 1)
OPTION 2	
<i>Only use if a vote was taken at a townhall meeting to exceed Lid for one year</i>	
Line (1) of Prior Year Lid Computation Form	Option 2 - (A)
Allowable Percent Increase Less Vote Taken (Prior Year Lid Computation Form Line (6) - Line (5))	%
Dollar Amount of Allowable Increase Excluding the Vote taken Line (A) times Line (B)	Option 2 - (B)
	-
Calculated 2020-2021 Restricted Funds Authority (Base Amount) Line (A) Plus Line (C)	Option 2 - (C)
	-
	Option 2 - (Line 1)

**CURRENT YEAR ALLOWABLE INCREASES**

<b>1</b>	<b>BASE LIMITATION PERCENT INCREASE (2.5%)</b>	2.50	%
		(2)	
<b>2</b>	<b>ALLOWABLE GROWTH PER THE ASSESSOR MINUS 2.5%</b>	-	%
	$\frac{\text{2021 Growth per Assessor}}{\text{2020 Valuation}} = \frac{0.00}{3,5426,659.00}$ Multiply times 100 To get %	(3)	
<b>3</b>	<b>ADDITIONAL ONE PERCENT COUNCIL/BOARD APPROVED INCREASE</b>	1.00	%
	$\frac{\text{\# of Board Members voting "Yes" for Increase}}{\text{Total \# of Members in Governing Body at Meeting}} = \frac{10}{100} = 10\%$ Must be at least 75% (.75) of the Governing Body	(4)	
	<b>ATTACH A COPY OF THE BOARD MINUTES APPROVING THE INCREASE</b>		
<b>4</b>	<b>SPECIAL ELECTION/TOWNHALL MEETING - VOTER APPROVED % INCREASE</b>		%
	<b>Please Attach Ballot Sample and Election Results OR Record of Action from Townhall Meeting</b>		
	TOTAL ALLOWABLE PERCENT INCREASE = Line (2) + Line (3) + Line (4) + Line (5)	3.50	%
		(6)	
	Allowable Dollar Amount of Increase to Restricted Funds = Line (1) x Line (6)	1,847,760.03	
		(7)	
	Total Restricted Funds Authority = Line (1) + Line (7)	54,640,903.85	
		(8)	
	<b>Less:</b> Restricted Funds from Lid Supporting Schedule	52,448,643.12	
		(9)	
	Total Unused Restricted Funds Authority = Line (8) - Line (9)	2,192,260.73	
		(10)	

**LINE (10) MUST BE GREATER THAN OR EQUAL TO ZERO OR YOU ARE IN VIOLATION OF THE LID LAW.**

Valuation to be Subject to Preliminary Draft Certified by Change August 20, 2021

City of Bellevue in Sarpy County

**2021-2022 CAPITAL IMPROVEMENT LID EXEMPTIONS**

<u>Description of Capital Improvement</u>	<u>Amount Budgeted</u>
Library Improvement (Building)	\$ 4,000,000.00
Stonecroft Park Parking Lot	\$ 220,000.00
Street Improvements	\$ 10,440,000.00

Valuation to be Certified by August 20, 2021  
Preliminary Draft  
Subject to Change

Total - Must agree to Line 17 on Lid Support Page 8

\$ 14,660,000.00

Municipality Levy Limit Form

City of Bellevue in Sarpy County

**Municipality Levy**

Personal and Real Property Tax Request	(1)		27,932,762.00
Judgments (Not Paid by Liability Insurance)	(2)	0.00	
Pre-Existing Lease - Purchase Contracts-7/98	(3)	0.00	
Bonded Indebtedness	(4)	7,594,150.00	
Interest Free Financing (Public Airports)	(5)	0.00	
Benefits Paid Under Firefighter Cancer Benefits Act	(6)	0.00	
Total Levy Exemptions	(7)		<u>7,594,150.00</u>
Tax Request Subject to Levy Limit	(8)		20,338,612.00
Valuation	(9)		<u>4,579,120,323</u>
Municipality Levy Subject to Levy Authority	(10)		0.444160
Levy Authority Allocated to Other:			
Airport Authority	(11)		0.000000
Community Redevelopment Authority	(12)		0.000000
Transit Authority	(13)		0.000000
Off Street Parking District Valuation	(14)		
Off Street Parking District Levy (Statute 77-3443(2))	(15)	0.000000	0.000000
Other	(16)		0.000000
Total Levy for Compliance Purposes	(17)		<u><u>0.444160</u></u> (A)
<b>Levy Authority</b>			
Municipality Levy Limit	(18)		0.450000
Municipality property taxes designated for interlocal agreements	(19)		0.000000
Total Municipality Levy Authority	(20)		<u><u>0.450000</u></u> (B)
Voter Approved Levy Override	(21)		0.000000 (C)

**Note: (A) must be less than the greater of (B) or (C) to be in compliance with the Statutes**

This Form is to be completed to ensure compliance with the levy limits established in State Statute Section 77-3442. The levy limit applicable to municipalities is 45 cents plus 5 cents for interlocal agreements.

State Statute Section 86-416 allows for a special tax to fund Public Safety Communication projects, the tax has the same status as bonded indebtedness. State Statute 72-2301 through 72-2308 allows bonds to be issued for Public Facilities Construction Projects. Amounts should be included as Bonded Indebtedness on Line 7 above.

A municipality may exceed the limits in State Statute Section 77-3442 by completing the requirements of State Statute Section 77-3444 (Election or Townhall Meeting). **If an amount is entered on Line 21, a sample ballot and election results MUST be submitted with budget. If voter approved override was completed at a Townhall Meeting, minutes of that meeting, and a list of registered voters in the municipality must be submitted.** Please refer to the statutes to ensure all requirements are met.

Valuation to be Subject to Change by August 20, 2021

City of Bellevue  
IN  
Sarpy County, Nebraska

**NOTICE OF BUDGET HEARING AND BUDGET SUMMARY**

PUBLIC NOTICE is hereby given, in compliance with the provisions of State Statute Sections 13-501 to 13-513, that the governing body will meet on the 17th day of August 2021, at 6:00 o'clock P.M., at 1500 Wall Street, Bellevue, NE for the purpose of hearing support, opposition, criticism, suggestions or observations of taxpayers relating to the following proposed budget. The budget detail is available at the office of the Clerk during regular business hours.

2019-2020 Actual Disbursements & Transfers	\$ 116,529,328.44
2020-2021 Actual/Estimated Disbursements & Transfers	\$ 86,702,992.36
2021-2022 Proposed Budget of Disbursements & Transfers	\$ 107,438,527.24
2021-2022 Necessary Cash Reserve	\$ 31,788,777.54
2021-2022 Total Resources Available	\$ 139,227,304.78
Total 2021-2022 Personal & Real Property Tax Requirement	\$ 27,932,762.00
Unused Budget Authority Created For Next Year	\$ 2,192,260.73

**Breakdown of Property Tax:**

Personal and Real Property Tax Required for Non-Bond Purposes	\$ 20,338,612.00
Personal and Real Property Tax Required for Bonds	\$ 7,594,150.00

**NOTICE OF SPECIAL HEARING TO SET FINAL TAX REQUEST**

PUBLIC NOTICE is hereby given, in compliance with the provisions of State Statute Section 77-1601.02, that the governing body will meet on the 7th day of September 2021, at 6:00 o'clock P.M., at 1500 Wall Street, Bellevue, NE for the purpose of hearing support, opposition, criticism, suggestions or observations of taxpayers relating to setting the final tax request.

	2020	2021	Change
Operating Budget	97,312,417.54	107,438,527.24	10%
Property Tax Request	\$ 26,716,787.42	\$ 27,932,762.00	5%
Valuation	4,375,426,659	4,579,120,323	5%
Tax Rate	0.610610	0.600003	0%
Tax Rate if Prior Tax Request was at Current Valuation	0.583448		

Valuation to be Subject to Change by August 20, 2021

RESOLUTION SETTING THE PROPERTY TAX REQUEST

RESOLUTION NO. \_\_\_\_\_

WHEREAS, Nebraska Revised Statute 77-1601.02 provides that the Governing Body of the City of Bellevue passes by a majority vote a resolution or ordinance setting the tax request; and

WHEREAS, a special public hearing was held as required by law to hear and consider comments concerning the property tax request;

NOW, THEREFORE, the Governing Body of the City of Bellevue resolves that:

1. The 2021-2022 property tax request be set at:

General Fund: \$ 20,388,612.00

Bond Fund: \$ 7,594,750.00

2. The total assessed value of property differs from last year's total assessed value by 4.66 percent.

3. The tax rate which would levy the same amount of property taxes as last year, when multiplied by the new total assessed value of property would be 0.583148 per \$100 of assessed value.

4. The City of Bellevue proposes to adopt property tax request that will cause its tax rate to be 0.610003 per \$100 of assessed value.

5. Based on the proposed property tax request and changes in other revenue, the total operating budget of the City of Bellevue will increase or decrease last year's budget by 10.41 percent.

6. A copy of this resolution be certified and forwarded to the County Clerk on or before October 13, 2021.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution # \_\_\_\_\_.

Voting yes were:

Voting no were:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021

Valuation to be Subject to Change August 20, 2021  
Preliminary Draft

**REPORT OF JOINT PUBLIC AGENCY AND INTERLOCAL AGREEMENTS**

**REPORTING PERIOD JULY 1, 2020 THROUGH JUNE 30, 2021**

**City of Bellevue**

**Sarpy County**

SUBDIVISION NAME

COUNTY

Parties to Agreement  
(Column 1)

Agreement Period  
(Column 2)

Description  
(Column 3)

Amount Used as Lid  
Exemption  
(Column 4)

Parties to Agreement (Column 1)	Agreement Period (Column 2)	Description (Column 3)	Amount Used as Lid Exemption (Column 4)
Total Amount used as Lid Exemption			\$ <u>          </u>

Valuation to be Subject to Change Certified by August 20, 2021

REPORT OF TRADE NAMES, CORPORATE NAMES, BUSINESS NAMES

REPORTING PERIOD JULY 1, 2020 THROUGH JUNE 30, 2021

City of Bellevue

Sarpy County

SUBDIVISION NAME

COUNTY

List all Trade Names, Corporate Names and Business Names under which the political subdivision conducted business.

Valuation to be Certified by August 20, 2021  
Preliminary Draft  
Subject to Change



City of Bellevue

Finance Department

1500 Wall Street. ▪ Bellevue, Nebraska 68005 ▪ (402) 293-3000

# The City of Bellevue's Administration

*Presents*

The Fiscal Year 2021-2022 Annual Budget

***BUILDING A BETTER BELLEVUE***

City of Bellevue

Annual Budget

For The Fiscal Year

**October 1, 2021**

**Through**

**September 30, 2022**

# City of Bellevue Mayor and City Council

Mayor

Rusty Hike

City Council

Thomas Burns

Ward 1

Bob Stinson

Ward 2

Paul Cook

Ward 3

Council President

Kathy Welch

Ward 4

Don Preister

Ward 5

Jerry McCaw

At Large

# City of Bellevue Management Team

## City Administrator's Office

**Jim Ristow, City Administrator** Since 2018

## Appointees

**Susan Kluthe, City Clerk** Since 2019

**Bree Robbins, City Attorney** Since 2019

**Rich Severson, Treasurer** Since 2013

## Directors

**Doug Clark, Public Works Director** Since 2020

**Julie Dinville, Library Director** Since 2015

**Ken Clary, Police Chief** Since 2021

**Perry Guido, Fire Chief** Since 2009

**Ashley Decker, Human Resources Director** Since 2020

**Mark Elbert, Community Development Director** Since 2019

**Rich Severson, Finance Director** Since 2010

# City of Bellevue

## Budget Proposal's Key Points

- **No Increase In Property Tax Rate (Mil Levy)**
  - No change from 61¢ since 2014
- **Budgeted Expenditures Rise \$10 Million to \$107 Million, up 10%**
  - Catch Up Spending from the COVID Years (Exiting FYE2021 \$14 Million Favorable to Budget)
- **Budgeted Resources Available Rise \$17 Million to \$139.3 Million, up 13%**
- **Increases the Budget for Public Safety**
  - Increases Sworn Police Officers by 5 to 105 and the associated operational budget by 9%
  - Increases Fire Protection Services' operational budget by 8%
- **Increases the Budget for Other City Services**
  - Increases Public Works' operational budget by 10%

# City of Bellevue

## Budget Proposal's Key Points-continued

- City Maintaining a AA+ Bond Rating from S&P
- Provides Continued Infrastructure Improvements
  - Library Renovation/Improvements
  - Street Improvements, Including 36<sup>th</sup> Street
- Anticipates Economic Development Activities
  - Funding LB840 - \$750,000
  - Catalyst for new business and continued enhancement of Olde Towne

# History of Bellevue's Valuations and Tax Levies

<b>Tax Year</b>	<b>Valuation in billions of dollars</b>	<b>Tax Levy expressed as cents per hundred dollars of assessed value</b>
2021	\$4.58	0.610000
2020	\$4.38	0.610000
2019	\$3.39	0.610000
2018	\$3.10	0.610000
2017	\$2.99	0.610000
2016	\$2.76	0.610000
2015	\$2.72	0.610000
2014	\$2.70	0.610000
2013	\$2.76	0.600000
2012	\$2.70	0.554876
2011	\$2.70	0.554876
2010	\$2.68	0.554876
2009	\$2.69	0.554876
2008	\$2.36	0.524880

Preliminary Draft  
Subject to Change

**City of Bellevue**  
**Fund Balance Cash Roll-Forward**  
**2021-22 Annual Budget**

<b>Beginning Cash at 09-30-21 (Forecasted)</b>	<b>\$</b>	<b>35,538,923</b>
<b>Revenues</b>		<b>103,688,527</b>
<b>Resources Available</b>		<b>139,227,450</b>
<b>Expenditures</b>		<b>(107,438,527)</b>
<b>Ending Cash at 09-30-22</b>	<b>\$</b>	<b>31,788,923</b>

**City of Bellevue  
Fund Balance Cash Roll-Forward  
2021-22 Annual Budget**

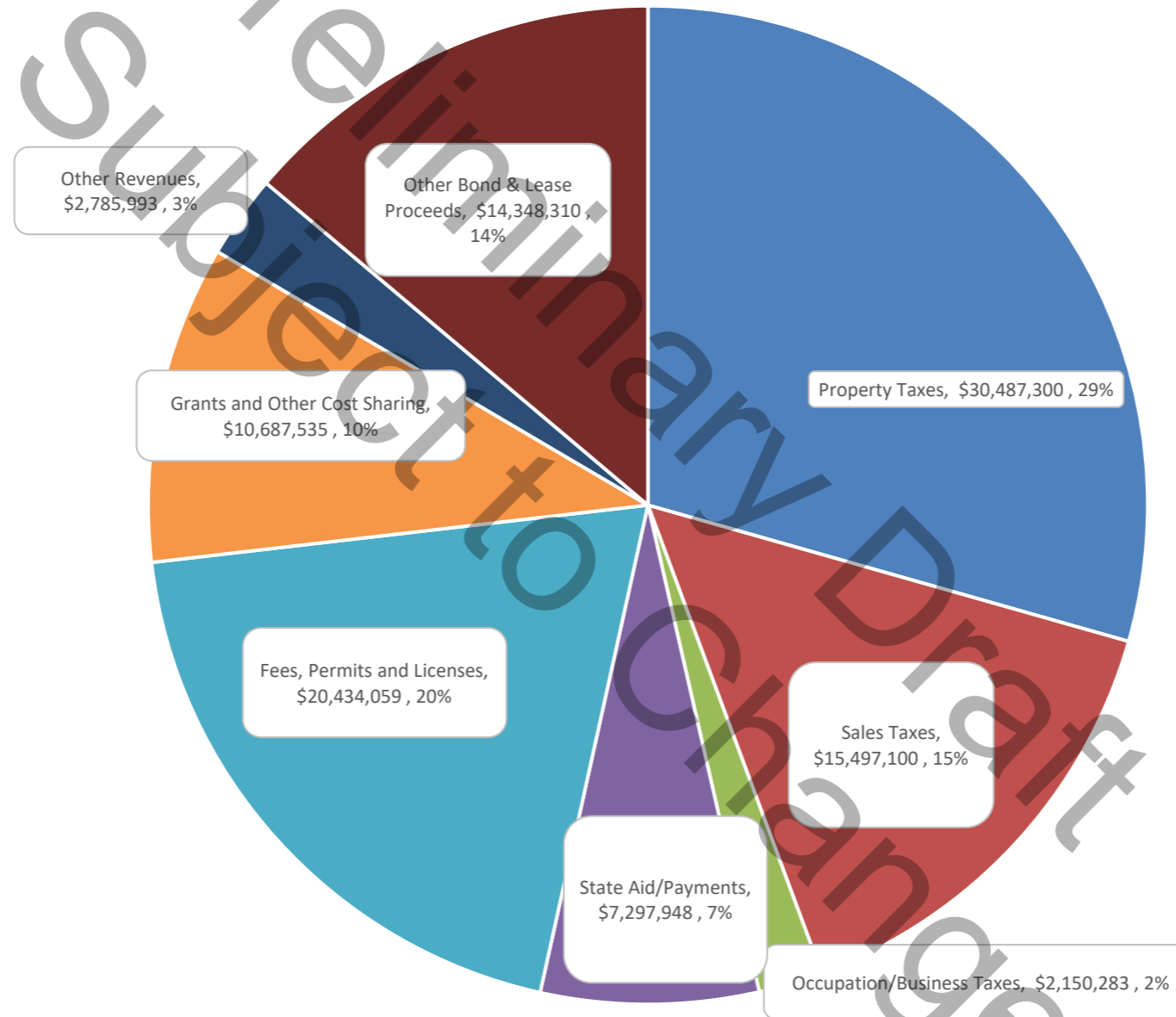
	Fund							
	Total	F10 General	F20 Wastewater	F50 Community Betterment	F55 Economic Development	F60 Community Development	F80 & F81 Police Funds	F95 Debt Service
<b>Fund Balance (Cash) at 09-30-20</b>	<b>\$ 21,777,792.83</b>	<b>\$ 6,113,468.94</b>	<b>\$ 2,513,899.91</b>	<b>\$ 3,476,566.89</b>	<b>\$ 2,316,935.24</b>	<b>\$ 180,254.47</b>	<b>\$ 131,245.42</b>	<b>\$ 7,045,421.96</b>
Forecast Revenues	\$ 100,463,977.07	\$ 71,854,136.07	\$ 10,960,399.44	\$ 1,055,462.70	\$ 750,130.22	\$ 687,618.16	\$ 154,043.20	\$ 15,002,187.28
Forecast Expenditures	\$ 86,702,846.65	\$ 62,216,328.65	\$ 8,384,199.10	\$ 305,462.70	\$ 750,130.22	\$ 688,732.98	\$ 154,042.81	\$ 14,203,950.19
Forecast Net increase / (decrease)	<b>\$ 13,761,130.42</b>	<b>\$ 9,637,807.42</b>	<b>\$ 2,576,200.34</b>	<b>\$ 750,000.00</b>	-	<b>\$ (1,114.82)</b>	<b>\$ 0.39</b>	<b>\$ 798,237.09</b>
<i>Rounding</i>								
<b>Forecasted Fund Balance (Cash) at 09-30-21</b>	<b>\$ 35,538,923.25</b>	<b>\$ 15,751,276.36</b>	<b>\$ 5,090,100.25</b>	<b>\$ 4,226,566.89</b>	<b>\$ 2,316,935.24</b>	<b>\$ 179,139.65</b>	<b>\$ 131,245.81</b>	<b>\$ 7,843,659.05</b>
Budgeted Revenues	\$ 103,688,527.24	\$ 72,228,980.90	\$ 13,478,373.30	\$ 1,056,890.00	\$ 750,120.00	\$ 435,913.04	\$ 53,000.00	\$ 15,685,250.00
Budgeted Expenditures	\$ 107,438,527.24	\$ 75,228,980.90	\$ 12,728,373.30	\$ 1,806,890.00	\$ 750,120.00	\$ 435,913.04	\$ 53,000.00	\$ 16,435,250.00
Budgeted Net increase / (decrease)	<b>\$ (3,750,000.00)</b>	<b>\$ (3,000,000.00)</b>	<b>\$ 750,000.00</b>	<b>\$ (750,000.00)</b>	-	-	-	<b>\$ (750,000.00)</b>
<i>Rounding</i>								
<b>Budgeted Fund Balance (Cash) at 09-30-22</b>	<b>\$ 31,788,923.25</b>	<b>\$ 12,751,276.36</b>	<b>\$ 5,840,100.25</b>	<b>\$ 3,476,566.89</b>	<b>\$ 2,316,935.24</b>	<b>\$ 179,139.65</b>	<b>\$ 131,245.81</b>	<b>\$ 7,093,659.05</b>
% increase / decrease in cash								
9/30/22 vs 9/30/20	46.0%	108.6%	132.3%	-	-	(0.6%)	0.0%	0.7%
9/30/22 vs 9/30/21	(10.6%)	(19.0%)	14.7%	(17.7%)	-	-	-	(9.6%)

**City of Bellevue  
2021-22 Annual Budget  
Bonded Indebtedness**

	<u>Total Debt</u>	<u>Total Debt to Valuation</u>	<u>Highway Allocation Bonds</u>	<u>Wastewater Bonds</u>	<u>Net GO Debt</u>	<u>G.O. Debt to Valuation</u>
<b>Beginning Bonded Indebtedness at 10-01-20</b>	<b>\$ 78,905,000</b>	<b>1.80%</b>	<b>\$ 7,095,000</b>	<b>\$ 2,175,000</b>	<b>\$ 69,635,000</b>	<b>1.59%</b>
<b>Principal Payments During Year</b>	<b>(12,630,000)</b>		<b>\$ (435,000)</b>	<b>\$ (250,000)</b>	<b>\$ (11,945,000)</b>	
<b>New Debt Issued</b>	<b>12,370,000</b>		<b>\$ 5,850,000</b>	<b>\$ -</b>	<b>\$ 6,520,000</b>	
<b>Ending Bonded Indebtedness at 09-30-21</b>	<b>78,645,000</b>	<b>1.72%</b>	<b>\$ 12,510,000</b>	<b>\$ 1,925,000</b>	<b>\$ 64,210,000</b>	<b>1.40%</b>
<b>Principal Payments During Year</b>	<b>(6,880,000)</b>		<b>\$ (435,000)</b>	<b>\$ (255,000)</b>	<b>\$ (6,190,000)</b>	
<b>New Debt To Be Issued</b>	<b>10,260,000</b>		<b>\$ 6,260,000</b>	<b>\$ -</b>	<b>\$ 4,000,000</b>	
<b>Ending Bonded Indebtedness at 09-30-22</b>	<b>\$ 82,025,000</b>	<b>1.79%</b>	<b>\$ 18,335,000</b>	<b>\$ 1,670,000</b>	<b>\$ 62,020,000</b>	<b>1.35%</b>
	Valuation: \$4,579,120,000					
<b>Budgeted Cash Balances (unrestricted) at 09-30-22</b>	<b>25,685,036</b>		<b>\$ 12,751,276</b>	<b>\$ 5,840,100</b>	<b>\$ 7,093,659</b>	
<b>Cash / Debt Principal at 09-30-22</b>			<b>70%</b>	<b>350%</b>	<b>11%</b>	
<b>Cash Balances / FYE2022 Debt Service</b>			<b>18.4</b>	<b>20.1</b>	<b>2.0</b>	
<b>Debt Service Coverage Ratio</b>				<b>1.8</b>		

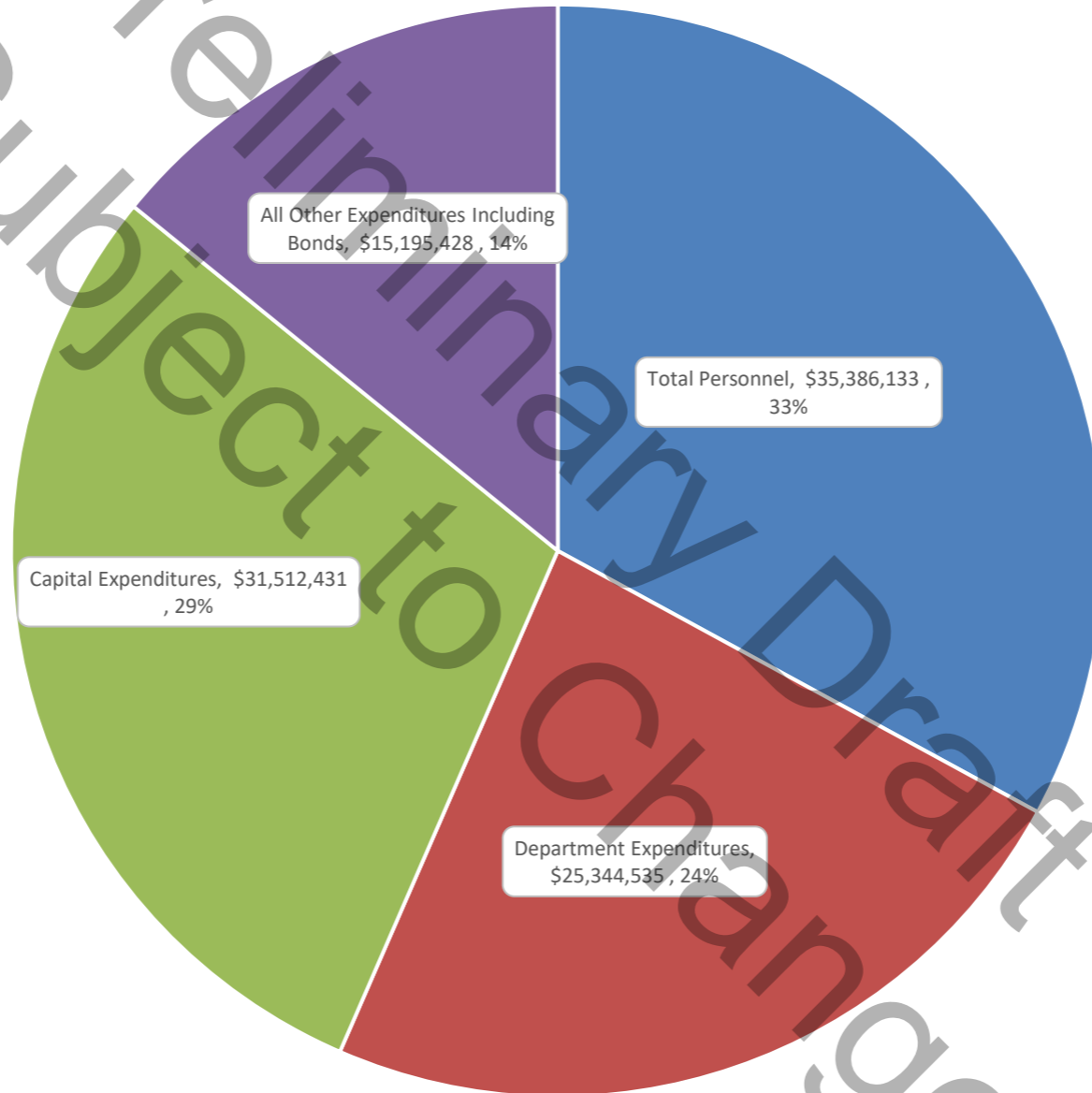
# City of Bellevue

FYE2022 Budgeted Revenues - City-Wide



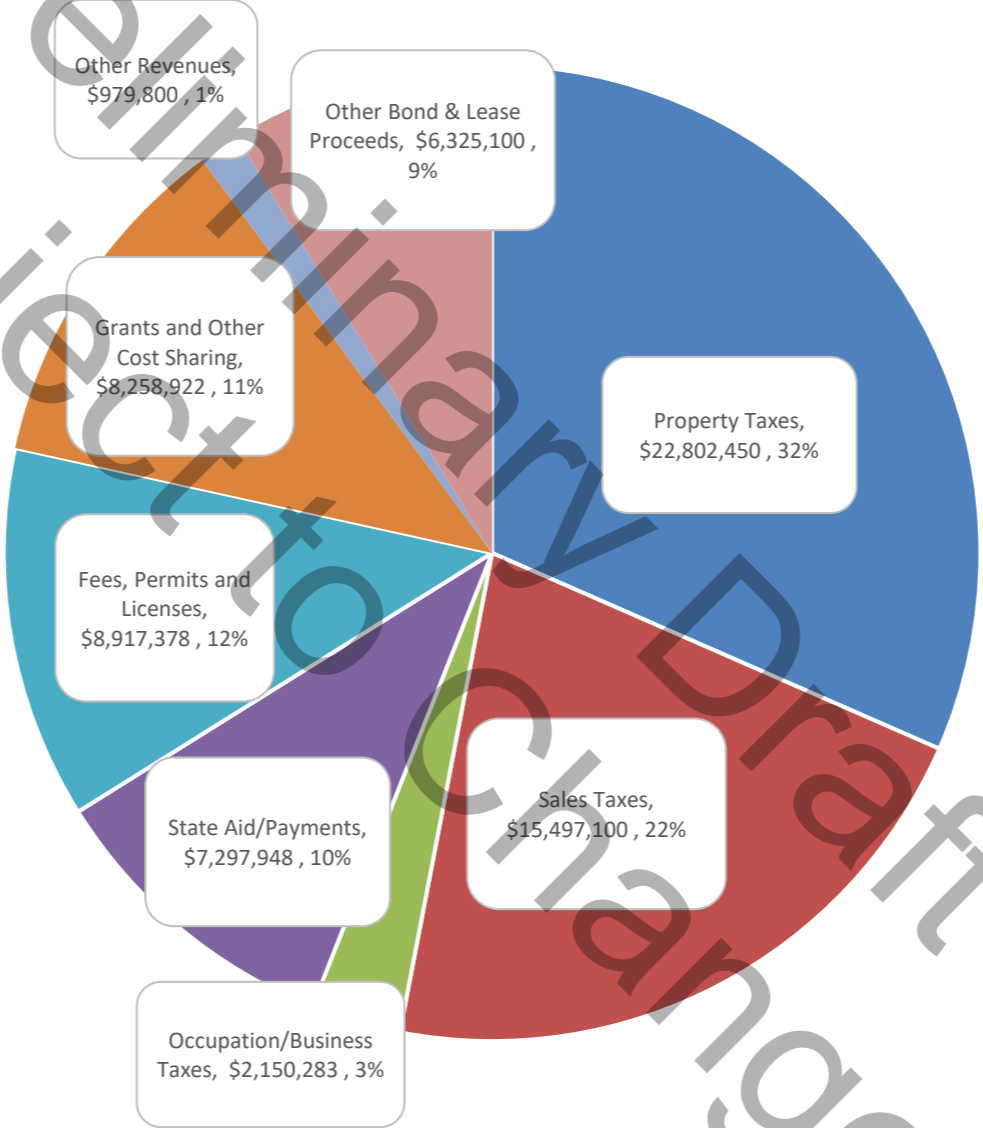
# City of Bellevue

FYE2022 Budgeted Expenditures - City-Wide



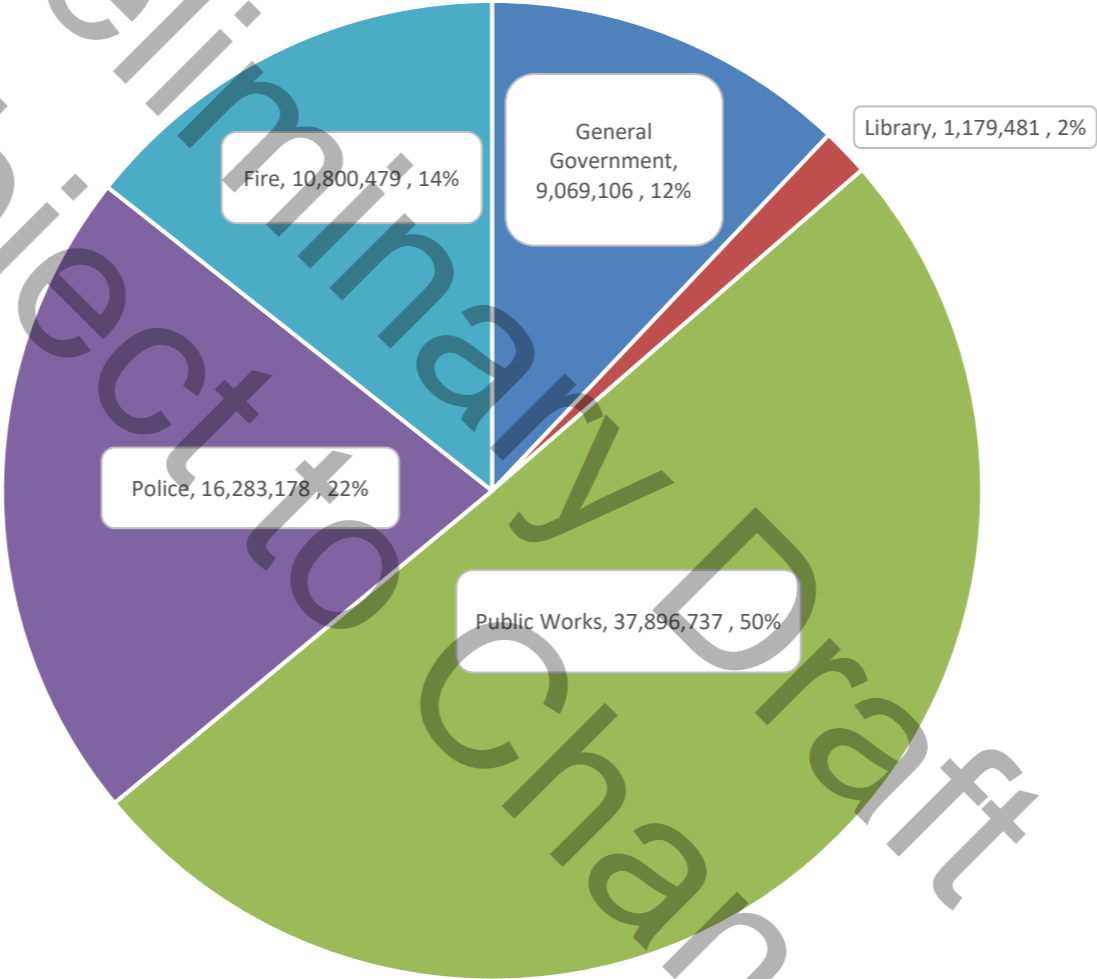
# City of Bellevue

## Sources of General Fund Revenue



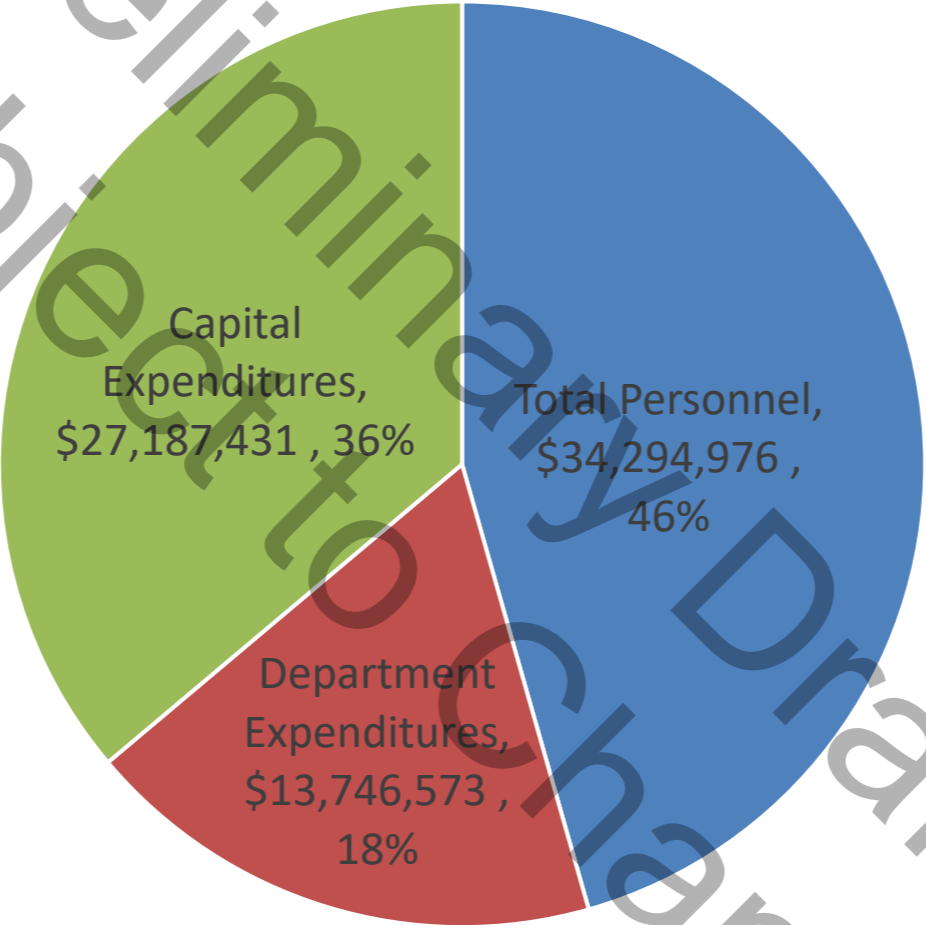
# City of Bellevue

How the General Fund Money is Allocated in this Budget



# City of Bellevue

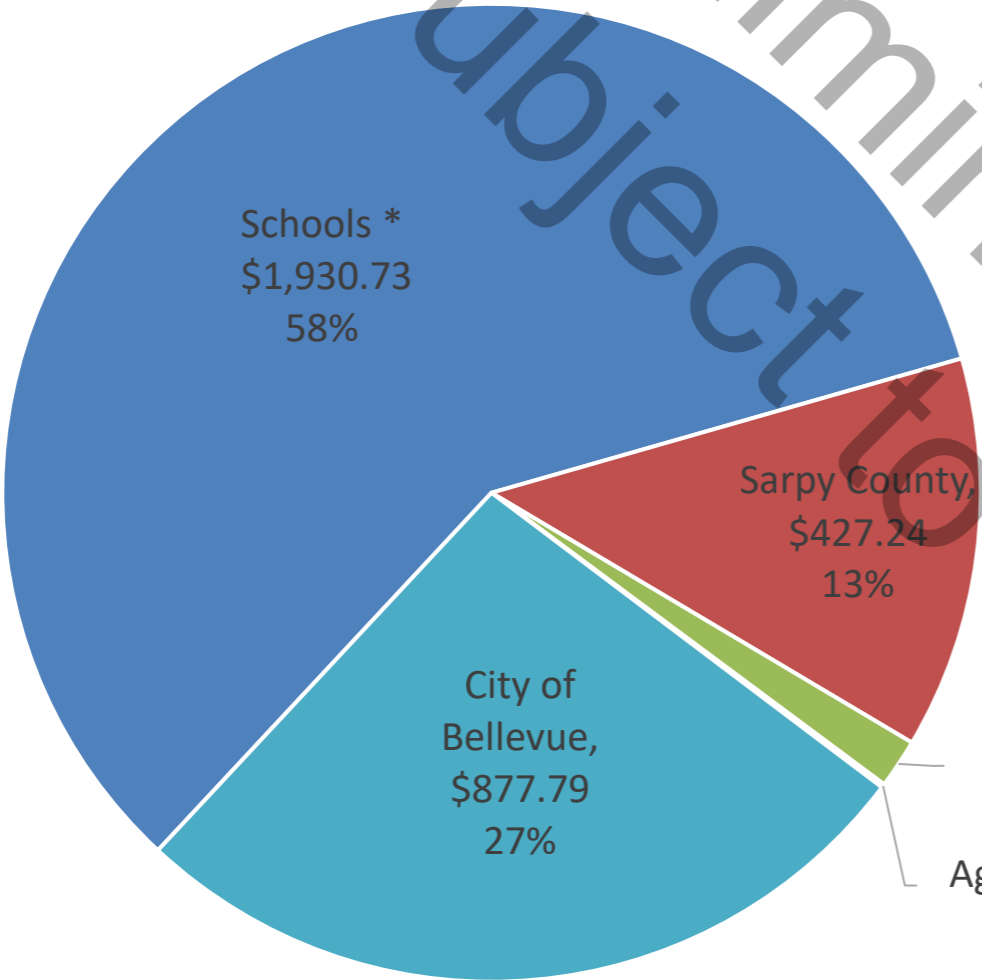
Major Categories of General Fund Spending



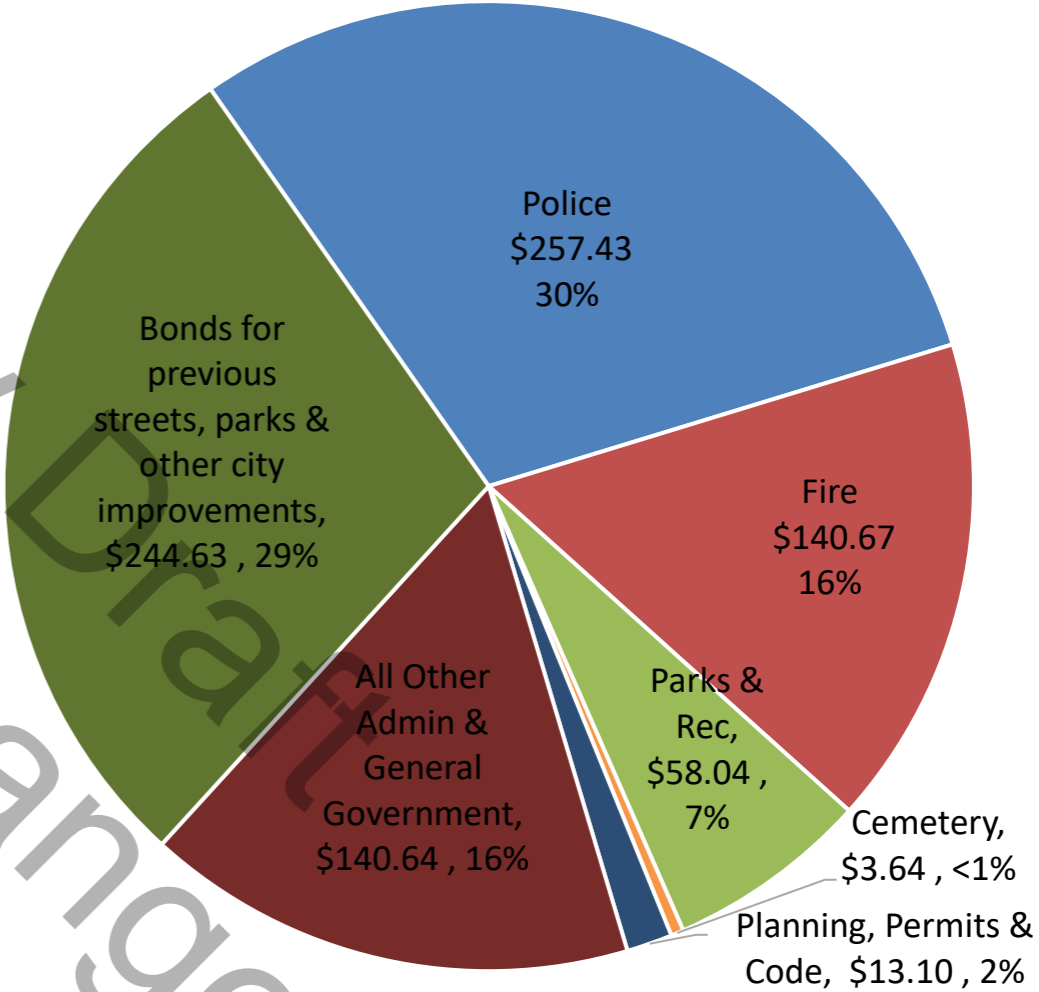
■ Total Personnel ■ Department Expenditures ■ Capital Expenditures

# City of Bellevue (Last Year's Example)

WHERE YOUR TAXES GO  
A \$3,293.53 property tax bill for a \$143,900 home  
(median price in Bellevue)



WHERE YOUR CITY TAXES GO  
Of the \$877.79, or 27% of your total property tax bill, this is what it pays for:



**City of Bellevue**  
**Statement of Revenues and Expenditures All Funds**  
**2021-22 Annual Budget**  
**All Funds**

	F10 & F99	F60	F50	F95	F55	F80 & F81	F20
Total Budget All Funds	General Fund	Community Development (CDBG)	Community Betterment (Keno)	Debt Service	Economic Development	Police Funds	Wastewater
<b>Revenues</b>							
Property Taxes	30,487,300.00	22,802,450.00	-	7,684,850.00	-	-	-
Sales Taxes	15,497,100.00	15,497,100.00	-	-	-	-	-
Occupation/Business Taxes	2,150,283.07	2,150,283.07	-	-	-	-	-
State Aid/Payments	7,297,947.62	7,297,947.62	-	-	-	-	-
Fees, Permits and Licenses	20,434,058.89	8,917,378.21	-	-	-	53,000.00	11,463,680.68
Other Revenues	27,821,837.66	15,563,822.00	435,913.04	8,000,400.00	750,120.00	-	2,014,692.62
<b>Total Operating Revenue</b>	<b>103,688,527.24</b>	<b>72,228,980.90</b>	<b>435,913.04</b>	<b>15,685,250.00</b>	<b>750,120.00</b>	<b>53,000.00</b>	<b>13,478,373.30</b>
<b>Expenditures</b>							
Total Personnel	35,386,132.92	34,294,976.45	-	-	-	-	1,091,156.47
Department Expenditures	25,631,554.65	16,713,953.06	435,913.04	92,180.45	120.00	53,000.00	7,384,498.10
Capital Leases	318,293.80	226,946.32	-	-	-	-	91,347.48
<b>Total Operational Expenditures</b>	<b>61,335,981.37</b>	<b>51,235,875.83</b>	<b>435,913.04</b>	<b>92,180.45</b>	<b>120.00</b>	<b>53,000.00</b>	<b>8,567,002.05</b>
Total Capital Expenditures	31,512,431.00	27,187,431.00	-	-	750,000.00	-	3,575,000.00
Other	14,590,114.87	(3,194,325.93)	-	16,343,069.55	-	-	586,371.25
<b>Total Expenditures</b>	<b>107,438,527.24</b>	<b>75,228,980.90</b>	<b>435,913.04</b>	<b>16,435,250.00</b>	<b>750,120.00</b>	<b>53,000.00</b>	<b>12,728,373.30</b>
<b>Net Revenues / (Expenditures)</b>	<b>(3,750,000.00)</b>	<b>(3,000,000.00)</b>	<b>-</b>	<b>(750,000.00)</b>	<b>(750,000.00)</b>	<b>-</b>	<b>750,000.00</b>

# Proposed Budget Approval Timeline

- 1st Reading – August 3
- 2nd Reading (Public Hearing) – August 17
- Special Public Hearing (LB148) – August 31
- 3rd Reading (Adoption) – September 7
- Submission – September 20
- **Tax Levy Effective 12/31/2021**

# City of Bellevue

## Summary Budget Schedules By Fund

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**  
**Fund: 10 General**

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	\$ 20,866,485	\$ 20,647,478	\$ 22,802,450	\$ 1,935,965	9.3%	\$ 2,154,972	10.4%
Sales Taxes	14,759,353	12,751,300	\$ 15,497,100	737,747	5.0%	2,745,800	21.5%
Occupation/Business Taxes	1,406,316	2,221,283	\$ 2,150,283	743,967	52.9%	(71,000)	(3.2%)
State Aid/Payments	10,358,256	8,223,496	\$ 7,297,948	(3,060,308)	(29.5%)	(925,549)	(11.3%)
Fees, Permits and Licenses	8,358,279	8,157,114	\$ 8,917,378	559,099	6.7%	760,265	9.3%
Grants and Other Cost Sharing	9,202,375	7,032,922	\$ 8,258,922	(943,453)	(10.3%)	1,226,000	17.4%
Other Revenues	491,949	532,600	\$ 434,800	(57,149)	(11.6%)	(97,800)	(18.4%)
Other Bond & Lease Proceeds	5,994,123	11,960,900	\$ 6,325,100	330,977	5.5%	(5,635,800)	(47.1%)
Transfers (Revenue)	417,000	417,000	\$ 545,000	128,000	30.7%	128,000	30.7%
Total Revenue	71,854,136	71,944,093	\$ 72,228,981	374,845	0.5%	284,888	0.4%
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	20,763,568	21,155,902	\$ 22,857,963	(2,094,395)	(10.1%)	(1,702,061)	(8.0%)
Overtime	531,210	281,644	\$ 346,716	184,494	34.7%	(65,072)	(23.1%)
Added Pay	2,186,781	1,449,308	\$ 1,476,368	710,413	32.5%	(27,060)	(1.9%)
Non Recurring Pay	485,850	305,754	\$ 347,674	138,177	28.4%	(41,919)	(13.7%)
Reimbursements	(3,977,287)	(395,000)	\$ (395,000)	(3,582,287)	90.1%	-	-
Total Salaries & Wages	19,990,122	22,797,608	\$ 24,633,720	(4,643,598)	(23.2%)	(1,836,112)	(8.1%)
<b>Fringe Benefits</b>							
Employer Payroll Taxes	1,750,046	1,733,867	\$ 1,870,974	(120,928)	(6.9%)	(137,107)	(7.9%)
Pension and Retirement	2,327,561	2,294,760	\$ 2,709,053	(381,492)	(16.4%)	(414,293)	(18.1%)
Health and Benefit Insurance	4,384,625	5,035,456	\$ 5,081,229	(696,603)	(15.9%)	(45,773)	(0.9%)
Total Fringe Benefits	8,462,232	9,064,083	\$ 9,661,256	(1,199,024)	(14.2%)	(597,173)	(6.6%)
Total Personnel	28,452,354	31,861,691	\$ 34,294,976	(5,842,622)	(20.5%)	(2,433,285)	(7.6%)
<b>Department Expenditures</b>							
Total Operational	44,282,932	47,107,758	\$ 50,721,910	(6,438,978)	(14.5%)	(3,614,152)	(7.7%)
Capital Expenditures	15,976,005	22,770,833	\$ 27,187,431	(11,211,426)	(70.2%)	(4,416,598)	(19.4%)
<b>Other Expenditures</b>							
Capital Leases	335,942	415,942	\$ 226,946	108,996	32.4%	188,996	45.4%
All Other	870,450	898,561	\$ 1,090,694	(220,244)	(25.3%)	(192,133)	(21.4%)
Total Other Expenditures	1,206,392	1,314,502	\$ 1,317,640	(111,248)	(9.2%)	(3,137)	(0.2%)
Transfers (Expenditures)	751,000	751,000	\$ (3,998,000)	4,749,000	632.4%	4,749,000	632.4%
Total Expenditures	62,216,329	71,944,093	\$ 75,228,981	(13,012,652)	(20.9%)	(3,284,888)	(4.6%)
<b>Net Revenues / (Expenditures)</b>	<b>\$ 9,637,807</b>	<b>-</b>	<b>\$ (3,000,000)</b>	<b>\$ (12,637,807)</b>		<b>\$ (3,000,000)</b>	

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**  
Fund: 20 Wastewater

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	10,879,694	10,101,070	11,463,681	583,987	5.4%	1,362,611	13.5%
Grants and Other Cost Sharing	79,524	-	2,012,500	1,932,976	> 999.9%	2,012,500	-
Other Revenues	182	500	193	11	6.0%	(307)	(61.5%)
Other Bond & Lease Proceeds	-	1,700,000	-	-	-	(1,700,000)	(100.0%)
Transfers (Revenue)	1,000	1,000	2,000	1,000	100.0%	1,000	100.0%
<b>Total Revenue</b>	<b>10,960,399</b>	<b>11,802,570</b>	<b>13,478,373</b>	<b>2,517,974</b>	<b>23.0%</b>	<b>1,675,803</b>	<b>14.2%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	507,559	670,227	724,338	(216,778)	(42.7%)	(54,110)	(8.1%)
Overtime	13,916	17,662	19,185	(5,269)	(37.9%)	(1,523)	(8.6%)
Added Pay	38,249	5,760	7,080	31,169	81.5%	(1,320)	(22.9%)
Non Recurring Pay	5,020	6,444	6,965	(1,945)	(38.7%)	(520)	(8.1%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>564,745</b>	<b>700,094</b>	<b>757,568</b>	<b>(192,823)</b>	<b>(34.1%)</b>	<b>(57,473)</b>	<b>(8.2%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	42,781	50,344	54,477	(11,696)	(27.3%)	(4,133)	(8.2%)
Pension and Retirement	34,269	42,006	45,454	(11,186)	(32.6%)	(3,448)	(8.2%)
Health and Benefit Insurance	139,946	151,743	233,658	(93,712)	(67.0%)	(81,915)	(54.0%)
<b>Total Fringe Benefits</b>	<b>216,996</b>	<b>244,093</b>	<b>333,589</b>	<b>(116,593)</b>	<b>(53.7%)</b>	<b>(89,496)</b>	<b>(36.7%)</b>
<b>Total Personnel</b>	<b>781,741</b>	<b>944,187</b>	<b>1,091,156</b>	<b>(309,416)</b>	<b>(39.6%)</b>	<b>(146,970)</b>	<b>(15.6%)</b>
<b>Department Expenditures</b>							
Total Operational	7,070,659	7,950,383	8,475,655	(1,404,995)	(19.9%)	(525,272)	(6.6%)
Capital Expenditures	651,353	1,940,000	3,575,000	(2,923,647)	(448.9%)	(1,635,000)	(84.3%)
<b>Other Expenditures</b>							
Capital Leases	91,347	91,347	91,347	-	-	-	-
All Other	306,840	306,840	306,371	469	0.2%	469	0.2%
<b>Total Other Expenditures</b>	<b>398,187</b>	<b>398,187</b>	<b>397,719</b>	<b>469</b>	<b>0.1%</b>	<b>469</b>	<b>0.1%</b>
Transfers (Expenditures)	264,000	264,000	280,000	(16,000)	(6.1%)	(16,000)	(6.1%)
<b>Total Expenditures</b>	<b>8,384,199</b>	<b>10,552,570</b>	<b>12,728,373</b>	<b>(4,344,174)</b>	<b>(51.8%)</b>	<b>(2,175,803)</b>	<b>(20.6%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 2,576,200</b>	<b>\$ 1,250,000</b>	<b>\$ 750,000</b>	<b>\$ (1,826,200)</b>	<b>(243.5%)</b>	<b>\$ (500,000)</b>	<b>(66.7%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**

Fund: 50 Community Betterment

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	1,051,326	1,004,000	1,054,000	2,674	0.3%	50,000	5.0%
Other Bond & Lease Proceeds	4,136	1,740	2,890	(1,246)	(30.1%)	1,150	66.1%
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>1,055,463</b>	<b>1,005,740</b>	<b>1,056,890</b>	<b>1,427</b>	<b>0.1%</b>	<b>51,150</b>	<b>5.1%</b>
<b>Expenditures</b>							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	302,463	252,740	951,890	(649,427)	(214.7%)	(699,150)	(276.6%)
<b>Total Operational</b>	<b>302,463</b>	<b>252,740</b>	<b>951,890</b>	<b>(649,427)</b>	<b>(214.7%)</b>	<b>(699,150)</b>	<b>(276.6%)</b>
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	3,000	3,000	855,000	(852,000)	(28400.0%)	(852,000)	(28400.0%)
<b>Total Expenditures</b>	<b>305,463</b>	<b>255,740</b>	<b>1,806,890</b>	<b>(1,501,427)</b>	<b>(491.5%)</b>	<b>(1,551,150)</b>	<b>(606.5%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 750,000</b>	<b>\$ 750,000</b>	<b>\$ (750,000)</b>	<b>\$ (1,500,000)</b>	<b>200.0%</b>	<b>\$ (1,500,000)</b>	<b>200.0%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**

Fund: 55 Economic Development

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	130	120	120	(10)	(7.8%)	-	-
Transfers (Revenue)	750,000	750,000	750,000	-	-	-	-
<b>Total Revenue</b>	<b>750,130</b>	<b>750,120</b>	<b>750,120</b>	<b>(10)</b>	<b>(0.0%)</b>	<b>-</b>	<b>-</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	25,070	120	120	24,950	99.5%	-	-
<b>Total Operational</b>	<b>25,070</b>	<b>120</b>	<b>120</b>	<b>24,950</b>	<b>99.5%</b>	<b>-</b>	<b>-</b>
Capital Expenditures	725,060	750,000	750,000	(24,940)	(3.4%)	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>750,130</b>	<b>750,120</b>	<b>750,120</b>	<b>10</b>	<b>0.0%</b>	<b>-</b>	<b>-</b>
<b>Net Revenues / (Expenditures)</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>\$ (0)</b>	<b>-</b>	<b>-</b>	<b>-</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**

Fund: 60 Community Development

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	668,933	668,933	416,113	(252,820)	(37.8%)	(252,820)	(37.8%)
Other Revenues	9,694	-	-	(9,694)	(100.0%)	-	-
Other Bond & Lease Proceeds	8,991	19,800	19,800	10,809	120.2%	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>687,618</b>	<b>688,733</b>	<b>435,913</b>	<b>(251,705)</b>	<b>(36.6%)</b>	<b>(252,820)</b>	<b>(36.7%)</b>
<b>Expenditures</b>							
Salaries & Wages	-	-	-	-	-	-	-
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Fringe Benefits	-	-	-	-	-	-	-
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	688,733	688,733	435,913	252,820	36.7%	252,820	36.7%
<b>Total Operational</b>	<b>688,733</b>	<b>688,733</b>	<b>435,913</b>	<b>252,820</b>	<b>36.7%</b>	<b>252,820</b>	<b>36.7%</b>
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures	-	-	-	-	-	-	-
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>688,733</b>	<b>688,733</b>	<b>435,913</b>	<b>252,820</b>	<b>36.7%</b>	<b>252,820</b>	<b>36.7%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (1,115)</b>	<b>-</b>	<b>-</b>	<b>\$ 1,115</b>	<b>-</b>	<b>-</b>	<b>-</b>



**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**

[Fund: 81 Federal Forfeitures](#)

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	142,319	53,000	53,000	(89,319)	(62.8%)	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	2	-	-	(2)	(100.0%)	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>142,321</b>	<b>53,000</b>	<b>53,000</b>	<b>(89,321)</b>	<b>(62.8%)</b>	<b>-</b>	<b>-</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	142,321	53,000	53,000	89,321	62.8%	-	-
<b>Total Operational</b>	<b>142,321</b>	<b>53,000</b>	<b>53,000</b>	<b>89,321</b>	<b>62.8%</b>	<b>-</b>	<b>-</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>142,321</b>	<b>53,000</b>	<b>53,000</b>	<b>89,321</b>	<b>62.8%</b>	<b>-</b>	<b>-</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 0</b>	<b>-</b>	<b>-</b>	<b>\$ (0)</b>	<b>-</b>	<b>-</b>	<b>-</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**

[Fund: 95 General Obligation Bonds](#)

	2020-21		2021-22				
	9+3		2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud		
	Forecast 2020-21	Budget 2020-21	Budget 2021-22	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	\$ 8,358,197	\$ 8,068,161	\$ 7,684,850	\$ (673,347)	(8.1%)	\$ (383,311)	(4.8%)
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	34,218	-	-	(34,218)	(100.0%)	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	227	-	-	(227)	(100.0%)	-	-
Other Bond & Lease Proceeds	6,609,547	5,000,000	8,000,400	1,390,853	21.0%	3,000,400	60.0%
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>15,002,187</b>	<b>13,068,161</b>	<b>15,685,250</b>	<b>683,063</b>	<b>4.6%</b>	<b>2,617,089</b>	<b>20.0%</b>
<b>Expenditures</b>							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	110,897	110,973	92,180	18,717	16.9%	18,793	16.9%
<b>Total Operational</b>	<b>110,897</b>	<b>110,973</b>	<b>92,180</b>	<b>18,717</b>	<b>16.9%</b>	<b>18,793</b>	<b>16.9%</b>
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	13,943,053	12,807,188	12,183,070	1,759,984	12.6%	624,119	4.9%
<b>Total Other Expenditures</b>	<b>13,943,053</b>	<b>12,807,188</b>	<b>12,183,070</b>	<b>1,759,984</b>	<b>12.6%</b>	<b>624,119</b>	<b>4.9%</b>
Transfers (Expenditures)	150,000	150,000	4,160,000	(4,010,000)	(2673.3%)	(4,010,000)	(2673.3%)
<b>Total Expenditures</b>	<b>14,203,950</b>	<b>13,068,161</b>	<b>16,435,250</b>	<b>(2,231,300)</b>	<b>(15.7%)</b>	<b>(3,367,089)</b>	<b>(25.8%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 798,237</b>	<b>-</b>	<b>\$ (750,000)</b>	<b>\$ (1,548,237)</b>	<b>206.4%</b>	<b>\$ (750,000)</b>	<b>100.0%</b>

# City of Bellevue

## Summary Budget Schedules By General Fund Department

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 01 Mayor

	2020-21		2021-22				
	9+3	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast 2020-21			Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	19,582	19,856	21,336	(1,754)	(9.0%)	(1,480)	(7.5%)
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>19,582</b>	<b>19,856</b>	<b>21,336</b>	<b>(1,754)</b>	<b>(9.0%)</b>	<b>(1,480)</b>	<b>(7.5%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	1,498	1,519	1,632	(134)	(9.0%)	(113)	(7.5%)
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>1,498</b>	<b>1,519</b>	<b>1,632</b>	<b>(134)</b>	<b>(9.0%)</b>	<b>(113)</b>	<b>(7.5%)</b>
<b>Total Personnel</b>	<b>21,080</b>	<b>21,375</b>	<b>22,968</b>	<b>(1,888)</b>	<b>(9.0%)</b>	<b>(1,593)</b>	<b>(7.5%)</b>
<b>Department Expenditures</b>	<b>9,802</b>	<b>9,802</b>	<b>9,969</b>	<b>(167)</b>	<b>(1.7%)</b>	<b>(167)</b>	<b>(1.7%)</b>
<b>Total Operational</b>	<b>30,882</b>	<b>31,177</b>	<b>32,937</b>	<b>(2,055)</b>	<b>(6.7%)</b>	<b>(1,760)</b>	<b>(5.6%)</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>30,882</b>	<b>31,177</b>	<b>32,937</b>	<b>(2,055)</b>	<b>(6.7%)</b>	<b>(1,760)</b>	<b>(5.6%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (30,882)</b>	<b>\$ (31,177)</b>	<b>\$ (32,937)</b>	<b>\$ (2,055)</b>	<b>(6.2%)</b>	<b>\$ (1,760)</b>	<b>(5.3%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 02 City Administrator

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	50	300	100	50	100.0%	(200)	(66.7%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>50</b>	<b>300</b>	<b>100</b>	<b>50</b>	<b>100.0%</b>	<b>(200)</b>	<b>(66.7%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	338,653	336,115	367,099	(28,447)	(8.4%)	(30,984)	(9.2%)
Overtime	856	1,327	1,347	(492)	(57.5%)	(20)	(1.5%)
Added Pay	30,326	5,400	6,240	24,086	79.4%	(840)	(15.6%)
Non Recurring Pay	3,232	3,232	3,530	(298)	(9.2%)	(298)	(9.2%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>373,066</b>	<b>346,074</b>	<b>378,216</b>	<b>(5,150)</b>	<b>(1.4%)</b>	<b>(32,143)</b>	<b>(9.3%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	24,715	24,883	27,194	(2,479)	(10.0%)	(2,311)	(9.3%)
Pension and Retirement	23,084	20,804	22,733	351	1.5%	(1,929)	(9.3%)
Health and Benefit Insurance	59,340	61,936	61,898	(2,559)	(4.3%)	37	0.1%
<b>Total Fringe Benefits</b>	<b>107,139</b>	<b>107,623</b>	<b>111,826</b>	<b>(4,687)</b>	<b>(4.4%)</b>	<b>(4,203)</b>	<b>(3.9%)</b>
<b>Total Personnel</b>	<b>480,206</b>	<b>453,697</b>	<b>490,043</b>	<b>(9,837)</b>	<b>(2.0%)</b>	<b>(36,346)</b>	<b>(8.0%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>512,994</b>	<b>495,503</b>	<b>529,426</b>	<b>(16,431)</b>	<b>(3.2%)</b>	<b>(33,923)</b>	<b>(6.8%)</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>512,994</b>	<b>495,503</b>	<b>529,426</b>	<b>(16,431)</b>	<b>(3.2%)</b>	<b>(33,923)</b>	<b>(6.8%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (512,944)</b>	<b>\$ (495,203)</b>	<b>\$ (529,326)</b>	<b>\$ (16,381)</b>	<b>(3.1%)</b>	<b>\$ (34,123)</b>	<b>(6.4%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 03 Legal

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	1,738	-	-	(1,738)	(100.0%)	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>1,738</b>	<b>-</b>	<b>-</b>	<b>(1,738)</b>	<b>(100.0%)</b>	<b>-</b>	<b>-</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	174,854	185,198	215,705	(40,851)	(23.4%)	(30,506)	(16.5%)
Overtime	1,029	1,959	-	1,029	100.0%	1,959	100.0%
Added Pay	6,284	1,260	1,260	5,024	79.9%	-	-
Non Recurring Pay	4,313	-	4,399	(86)	(2.0%)	(4,399)	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>186,479</b>	<b>188,418</b>	<b>221,364</b>	<b>(34,884)</b>	<b>(18.7%)</b>	<b>(32,946)</b>	<b>(17.5%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	13,672	13,692	15,751	(2,079)	(15.2%)	(2,059)	(15.0%)
Pension and Retirement	10,790	11,425	13,142	(2,352)	(21.8%)	(1,718)	(15.0%)
Health and Benefit Insurance	25,938	41,578	32,116	(6,178)	(23.8%)	9,462	22.8%
<b>Total Fringe Benefits</b>	<b>50,400</b>	<b>66,695</b>	<b>61,010</b>	<b>(10,610)</b>	<b>(21.1%)</b>	<b>5,685</b>	<b>8.5%</b>
<b>Total Personnel</b>	<b>236,879</b>	<b>255,113</b>	<b>282,373</b>	<b>(45,494)</b>	<b>(19.2%)</b>	<b>(27,260)</b>	<b>(10.7%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>364,350</b>	<b>376,086</b>	<b>401,545</b>	<b>(37,196)</b>	<b>(10.2%)</b>	<b>(25,459)</b>	<b>(6.8%)</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>364,350</b>	<b>376,086</b>	<b>401,545</b>	<b>(37,196)</b>	<b>(10.2%)</b>	<b>(25,459)</b>	<b>(6.8%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (362,612)</b>	<b>\$ (376,086)</b>	<b>\$ (401,545)</b>	<b>\$ (38,933)</b>	<b>(9.7%)</b>	<b>\$ (25,459)</b>	<b>(6.3%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 04 Cable

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	126,571	141,100	129,100	2,529	2.0%	(12,000)	(8.5%)
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>126,571</b>	<b>141,100</b>	<b>129,100</b>	<b>2,529</b>	<b>2.0%</b>	<b>(12,000)</b>	<b>(8.5%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	127,673	135,671	140,748	(13,075)	(10.2%)	(5,077)	(3.7%)
Overtime	1,146	1,174	1,227	(80)	(7.0%)	(53)	(4.5%)
Added Pay	10,099	3,240	3,240	6,859	67.9%	-	-
Non Recurring Pay	1,465	1,305	1,353	111	7.6%	(49)	(3.7%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>140,383</b>	<b>141,390</b>	<b>146,568</b>	<b>(6,185)</b>	<b>(4.4%)</b>	<b>(5,178)</b>	<b>(3.7%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	9,939	10,159	10,531	(593)	(6.0%)	(372)	(3.7%)
Pension and Retirement	8,473	8,589	8,904	(432)	(5.1%)	(315)	(3.7%)
Health and Benefit Insurance	48,045	50,487	50,459	(2,414)	(5.0%)	28	0.1%
<b>Total Fringe Benefits</b>	<b>66,456</b>	<b>69,235</b>	<b>69,894</b>	<b>(3,438)</b>	<b>(5.2%)</b>	<b>(659)</b>	<b>(1.0%)</b>
<b>Total Personnel</b>	<b>206,839</b>	<b>210,625</b>	<b>216,462</b>	<b>(9,623)</b>	<b>(4.7%)</b>	<b>(5,838)</b>	<b>(2.8%)</b>
Department Expenditures	29,665	29,665	30,414	(749)	(2.5%)	(749)	(2.5%)
<b>Total Operational</b>	<b>236,504</b>	<b>240,290</b>	<b>246,876</b>	<b>(10,372)</b>	<b>(4.4%)</b>	<b>(6,587)</b>	<b>(2.7%)</b>
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures	-	-	-	-	-	-	-
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>236,504</b>	<b>240,290</b>	<b>246,876</b>	<b>(10,372)</b>	<b>(4.4%)</b>	<b>(6,587)</b>	<b>(2.7%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (109,933)</b>	<b>\$ (99,190)</b>	<b>\$ (117,776)</b>	<b>\$ (7,843)</b>	<b>(6.7%)</b>	<b>\$ (18,587)</b>	<b>(15.8%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 05 Clerk

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	87,478	108,823	105,323	17,845	20.4%	(3,500)	(3.2%)
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	35	-	(100)	(135)	(384.5%)	(100)	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>87,513</b>	<b>108,823</b>	<b>105,223</b>	<b>17,710</b>	<b>20.2%</b>	<b>(3,600)</b>	<b>(3.3%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	123,393	130,777	142,161	(18,768)	(15.2%)	(11,384)	(8.7%)
Overtime	779	1,829	1,913	(1,135)	(145.7%)	(84)	(4.6%)
Added Pay	9,165	2,340	2,340	6,825	74.5%	-	-
Non Recurring Pay	-	1,257	1,367	(1,367)	-	(109)	(8.7%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>133,336</b>	<b>136,204</b>	<b>147,781</b>	<b>(14,445)</b>	<b>(10.8%)</b>	<b>(11,577)</b>	<b>(8.5%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	9,540	9,808	10,640	(1,099)	(11.5%)	(832)	(8.5%)
Pension and Retirement	8,085	8,300	9,000	(915)	(11.3%)	(700)	(8.4%)
Health and Benefit Insurance	29,086	32,105	26,411	2,675	9.2%	5,694	17.7%
<b>Total Fringe Benefits</b>	<b>46,711</b>	<b>50,213</b>	<b>46,050</b>	<b>661</b>	<b>1.4%</b>	<b>4,162</b>	<b>8.3%</b>
<b>Total Personnel</b>	<b>180,047</b>	<b>186,416</b>	<b>193,831</b>	<b>(13,784)</b>	<b>(7.7%)</b>	<b>(7,415)</b>	<b>(4.0%)</b>
<b>Department Expenditures</b>							
Total Operational	223,434	256,894	257,140	(33,706)	(15.1%)	(246)	(0.1%)
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	40,538	40,538	40,538	-	-	-	-
<b>Total Other Expenditures</b>	<b>40,538</b>	<b>40,538</b>	<b>40,538</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>263,972</b>	<b>297,432</b>	<b>297,678</b>	<b>(33,706)</b>	<b>(12.8%)</b>	<b>(246)</b>	<b>(0.1%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (176,459)</b>	<b>\$ (188,609)</b>	<b>\$ (192,455)</b>	<b>\$ (15,996)</b>	<b>(8.3%)</b>	<b>\$ (3,846)</b>	<b>(2.0%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 06 Finance

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	6,100	6,100	6,100	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	1,394	1,200	1,200	(194)	(13.9%)	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>7,494</b>	<b>7,300</b>	<b>7,300</b>	<b>(194)</b>	<b>(2.6%)</b>	<b>-</b>	<b>-</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	492,211	559,995	559,162	(66,951)	(13.6%)	833	0.1%
Overtime	1,583	3,910	3,354	(1,771)	(111.9%)	556	14.2%
Added Pay	45,935	15,480	16,077	29,857	65.0%	(597)	(3.9%)
Non Recurring Pay	34,265	34,265	46,134	(11,870)	(34.6%)	(11,870)	(34.6%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>573,993</b>	<b>613,649</b>	<b>624,728</b>	<b>(50,735)</b>	<b>(8.8%)</b>	<b>(11,079)</b>	<b>(1.8%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	40,605	44,401	45,280	(4,676)	(11.5%)	(879)	(2.0%)
Pension and Retirement	32,895	37,050	37,807	(4,912)	(14.9%)	(757)	(2.0%)
Health and Benefit Insurance	77,055	94,782	98,094	(21,039)	(27.3%)	(3,312)	(3.5%)
<b>Total Fringe Benefits</b>	<b>150,554</b>	<b>176,234</b>	<b>181,181</b>	<b>(30,627)</b>	<b>(20.3%)</b>	<b>(4,947)</b>	<b>(2.8%)</b>
<b>Total Personnel</b>	<b>724,547</b>	<b>789,883</b>	<b>805,909</b>	<b>(81,362)</b>	<b>(11.2%)</b>	<b>(16,026)</b>	<b>(2.0%)</b>
<b>Department Expenditures</b>							
Total Operational	805,160	882,186	888,093	(82,933)	(10.3%)	(5,907)	(0.7%)
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>805,160</b>	<b>882,186</b>	<b>888,093</b>	<b>(82,933)</b>	<b>(10.3%)</b>	<b>(5,907)</b>	<b>(0.7%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (797,666)</b>	<b>\$ (874,886)</b>	<b>\$ (880,793)</b>	<b>\$ (83,127)</b>	<b>(9.4%)</b>	<b>\$ (5,907)</b>	<b>(0.7%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 07 Library

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	35,340	33,252	33,252	(2,088)	(5.9%)	-	-
Grants and Other Cost Sharing	500,000	500,000	-	(500,000)	(100.0%)	(500,000)	(100.0%)
Other Revenues	281	200	200	(81)	(28.9%)	-	-
Other Bond & Lease Proceeds	-	4,000,000	-	-	-	(4,000,000)	(100.0%)
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>535,621</b>	<b>4,533,452</b>	<b>33,452</b>	<b>(502,169)</b>	<b>(93.8%)</b>	<b>(4,500,000)</b>	<b>(99.3%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	614,597	638,288	642,136	(27,538)	(4.5%)	(3,848)	(0.6%)
Overtime	1,472	3,964	3,896	(2,424)	(164.7%)	68	1.7%
Added Pay	25,667	9,840	7,620	18,047	70.3%	2,220	22.6%
Non Recurring Pay	53,893	26,427	26,521	27,373	50.8%	(94)	(0.4%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>695,629</b>	<b>678,519</b>	<b>680,172</b>	<b>15,457</b>	<b>2.2%</b>	<b>(1,654)</b>	<b>(0.2%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	50,105	49,757	49,864	241	0.5%	(107)	(0.2%)
Pension and Retirement	27,264	28,106	28,565	(1,300)	(4.8%)	(459)	(1.6%)
Health and Benefit Insurance	103,800	128,466	128,298	(24,498)	(23.6%)	168	0.1%
<b>Total Fringe Benefits</b>	<b>181,170</b>	<b>206,329</b>	<b>206,727</b>	<b>(25,558)</b>	<b>(14.1%)</b>	<b>(399)</b>	<b>(0.2%)</b>
<b>Total Personnel</b>	<b>876,799</b>	<b>884,847</b>	<b>886,900</b>	<b>(10,101)</b>	<b>(1.2%)</b>	<b>(2,053)</b>	<b>(0.2%)</b>
<b>Department Expenditures</b>							
Total Operational	1,162,832	1,170,880	1,179,481	(16,649)	(1.4%)	(8,601)	(0.7%)
Capital Expenditures	3,500,000	4,500,000	4,000,000	(500,000)	(14.3%)	500,000	11.1%
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	(4,000,000)	4,000,000	-	4,000,000	-
<b>Total Expenditures</b>	<b>4,662,832</b>	<b>5,670,880</b>	<b>1,179,481</b>	<b>3,483,351</b>	<b>74.7%</b>	<b>4,491,399</b>	<b>79.2%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (4,127,211)</b>	<b>\$ (1,137,428)</b>	<b>\$ (1,146,029)</b>	<b>\$ 2,981,182</b>	<b>260.1%</b>	<b>\$ (8,601)</b>	<b>(0.8%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 08 Admin Services

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	151,916	152,500	152,500	584	0.4%	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	12,400	12,400	15,200	2,800	22.6%	2,800	22.6%
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>164,316</b>	<b>164,900</b>	<b>167,700</b>	<b>3,384</b>	<b>2.1%</b>	<b>2,800</b>	<b>1.7%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	481,533	561,210	578,044	(96,511)	(20.0%)	(16,834)	(3.0%)
Overtime	2,705	5,465	5,718	(3,013)	(111.4%)	(253)	(4.6%)
Added Pay	39,633	30,460	27,820	11,813	29.8%	2,640	8.7%
Non Recurring Pay	40,944	4,910	5,037	35,906	87.7%	(127)	(2.6%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>564,815</b>	<b>602,045</b>	<b>616,619</b>	<b>(51,804)</b>	<b>(9.2%)</b>	<b>(14,574)</b>	<b>(2.4%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	56,633	42,339	43,160	13,473	23.8%	(822)	(1.9%)
Pension and Retirement	31,954	32,260	33,090	(1,136)	(3.6%)	(830)	(2.6%)
Health and Benefit Insurance	155,758	150,564	146,855	8,903	5.7%	3,708	2.5%
<b>Total Fringe Benefits</b>	<b>244,346</b>	<b>225,163</b>	<b>223,106</b>	<b>21,240</b>	<b>8.7%</b>	<b>2,057</b>	<b>0.9%</b>
<b>Total Personnel</b>	<b>809,161</b>	<b>827,208</b>	<b>839,725</b>	<b>(30,564)</b>	<b>(3.8%)</b>	<b>(12,517)</b>	<b>(1.5%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>1,078,019</b>	<b>1,124,537</b>	<b>1,140,226</b>	<b>(62,207)</b>	<b>(5.8%)</b>	<b>(15,889)</b>	<b>(1.4%)</b>
Capital Expenditures	-	-	70,000	(70,000)	-	(70,000)	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>1,078,019</b>	<b>1,124,537</b>	<b>1,210,226</b>	<b>(132,207)</b>	<b>(12.3%)</b>	<b>(85,689)</b>	<b>(7.6%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (913,703)</b>	<b>\$ (959,637)</b>	<b>\$ (1,042,526)</b>	<b>\$ (128,823)</b>	<b>(12.4%)</b>	<b>\$ (82,889)</b>	<b>(8.0%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 09 Code Enforcement

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	10,834	60,000	71,700	60,867	561.8%	11,700	19.5%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	2,136	-	2,200	64	3.0%	2,200	-
Other Bond & Lease Proceeds	34	-	-	(34)	(100.0%)	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>13,004</b>	<b>60,000</b>	<b>73,900</b>	<b>60,896</b>	<b>468.3%</b>	<b>13,900</b>	<b>23.2%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	299,647	331,334	328,446	(28,799)	(9.6%)	2,887	0.9%
Overtime	4,623	6,627	6,569	(1,946)	(42.1%)	58	0.9%
Added Pay	20,335	8,655	8,490	11,845	58.2%	165	1.9%
Non Recurring Pay	2,609	2,609	3,158	(549)	(21.0%)	(549)	(21.0%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>327,215</b>	<b>349,224</b>	<b>346,664</b>	<b>(19,449)</b>	<b>(5.9%)</b>	<b>2,561</b>	<b>0.7%</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	22,482	25,098	24,914	(2,432)	(10.8%)	184	0.7%
Pension and Retirement	19,280	21,152	20,997	(1,716)	(8.9%)	155	0.7%
Health and Benefit Insurance	125,225	156,454	119,322	5,903	4.7%	37,132	23.7%
<b>Total Fringe Benefits</b>	<b>166,987</b>	<b>202,704</b>	<b>165,232</b>	<b>1,755</b>	<b>1.1%</b>	<b>37,472</b>	<b>18.5%</b>
<b>Total Personnel</b>	<b>494,202</b>	<b>551,928</b>	<b>511,896</b>	<b>(17,694)</b>	<b>(3.6%)</b>	<b>40,032</b>	<b>7.3%</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>611,443</b>	<b>655,352</b>	<b>627,367</b>	<b>(15,924)</b>	<b>(2.6%)</b>	<b>27,985</b>	<b>4.3%</b>
Capital Expenditures	43,250	43,250	61,431	(18,181)	(42.0%)	(18,181)	(42.0%)
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>654,693</b>	<b>698,602</b>	<b>688,798</b>	<b>(34,105)</b>	<b>(5.2%)</b>	<b>9,804</b>	<b>1.4%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (641,689)</b>	<b>\$ (638,602)</b>	<b>\$ (614,898)</b>	<b>\$ 26,791</b>	<b>4.4%</b>	<b>\$ 23,704</b>	<b>3.9%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 10 Public Works

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	296,728	157,500	162,300	(134,428)	(45.3%)	4,800	3.0%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	12,500	-	-	-	(12,500)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>296,728</b>	<b>170,000</b>	<b>162,300</b>	<b>(134,428)</b>	<b>(45.3%)</b>	<b>(7,700)</b>	<b>(4.5%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	390,876	519,231	452,124	(61,248)	(15.7%)	67,107	12.9%
Overtime	1,220	1,128	1,234	(14)	(1.2%)	(106)	(9.4%)
Added Pay	18,596	2,880	2,280	16,316	87.7%	600	20.8%
Non Recurring Pay	4,202	4,204	4,347	(145)	(3.5%)	(143)	(3.4%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>414,894</b>	<b>527,444</b>	<b>459,985</b>	<b>(45,092)</b>	<b>(10.9%)</b>	<b>67,458</b>	<b>12.8%</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	30,409	37,925	33,088	(2,680)	(8.8%)	4,837	12.8%
Pension and Retirement	23,680	31,689	27,608	(3,928)	(16.6%)	4,081	12.9%
Health and Benefit Insurance	89,027	83,201	89,563	(536)	(0.6%)	(6,362)	(7.6%)
<b>Total Fringe Benefits</b>	<b>143,115</b>	<b>152,815</b>	<b>150,259</b>	<b>(7,144)</b>	<b>(5.0%)</b>	<b>2,556</b>	<b>1.7%</b>
<b>Total Personnel</b>	<b>558,009</b>	<b>680,259</b>	<b>610,244</b>	<b>(52,236)</b>	<b>(9.4%)</b>	<b>70,014</b>	<b>10.3%</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>890,817</b>	<b>1,202,502</b>	<b>1,121,798</b>	<b>(230,982)</b>	<b>(25.9%)</b>	<b>80,703</b>	<b>6.7%</b>
Capital Expenditures	(1,353)	-	-	(1,353)	100.0%	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>889,464</b>	<b>1,202,502</b>	<b>1,121,798</b>	<b>(232,334)</b>	<b>(26.1%)</b>	<b>80,703</b>	<b>6.7%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (592,737)</b>	<b>\$ (1,032,502)</b>	<b>\$ (959,498)</b>	<b>\$ (366,762)</b>	<b>(38.2%)</b>	<b>\$ 73,003</b>	<b>7.6%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 11 Parks

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	32,460	138,800	138,800	106,340	327.6%	-	-
Grants and Other Cost Sharing	229,677	200,000	200,000	(29,677)	(12.9%)	-	-
Other Revenues	28,526	19,800	27,500	(1,026)	(3.6%)	7,700	38.9%
Other Bond & Lease Proceeds	-	1,200,100	100	100	-	(1,200,000)	(100.0%)
Transfers (Revenue)	-	-	100,000	100,000	-	100,000	-
<b>Total Revenue</b>	<b>290,663</b>	<b>1,558,700</b>	<b>466,400</b>	<b>175,737</b>	<b>60.5%</b>	<b>(1,092,300)</b>	<b>(70.1%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	447,252	430,658	605,295	(158,043)	(35.3%)	(174,637)	(40.6%)
Overtime	12,196	8,613	9,863	2,333	19.1%	(1,250)	(14.5%)
Added Pay	325,928	7,980	9,060	316,869	97.2%	(1,080)	(13.5%)
Non Recurring Pay	4,141	4,141	4,742	(601)	(14.5%)	(601)	(14.5%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>789,518</b>	<b>451,391</b>	<b>628,960</b>	<b>160,558</b>	<b>20.3%</b>	<b>(177,568)</b>	<b>(39.3%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	58,357	32,451	45,731	12,626	21.6%	(13,281)	(40.9%)
Pension and Retirement	28,506	27,351	31,314	(2,808)	(9.9%)	(3,963)	(14.5%)
Health and Benefit Insurance	105,439	109,445	110,051	(4,612)	(4.4%)	(605)	(0.6%)
<b>Total Fringe Benefits</b>	<b>192,301</b>	<b>169,247</b>	<b>187,096</b>	<b>5,205</b>	<b>2.7%</b>	<b>(17,849)</b>	<b>(10.5%)</b>
<b>Total Personnel</b>	<b>981,819</b>	<b>620,638</b>	<b>816,056</b>	<b>165,763</b>	<b>16.9%</b>	<b>(195,417)</b>	<b>(31.5%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>1,844,787</b>	<b>1,387,154</b>	<b>1,889,377</b>	<b>(44,589)</b>	<b>(2.4%)</b>	<b>(502,222)</b>	<b>(36.2%)</b>
Capital Expenditures	1,751,112	1,650,000	1,650,000	101,112	5.8%	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>3,595,899</b>	<b>3,037,154</b>	<b>3,539,377</b>	<b>56,523</b>	<b>1.6%</b>	<b>(502,222)</b>	<b>(16.5%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (3,305,236)</b>	<b>\$ (1,478,454)</b>	<b>\$ (3,072,977)</b>	<b>\$ 232,259</b>	<b>7.6%</b>	<b>\$ (1,594,522)</b>	<b>(51.9%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 12 Recreation

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	173,181	103,600	196,900	23,719	13.7%	93,300	90.1%
Grants and Other Cost Sharing	-	21,422	21,422	21,422	-	-	-
Other Revenues	404	500	400	(4)	(1.1%)	(100)	(20.0%)
Other Bond & Lease Proceeds	40,000	-	40,800	800	2.0%	40,800	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>213,586</b>	<b>125,522</b>	<b>259,522</b>	<b>45,936</b>	<b>21.5%</b>	<b>134,000</b>	<b>106.8%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	526,230	526,004	539,320	(13,090)	(2.5%)	(13,316)	(2.5%)
Overtime	-	-	-	-	-	-	-
Added Pay	11,577	3,660	3,660	7,917	68.4%	-	-
Non Recurring Pay	2,886	1,443	1,566	1,320	45.7%	(124)	(8.6%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>540,693</b>	<b>531,107</b>	<b>544,546</b>	<b>(3,853)</b>	<b>(0.7%)</b>	<b>(13,440)</b>	<b>(2.5%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	30,367	39,943	40,912	(10,545)	(34.7%)	(969)	(2.4%)
Pension and Retirement	9,552	9,331	10,110	(557)	(5.8%)	(779)	(8.3%)
Health and Benefit Insurance	28,505	28,736	28,784	(279)	(1.0%)	(48)	(0.2%)
<b>Total Fringe Benefits</b>	<b>68,423</b>	<b>78,010</b>	<b>79,805</b>	<b>(11,382)</b>	<b>(16.6%)</b>	<b>(1,796)</b>	<b>(2.3%)</b>
<b>Total Personnel</b>	<b>609,116</b>	<b>609,116</b>	<b>624,352</b>	<b>(15,236)</b>	<b>(2.5%)</b>	<b>(15,236)</b>	<b>(2.5%)</b>
<b>Department Expenditures</b>							
Total Operational	810,520	810,520	829,508	(18,988)	(2.3%)	(18,988)	(2.3%)
Capital Expenditures	10,759	-	-	10,759	100.0%	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>821,279</b>	<b>810,520</b>	<b>829,508</b>	<b>(8,229)</b>	<b>(1.0%)</b>	<b>(18,988)</b>	<b>(2.3%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (607,694)</b>	<b>\$ (684,998)</b>	<b>\$ (569,986)</b>	<b>\$ 37,708</b>	<b>6.6%</b>	<b>\$ 115,012</b>	<b>20.2%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 13 Building Maintenance

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	11,857	2,100	12,100	243	2.1%	10,000	476.2%
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>11,857</b>	<b>2,100</b>	<b>12,100</b>	<b>243</b>	<b>2.1%</b>	<b>10,000</b>	<b>476.2%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	303,189	285,094	313,148	(9,959)	(3.3%)	(28,054)	(9.8%)
Overtime	13,781	8,553	8,466	5,316	38.6%	87	1.0%
Added Pay	21,612	8,880	6,660	14,953	69.2%	2,220	25.0%
Non Recurring Pay	2,741	2,741	2,713	28	1.0%	28	1.0%
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>341,325</b>	<b>305,268</b>	<b>330,987</b>	<b>10,337</b>	<b>3.0%</b>	<b>(25,719)</b>	<b>(8.4%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	24,350	21,952	23,905	446	1.8%	(1,953)	(8.9%)
Pension and Retirement	20,452	18,316	18,510	1,942	9.5%	(194)	(1.1%)
Health and Benefit Insurance	104,004	116,398	98,905	5,099	4.9%	17,493	15.0%
<b>Total Fringe Benefits</b>	<b>148,806</b>	<b>156,666</b>	<b>141,319</b>	<b>7,487</b>	<b>5.0%</b>	<b>15,346</b>	<b>9.8%</b>
<b>Total Personnel</b>	<b>490,131</b>	<b>461,934</b>	<b>472,307</b>	<b>17,824</b>	<b>3.6%</b>	<b>(10,372)</b>	<b>(2.2%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>1,074,599</b>	<b>1,001,115</b>	<b>1,008,260</b>	<b>66,340</b>	<b>6.2%</b>	<b>(7,144)</b>	<b>(0.7%)</b>
Capital Expenditures	59,478	-	75,000	(15,522)	(26.1%)	(75,000)	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>1,134,077</b>	<b>1,001,115</b>	<b>1,083,260</b>	<b>50,817</b>	<b>4.5%</b>	<b>(82,144)</b>	<b>(8.2%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (1,122,220)</b>	<b>\$ (999,015)</b>	<b>\$ (1,071,160)</b>	<b>\$ 51,061</b>	<b>4.8%</b>	<b>\$ (72,144)</b>	<b>(6.7%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 14 Cemetery

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	102,800	102,800	160,700	57,900	56.3%	57,900	56.3%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	500	500	500	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>103,300</b>	<b>103,300</b>	<b>161,200</b>	<b>57,900</b>	<b>56.1%</b>	<b>57,900</b>	<b>56.1%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	96,887	100,221	154,918	(58,032)	(59.9%)	(54,698)	(54.6%)
Overtime	11,118	3,007	4,648	6,470	58.2%	(1,641)	(54.6%)
Added Pay	6,193	2,640	3,960	2,233	36.1%	(1,320)	(50.0%)
Non Recurring Pay	1,030	964	1,490	(459)	(44.6%)	(526)	(54.6%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>115,228</b>	<b>106,831</b>	<b>165,016</b>	<b>(49,788)</b>	<b>(43.2%)</b>	<b>(58,185)</b>	<b>(54.5%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	8,533	7,682	11,866	(3,334)	(39.1%)	(4,184)	(54.5%)
Pension and Retirement	6,928	6,410	9,901	(2,973)	(42.9%)	(3,491)	(54.5%)
Health and Benefit Insurance	19,514	20,173	30,287	(10,773)	(55.2%)	(10,115)	(50.1%)
<b>Total Fringe Benefits</b>	<b>34,975</b>	<b>34,265</b>	<b>52,055</b>	<b>(17,080)</b>	<b>(48.8%)</b>	<b>(17,790)</b>	<b>(51.9%)</b>
<b>Total Personnel</b>	<b>150,203</b>	<b>141,096</b>	<b>217,070</b>	<b>(66,867)</b>	<b>(44.5%)</b>	<b>(75,974)</b>	<b>(53.8%)</b>
<b>Department Expenditures</b>							
Total Operational	208,396	199,289	289,775	(81,379)	(39.1%)	(90,486)	(45.4%)
Capital Expenditures	150,000	150,000	100,000	50,000	33.3%	50,000	33.3%
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>358,396</b>	<b>349,289</b>	<b>389,775</b>	<b>(31,379)</b>	<b>(8.8%)</b>	<b>(40,486)</b>	<b>(11.6%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (255,096)</b>	<b>\$ (245,989)</b>	<b>\$ (228,575)</b>	<b>\$ 26,521</b>	<b>11.6%</b>	<b>\$ 17,414</b>	<b>7.6%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 15 Streets

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	\$ 1,540,644	\$ 409,800	\$ 1,571,400	\$ 30,756	2.0%	\$ 1,161,600	283.5%
Sales Taxes	2,277,289	1,426,000	2,391,000	113,711	5.0%	965,000	67.7%
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	6,409,000	5,317,044	5,879,407	(529,593)	(8.3%)	562,363	10.6%
Fees, Permits and Licenses	175,639	50,000	50,000	(125,639)	(71.5%)	-	-
Grants and Other Cost Sharing	3,120,000	6,264,000	7,415,000	4,295,000	137.7%	1,151,000	18.4%
Other Revenues	129,253	49,300	142,300	13,047	10.1%	93,000	188.6%
Other Bond & Lease Proceeds	5,930,000	5,340,000	6,260,000	330,000	5.6%	920,000	17.2%
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>19,581,825</b>	<b>18,856,144</b>	<b>23,709,107</b>	<b>4,127,282</b>	<b>21.1%</b>	<b>4,852,963</b>	<b>25.7%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	1,419,964	1,507,026	1,646,306	(226,341)	(15.9%)	(139,279)	(9.2%)
Overtime	76,213	42,447	45,922	30,292	39.7%	(3,475)	(8.2%)
Added Pay	156,161	34,560	35,527	120,634	77.2%	(967)	(2.8%)
Non Recurring Pay	21,366	14,491	15,638	5,729	26.8%	(1,147)	(7.9%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>1,673,705</b>	<b>1,598,524</b>	<b>1,743,392</b>	<b>(69,687)</b>	<b>(4.2%)</b>	<b>(144,868)</b>	<b>(9.1%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	115,086	114,950	125,459	(10,374)	(9.0%)	(10,509)	(9.1%)
Pension and Retirement	97,223	95,911	103,403	(6,181)	(6.4%)	(7,492)	(7.8%)
Health and Benefit Insurance	491,399	560,827	536,137	(44,738)	(9.1%)	24,690	4.4%
<b>Total Fringe Benefits</b>	<b>703,707</b>	<b>771,688</b>	<b>765,000</b>	<b>(61,293)</b>	<b>(8.7%)</b>	<b>6,688</b>	<b>0.9%</b>
<b>Total Personnel</b>	<b>2,377,412</b>	<b>2,370,212</b>	<b>2,508,392</b>	<b>(130,980)</b>	<b>(5.5%)</b>	<b>(138,180)</b>	<b>(5.8%)</b>
<b>Department Expenditures</b>	<b>2,718,678</b>	<b>2,715,811</b>	<b>2,900,651</b>	<b>(181,973)</b>	<b>(6.7%)</b>	<b>(184,840)</b>	<b>(6.8%)</b>
<b>Total Operational</b>	<b>5,096,090</b>	<b>5,086,023</b>	<b>5,409,043</b>	<b>(312,953)</b>	<b>(6.1%)</b>	<b>(323,020)</b>	<b>(6.4%)</b>
<b>Capital Expenditures</b>	<b>8,610,260</b>	<b>14,265,000</b>	<b>18,460,000</b>	<b>(9,849,740)</b>	<b>(114.4%)</b>	<b>(4,195,000)</b>	<b>(29.4%)</b>
<b>Other Expenditures</b>							
Capital Leases	269,804	269,804	226,946	42,858	15.9%	42,858	15.9%
All Other	622,233	622,233	802,935	(180,703)	(29.0%)	(180,703)	(29.0%)
<b>Total Other Expenditures</b>	<b>892,037</b>	<b>892,037</b>	<b>1,029,881</b>	<b>(137,845)</b>	<b>(15.5%)</b>	<b>(137,845)</b>	<b>(15.5%)</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>14,598,387</b>	<b>20,243,059</b>	<b>24,898,924</b>	<b>(10,300,538)</b>	<b>(70.6%)</b>	<b>(4,655,865)</b>	<b>(23.0%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 4,983,438</b>	<b>\$ (1,386,915)</b>	<b>\$ (1,189,817)</b>	<b>\$ (6,173,255)</b>	<b>518.8%</b>	<b>\$ 197,098</b>	<b>16.6%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 16 Fleet Maintenance

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	4,566	5,100	4,700	134	2.9%	(400)	(7.8%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>4,566</b>	<b>5,100</b>	<b>4,700</b>	<b>134</b>	<b>2.9%</b>	<b>(400)</b>	<b>(7.8%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	802,122	838,734	1,025,847	(223,725)	(27.9%)	(187,114)	(22.3%)
Overtime	7,616	15,003	18,628	(11,013)	(144.6%)	(3,625)	(24.2%)
Added Pay	53,137	17,401	23,940	29,197	54.9%	(6,540)	(37.6%)
Non Recurring Pay	12,735	8,065	9,864	2,871	22.5%	(1,799)	(22.3%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>875,610</b>	<b>879,202</b>	<b>1,078,280</b>	<b>(202,670)</b>	<b>(23.1%)</b>	<b>(199,078)</b>	<b>(22.6%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	63,964	63,817	78,138	(14,174)	(22.2%)	(14,321)	(22.4%)
Pension and Retirement	54,080	52,941	65,504	(11,424)	(21.1%)	(12,563)	(23.7%)
Health and Benefit Insurance	248,005	265,772	327,849	(79,843)	(32.2%)	(62,076)	(23.4%)
<b>Total Fringe Benefits</b>	<b>366,050</b>	<b>382,531</b>	<b>471,491</b>	<b>(105,442)</b>	<b>(28.8%)</b>	<b>(88,960)</b>	<b>(23.3%)</b>
<b>Total Personnel</b>	<b>1,241,659</b>	<b>1,261,733</b>	<b>1,549,771</b>	<b>(308,112)</b>	<b>(24.8%)</b>	<b>(288,038)</b>	<b>(22.8%)</b>
<b>Department Expenditures</b>							
Total Operational	1,459,807	1,479,881	1,770,364	(310,557)	(21.3%)	(290,483)	(19.6%)
Capital Expenditures	-	-	175,000	(175,000)	-	(175,000)	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>1,459,807</b>	<b>1,479,881</b>	<b>1,945,364</b>	<b>(485,557)</b>	<b>(33.3%)</b>	<b>(465,483)</b>	<b>(31.5%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (1,455,241)</b>	<b>\$ (1,474,781)</b>	<b>\$ (1,940,664)</b>	<b>\$ (485,423)</b>	<b>(25.0%)</b>	<b>\$ (465,883)</b>	<b>(24.0%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 17 Solid Waste

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	4,009,709	3,608,730	4,109,952	100,243	2.5%	501,222	13.9%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	2,200	-	-	-	(2,200)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>4,009,709</b>	<b>3,610,930</b>	<b>4,109,952</b>	<b>100,243</b>	<b>2.5%</b>	<b>499,022</b>	<b>13.8%</b>
<b>Expenditures</b>							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	3,949,527	3,566,680	4,086,731	(137,204)	(3.5%)	(520,051)	(14.6%)
<b>Total Operational</b>	<b>3,949,527</b>	<b>3,566,680</b>	<b>4,086,731</b>	<b>(137,204)</b>	<b>(3.5%)</b>	<b>(520,051)</b>	<b>(14.6%)</b>
Capital Expenditures	-	-	-	-	-	-	-
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	1,000	1,000	2,000	(1,000)	(100.0%)	(1,000)	(100.0%)
<b>Total Expenditures</b>	<b>3,950,527</b>	<b>3,567,680</b>	<b>4,088,731</b>	<b>(138,204)</b>	<b>(3.5%)</b>	<b>(521,051)</b>	<b>(14.6%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 59,182</b>	<b>\$ 43,250</b>	<b>\$ 21,221</b>	<b>\$ (37,961)</b>	<b>(178.9%)</b>	<b>\$ (22,029)</b>	<b>(103.8%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 18 Planning

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	266,445	114,600	194,000	(72,445)	(27.2%)	79,400	69.3%
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	25	100	-	(25)	(100.0%)	(100)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>266,470</b>	<b>114,700</b>	<b>194,000</b>	<b>(72,470)</b>	<b>(27.2%)</b>	<b>79,300</b>	<b>69.1%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	179,241	186,386	197,758	(18,517)	(10.3%)	(11,372)	(6.1%)
Overtime	652	1,934	2,080	(1,427)	(218.8%)	(145)	(7.5%)
Added Pay	9,640	1,680	2,100	7,540	78.2%	(420)	(25.0%)
Non Recurring Pay	1,792	1,792	1,902	(109)	(6.1%)	(109)	(6.1%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>191,326</b>	<b>191,792</b>	<b>203,839</b>	<b>(12,513)</b>	<b>(6.5%)</b>	<b>(12,047)</b>	<b>(6.3%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	13,651	13,798	14,664	(1,013)	(7.4%)	(866)	(6.3%)
Pension and Retirement	11,432	11,575	12,302	(870)	(7.6%)	(727)	(6.3%)
Health and Benefit Insurance	48,996	27,355	27,356	21,640	44.2%	(1)	(0.0%)
<b>Total Fringe Benefits</b>	<b>74,079</b>	<b>52,728</b>	<b>54,322</b>	<b>19,757</b>	<b>26.7%</b>	<b>(1,594)</b>	<b>(3.0%)</b>
<b>Total Personnel</b>	<b>265,405</b>	<b>244,520</b>	<b>258,161</b>	<b>7,244</b>	<b>2.7%</b>	<b>(13,641)</b>	<b>(5.6%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>619,256</b>	<b>293,047</b>	<b>401,164</b>	<b>218,092</b>	<b>35.2%</b>	<b>(108,117)</b>	<b>(36.9%)</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>619,256</b>	<b>293,047</b>	<b>401,164</b>	<b>218,092</b>	<b>35.2%</b>	<b>(108,117)</b>	<b>(36.9%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (352,786)</b>	<b>\$ (178,347)</b>	<b>\$ (207,164)</b>	<b>\$ 145,622</b>	<b>70.3%</b>	<b>\$ (28,817)</b>	<b>(13.9%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 19 Permits

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	1,164,723	976,100	1,043,140	(121,583)	(10.4%)	67,040	6.9%
Grants and Other Cost Sharing	898,043	-	-	(898,043)	(100.0%)	-	-
Other Revenues	69,017	1,800	21,700	(47,317)	(68.6%)	19,900	> 999.9%
Other Bond & Lease Proceeds	6,879	-	7,000	121	1.8%	7,000	-
Transfers (Revenue)	10,000	10,000	10,000	-	-	-	-
<b>Total Revenue</b>	<b>2,148,663</b>	<b>987,900</b>	<b>1,081,840</b>	<b>(1,066,823)</b>	<b>(49.7%)</b>	<b>93,940</b>	<b>9.5%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	449,674	477,609	553,723	(104,050)	(23.1%)	(76,115)	(15.9%)
Overtime	7,564	7,735	9,185	(1,620)	(21.4%)	(1,449)	(18.7%)
Added Pay	29,843	9,840	10,692	19,151	64.2%	(852)	(8.7%)
Non Recurring Pay	616	616	630	(14)	(2.4%)	(14)	(2.4%)
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>487,696</b>	<b>495,800</b>	<b>574,230</b>	<b>(86,534)</b>	<b>(17.7%)</b>	<b>(78,430)</b>	<b>(15.8%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	35,213	35,632	41,120	(5,907)	(16.8%)	(5,488)	(15.4%)
Pension and Retirement	29,222	30,231	37,220	(7,998)	(27.4%)	(6,989)	(23.1%)
Health and Benefit Insurance	140,968	204,058	197,153	(56,185)	(39.9%)	6,905	3.4%
<b>Total Fringe Benefits</b>	<b>205,403</b>	<b>269,921</b>	<b>275,493</b>	<b>(70,090)</b>	<b>(34.1%)</b>	<b>(5,572)</b>	<b>(2.1%)</b>
<b>Total Personnel</b>	<b>693,099</b>	<b>765,721</b>	<b>849,723</b>	<b>(156,624)</b>	<b>(22.6%)</b>	<b>(84,002)</b>	<b>(11.0%)</b>
<b>Department Expenditures</b>							
Total Operational	1,103,623	914,324	1,000,840	102,783	9.3%	(86,516)	(9.5%)
Capital Expenditures	40,172	-	81,000	(40,828)	(101.6%)	(81,000)	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>1,143,795</b>	<b>914,324</b>	<b>1,081,840</b>	<b>61,955</b>	<b>5.4%</b>	<b>(167,516)</b>	<b>(18.3%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 1,004,868</b>	<b>\$ 73,576</b>	<b>-</b>	<b>\$ (1,004,868)</b>	<b>-</b>	<b>\$ (73,576)</b>	<b>-</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
Department: 20 Police Department

	2020-21		2021-22				
	9+3 Forecast 2020-21	Budget 2020-21	Budget 2021-22	2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
				Variance \$ Fav / (Unf)	Variance % Fav / (Unf)	Variance \$ Fav / (Unf)	Variance % Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	41,436	36,300	16,000	(25,436)	(61.4%)	(20,300)	(55.9%)
Grants and Other Cost Sharing	50,200	45,500	45,500	(4,700)	(9.4%)	-	-
Other Revenues	84,522	34,100	64,300	(20,222)	(23.9%)	30,200	88.6%
Other Bond & Lease Proceeds	0	-	-	(0)	(100.0%)	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>176,159</b>	<b>115,900</b>	<b>125,800</b>	<b>(50,359)</b>	<b>(28.6%)</b>	<b>9,900</b>	<b>8.5%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	7,840,838	7,869,258	8,597,114	(756,275)	(9.6%)	(727,855)	(9.2%)
Overtime	126,481	125,000	125,000	1,481	1.2%	-	-
Added Pay	943,524	806,836	821,627	121,897	12.9%	(14,791)	(1.8%)
Non Recurring Pay	269,236	145,848	158,943	110,292	41.0%	(13,096)	(9.0%)
Reimbursements	(48,959)	(75,000)	(75,000)	26,041	(53.2%)	-	-
<b>Total Salaries &amp; Wages</b>	<b>9,131,119</b>	<b>8,871,942</b>	<b>9,627,684</b>	<b>(496,565)</b>	<b>(5.4%)</b>	<b>(755,742)</b>	<b>(8.5%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	669,036	678,704	736,518	(67,482)	(10.1%)	(57,814)	(8.5%)
Pension and Retirement	1,190,255	1,212,158	1,494,971	(304,716)	(25.6%)	(282,813)	(23.3%)
Health and Benefit Insurance	1,611,868	1,787,317	1,790,276	(178,409)	(11.1%)	(2,960)	(0.2%)
<b>Total Fringe Benefits</b>	<b>3,471,159</b>	<b>3,678,178</b>	<b>4,021,765</b>	<b>(550,607)</b>	<b>(15.9%)</b>	<b>(343,587)</b>	<b>(9.3%)</b>
<b>Total Personnel</b>	<b>12,602,278</b>	<b>12,550,120</b>	<b>13,649,449</b>	<b>(1,047,171)</b>	<b>(8.3%)</b>	<b>(1,099,329)</b>	<b>(8.8%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>14,167,221</b>	<b>14,106,149</b>	<b>15,408,178</b>	<b>(1,240,958)</b>	<b>(8.8%)</b>	<b>(1,302,029)</b>	<b>(9.2%)</b>
Capital Expenditures	329,390	450,000	875,000	(545,610)	(165.6%)	(425,000)	(94.4%)
<b>Other Expenditures</b>							
Capital Leases	66,138	66,138	-	66,138	100.0%	66,138	100.0%
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>66,138</b>	<b>66,138</b>	<b>-</b>	<b>66,138</b>	<b>100.0%</b>	<b>66,138</b>	<b>100.0%</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>14,562,749</b>	<b>14,622,287</b>	<b>16,283,178</b>	<b>(1,720,430)</b>	<b>(11.8%)</b>	<b>(1,660,891)</b>	<b>(11.4%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (14,386,589)</b>	<b>\$ (14,506,387)</b>	<b>\$ (16,157,378)</b>	<b>\$ (1,770,789)</b>	<b>(11.0%)</b>	<b>\$ (1,650,991)</b>	<b>(10.2%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 21 Fire & Rescue

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	1,179,992	1,863,039	1,943,239	763,247	64.7%	80,200	4.3%
Grants and Other Cost Sharing	2,000	2,000	2,000	-	-	-	-
Other Revenues	31,834	19,200	26,500	(5,334)	(16.8%)	7,300	38.0%
Other Bond & Lease Proceeds	-	1,400,000	-	-	-	(1,400,000)	(100.0%)
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>1,213,826</b>	<b>3,284,239</b>	<b>1,971,739</b>	<b>757,913</b>	<b>62.4%</b>	<b>(1,312,500)</b>	<b>(40.0%)</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	5,541,412	5,422,174	5,673,959	(132,547)	(2.4%)	(251,785)	(4.6%)
Overtime	260,175	41,969	97,666	162,509	62.5%	(55,698)	(132.7%)
Added Pay	423,126	476,277	483,775	(60,649)	(14.3%)	(7,498)	(1.6%)
Non Recurring Pay	24,507	47,446	54,339	(29,833)	(121.7%)	(6,893)	(14.5%)
Reimbursements	(267,367)	(320,000)	(320,000)	52,633	(19.7%)	-	-
<b>Total Salaries &amp; Wages</b>	<b>5,981,853</b>	<b>5,667,866</b>	<b>5,989,739</b>	<b>(7,887)</b>	<b>(0.1%)</b>	<b>(321,874)</b>	<b>(5.7%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	464,722	458,085	482,679	(17,957)	(3.9%)	(24,593)	(5.4%)
Pension and Retirement	694,405	631,160	723,971	(29,565)	(4.3%)	(92,811)	(14.7%)
Health and Benefit Insurance	1,125,731	1,115,802	1,181,415	(55,684)	(4.9%)	(65,613)	(5.9%)
<b>Total Fringe Benefits</b>	<b>2,284,858</b>	<b>2,205,048</b>	<b>2,388,065</b>	<b>(103,207)</b>	<b>(4.5%)</b>	<b>(183,017)</b>	<b>(8.3%)</b>
<b>Total Personnel</b>	<b>8,266,711</b>	<b>7,872,914</b>	<b>8,377,804</b>	<b>(111,093)</b>	<b>(1.3%)</b>	<b>(504,890)</b>	<b>(6.4%)</b>
<b>Department Expenditures</b>							
<b>Total Operational</b>	<b>9,704,283</b>	<b>8,990,967</b>	<b>9,735,479</b>	<b>(31,196)</b>	<b>(0.3%)</b>	<b>(744,512)</b>	<b>(8.3%)</b>
Capital Expenditures	1,312,936	1,510,000	1,065,000	247,936	18.9%	445,000	29.5%
<b>Other Expenditures</b>							
Capital Leases	-	80,000	-	-	-	80,000	100.0%
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>80,000</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>80,000</b>	<b>100.0%</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>11,017,220</b>	<b>10,580,967</b>	<b>10,800,479</b>	<b>216,741</b>	<b>2.0%</b>	<b>(219,512)</b>	<b>(2.1%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (9,803,394)</b>	<b>\$ (7,296,728)</b>	<b>\$ (8,828,740)</b>	<b>\$ 974,654</b>	<b>11.0%</b>	<b>\$ (1,532,012)</b>	<b>(17.4%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 23 Non Departmental

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	\$ 19,325,842	\$ 20,237,678	\$ 21,231,050	\$ 1,905,208	9.9%	\$ 993,372	4.9%
Sales Taxes	12,482,064	11,325,300	13,106,100	624,036	5.0%	1,780,800	15.7%
Occupation/Business Taxes	1,279,745	2,080,183	2,021,183	741,438	57.9%	(59,000)	(2.8%)
State Aid/Payments	3,943,155	2,900,352	1,412,441	(2,530,715)	(64.2%)	(1,487,912)	(51.3%)
Fees, Permits and Licenses	197,636	128,500	138,200	(59,436)	(30.1%)	9,700	7.5%
Grants and Other Cost Sharing	4,402,455	-	-	(4,402,455)	(100.0%)	-	-
Other Revenues	112,682	351,900	116,000	3,318	2.9%	(235,900)	(67.0%)
Other Bond & Lease Proceeds	17,209	20,800	17,200	(9)	(0.1%)	(3,600)	(17.3%)
Transfers (Revenue)	407,000	407,000	435,000	28,000	6.9%	28,000	6.9%
<b>Total Revenue</b>	<b>42,167,789</b>	<b>37,451,714</b>	<b>38,477,174</b>	<b>(3,690,616)</b>	<b>(8.8%)</b>	<b>1,025,460</b>	<b>2.7%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	(122)	-	-	(122)	100.0%	-	-
Reimbursements	(3,660,960)	-	-	(3,660,960)	100.0%	-	-
<b>Total Salaries &amp; Wages</b>	<b>(3,661,083)</b>	<b>-</b>	<b>-</b>	<b>(3,661,083)</b>	<b>100.0%</b>	<b>-</b>	<b>-</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	(0)	-	-	(0)	100.0%	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	(253,075)	-	-	(253,075)	100.0%	-	-
<b>Total Fringe Benefits</b>	<b>(253,076)</b>	<b>-</b>	<b>-</b>	<b>(253,076)</b>	<b>100.0%</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>(3,914,158)</b>	<b>-</b>	<b>-</b>	<b>(3,914,158)</b>	<b>100.0%</b>	<b>-</b>	<b>-</b>
Department Expenditures	1,503,727	2,178,797	1,736,648	(232,920)	(15.5%)	442,149	20.3%
<b>Total Operational</b>	<b>(2,410,431)</b>	<b>2,178,797</b>	<b>1,736,648</b>	<b>(4,147,079)</b>	<b>172.0%</b>	<b>442,149</b>	<b>20.3%</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	176,145	204,790	216,217	(40,071)	(22.7%)	(11,427)	(5.6%)
<b>Total Other Expenditures</b>	<b>176,145</b>	<b>204,790</b>	<b>216,217</b>	<b>(40,071)</b>	<b>(22.7%)</b>	<b>(11,427)</b>	<b>(5.6%)</b>
Transfers (Expenditures)	626,977	339,877	(311,091)	938,068	149.6%	650,968	191.5%
<b>Total Expenditures</b>	<b>(1,607,308)</b>	<b>2,723,464</b>	<b>1,641,774</b>	<b>(3,249,082)</b>	<b>202.1%</b>	<b>1,081,690</b>	<b>39.7%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 43,775,098</b>	<b>\$ 34,728,250</b>	<b>\$ 36,835,400</b>	<b>\$ (6,939,698)</b>	<b>(18.8%)</b>	<b>\$ 2,107,150</b>	<b>5.7%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**  
[Department: 24 IT](#)

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	727	19,400	-	(727)	(100.0%)	(19,400)	(100.0%)
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>727</b>	<b>19,400</b>	<b>-</b>	<b>(727)</b>	<b>(100.0%)</b>	<b>(19,400)</b>	<b>(100.0%)</b>
<b>Expenditures</b>							
Salaries & Wages							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Fringe Benefits							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Department Expenditures	526,786	461,001	494,837	31,949	6.1%	(33,836)	(7.3%)
<b>Total Operational</b>	<b>526,786</b>	<b>461,001</b>	<b>494,837</b>	<b>31,949</b>	<b>6.1%</b>	<b>(33,836)</b>	<b>(7.3%)</b>
Capital Expenditures	170,000	202,583	-	170,000	100.0%	202,583	100.0%
Other Expenditures							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>696,786</b>	<b>663,584</b>	<b>494,837</b>	<b>201,949</b>	<b>29.0%</b>	<b>168,747</b>	<b>25.4%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (696,059)</b>	<b>\$ (644,184)</b>	<b>\$ (494,837)</b>	<b>\$ 201,222</b>	<b>40.7%</b>	<b>\$ 149,347</b>	<b>30.2%</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Department**  
**2021-22 Budget**

Department: 25 City Council

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	-	-	-	-	-	-	-
Grants and Other Cost Sharing	-	-	-	-	-	-	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	93,738	95,062	103,613	(9,875)	(10.5%)	(8,551)	(9.0%)
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>93,738</b>	<b>95,062</b>	<b>103,613</b>	<b>(9,875)</b>	<b>(10.5%)</b>	<b>(8,551)</b>	<b>(9.0%)</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	7,171	7,272	7,926	(756)	(10.5%)	(654)	(9.0%)
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>7,171</b>	<b>7,272</b>	<b>7,926</b>	<b>(756)</b>	<b>(10.5%)</b>	<b>(654)</b>	<b>(9.0%)</b>
<b>Total Personnel</b>	<b>100,909</b>	<b>102,335</b>	<b>111,540</b>	<b>(10,631)</b>	<b>(10.5%)</b>	<b>(9,205)</b>	<b>(9.0%)</b>
<b>Department Expenditures</b>	<b>15,221</b>	<b>13,621</b>	<b>15,255</b>	<b>(34)</b>	<b>(0.2%)</b>	<b>(1,634)</b>	<b>(12.0%)</b>
<b>Total Operational</b>	<b>116,130</b>	<b>115,956</b>	<b>126,795</b>	<b>(10,665)</b>	<b>(9.2%)</b>	<b>(10,839)</b>	<b>(9.3%)</b>
Capital Expenditures	-	-	-	-	-	-	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	-	-	-	-	-	-	-
<b>Total Other Expenditures</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
Transfers (Expenditures)	-	-	-	-	-	-	-
<b>Total Expenditures</b>	<b>116,130</b>	<b>115,956</b>	<b>126,795</b>	<b>(10,665)</b>	<b>(9.2%)</b>	<b>(10,839)</b>	<b>(9.3%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ (116,130)</b>	<b>\$ (115,956)</b>	<b>\$ (126,795)</b>	<b>\$ (10,665)</b>	<b>(8.4%)</b>	<b>\$ (10,839)</b>	<b>(8.5%)</b>

**City of Bellevue**  
**Statement of Revenues and Expenditures by Fund**  
**2021-22 Budget**

[Bellevue City Municipal Building Corporation Departments in General Fund](#)

	2020-21		2021-22				
	9+3			2020-21 Fcst vs. 2021-22 Bud		2020-21 Bud vs. 2021-22 Bud	
	Forecast	Budget	Budget	Variance \$	Variance %	Variance \$	Variance %
	2020-21	2020-21	2021-22	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)	Fav / (Unf)
<b>Revenues</b>							
Property Taxes	-	-	-	-	-	-	-
Sales Taxes	-	-	-	-	-	-	-
Occupation/Business Taxes	-	-	-	-	-	-	-
State Aid/Payments	-	-	-	-	-	-	-
Fees, Permits and Licenses	431,961	522,569	401,372	(30,589)	(7.1%)	(121,197)	(23.2%)
Grants and Other Cost Sharing	-	-	575,000	575,000	-	575,000	-
Other Revenues	-	-	-	-	-	-	-
Other Bond & Lease Proceeds	-	-	-	-	-	-	-
Transfers (Revenue)	-	-	-	-	-	-	-
<b>Total Revenue</b>	<b>431,961</b>	<b>522,569</b>	<b>976,372</b>	<b>544,411</b>	<b>126.0%</b>	<b>453,803</b>	<b>86.8%</b>
<b>Expenditures</b>							
<b>Salaries &amp; Wages</b>							
Base Pay	-	-	-	-	-	-	-
Overtime	-	-	-	-	-	-	-
Added Pay	-	-	-	-	-	-	-
Non Recurring Pay	-	-	-	-	-	-	-
Reimbursements	-	-	-	-	-	-	-
<b>Total Salaries &amp; Wages</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Fringe Benefits</b>							
Employer Payroll Taxes	-	-	-	-	-	-	-
Pension and Retirement	-	-	-	-	-	-	-
Health and Benefit Insurance	-	-	-	-	-	-	-
<b>Total Fringe Benefits</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total Personnel</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Department Expenditures</b>	<b>95,902</b>	<b>81,446</b>	<b>110,022</b>	<b>(14,121)</b>	<b>(14.7%)</b>	<b>(28,576)</b>	<b>(35.1%)</b>
Total Operational	95,902	81,446	110,022	(14,121)	(14.7%)	(28,576)	(35.1%)
Capital Expenditures	-	-	575,000	(575,000)	-	(575,000)	-
<b>Other Expenditures</b>							
Capital Leases	-	-	-	-	-	-	-
All Other	31,534	31,000	31,004	530	1.7%	(4)	(0.0%)
<b>Total Other Expenditures</b>	<b>31,534</b>	<b>31,000</b>	<b>31,004</b>	<b>530</b>	<b>1.7%</b>	<b>(4)</b>	<b>(0.0%)</b>
Transfers (Expenditures)	123,023	410,123	311,091	(188,068)	(152.9%)	99,032	24.1%
<b>Total Expenditures</b>	<b>250,459</b>	<b>522,569</b>	<b>1,027,117.23</b>	<b>(776,659)</b>	<b>(310.1%)</b>	<b>(504,548)</b>	<b>(96.6%)</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 181,503</b>	<b>-</b>	<b>\$ (50,745)</b>	<b>\$ (232,247)</b>	<b>457.7%</b>	<b>\$ (50,745)</b>	<b>100.0%</b>

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

14a.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Susan Kluthe, City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Application from Premier Sports Village to host an Outdoor Family Festival with live music on Saturday, August 7, 2021 from 4:00 p.m. to 11:00 p.m., at 14405 Harlan Lewis Road, Bellevue.

SYNOPSIS/BACKGROUND:

This event is being held by the Premier Sports Village which includes a Bounce House, Music, and Fireworks along with various other activities and/or games at 14405 Harlan Lewis Road. The event will be held on Saturday, August 7, 2021 from 4:00 p.m. to 11:00 p.m.

FISCAL IMPACT: \$50 BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO	COUNTER-PARTY:	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION:		
CONTRACT EFFECTIVE DATE:	CONTRACT TERM:	CONTRACT END DATE:
PROJECT NAME:		
START DATE:	END DATE:	PAYMENT DATE:
		INSURANCE REQUIRED: NO
CIP PROJECT NAME:	CIP PROJECT NUMBER:	
STREET DISTRICT NAME (S):	STREET DISTRICT NUMBER (S):	
ACCOUNTING DISTRIBUTION CODE:	ACCOUNT NUMBER:	

RECOMMENDATION:

Recommend approval of application from Premier Sports Village to host an Outdoor Family Festival with live music on Saturday, August 7, 2021 from 4:00 p.m. to 11:00 p.m., at 14405 Harlan Lewis Road, Bellevue.

ATTACHMENTS:

- |                                  |                             |                                       |
|----------------------------------|-----------------------------|---------------------------------------|
| 1. Application for Event License | 2. Certificate of Insurance | 3. Comments from PD, Streets, & Parks |
| 4.                               | 5.                          | 6.                                    |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:





CITY OF BELLEVUE

APPLICATION FOR EVENT LICENSE

The undersigned hereby makes application to conduct or operate a carnival, show, temporary amusement park, or music concert in the City of Bellevue, Nebraska, under the provisions of City Code Sections 5-36 thru 5-40, and hereby submits the following facts in support thereof:

APPLICANT NAME: Sean Johnston ADDRESS: 14405 Harlan Lewis Rd Bellevue NE 68005
PHONE #: 402-319-5413 EMAIL ADDRESS: premier@sportsvillage.com
CORPORATION (Name/Address): Premier Sports Village
7001 N 153rd St Blainville NE 68007
CORPORATION OFFICERS: Sean Johnston

PROPOSED ACTIVITY: Outdoor Family Festival (Bounce House, Music Fireworks)
DAY/DATE OF PROPOSED ACTIVITY: 8/7/2021
LOCATION OF PROPOSED ACTIVITY: Premier Sports Village 14405 Harlan Lewis Rd
HOURS OF OPERATION: 4:00 - 11:00 PM

- WHAT PROVISIONS, IF APPLICABLE, HAVE BEEN MADE FOR THE FOLLOWING:
1. Sanitary Facilities: Portable Bathrooms
2. Running Water: City water
3. Power: OPPO
4. Parking: On site
5. Insurance: Griffin Insurance

(Please provide Certificate of Insurance Naming City of Bellevue as Additional Insured)

Please address any specific requests of the Police/Parks/Streets Departments on the 2nd page.

I guarantee to the City of Bellevue that the premises will be cleaned and inspected following the above listed event on the day(s) indicated and, after inspection by the City, we will meet any additional responsible requests of the City of Bellevue as to the cleaning of the premises. For equal opportunity enjoyment for all individuals, I guarantee that all events will meet the legal requirements outlined in the American with Disabilities Act (ADA) and its amendments to prevent discrimination and enable individuals with disabilities to participate fully in all aspects of the event.

Signature of Applicant: [Handwritten Signature]

FOR CITY OFFICE USE ONLY:

Notice of Hearing published in a legal newspaper on 7-28, 2021
City Council hearing date: 8/3/21
License Fee of \$50 paid on: 7/22/2021 Receipt #: 18 3456

RECEIVED
JUL 22 2021
CITY CLERK

Police Department Requests: Invite families

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Parks Department Requests: Invite families

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Street Department Requests: N/A Invite families

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CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

\*14a1.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: City Clerk		
AGENDA ITEM:		CONSENT AGENDA <input checked="" type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Recommendation to approve Special Fireworks Display

SYNOPSIS/BACKGROUND:

Application was received for a Special Fireworks Application for Subby Anzalore to provide a special fireworks display for the Premier Sports Village Outdoor Family Festival on 8/7/2021, approximately 10:00 p.m. for 10-12 minutes.

FISCAL IMPACT:  BUDGETED FUNDS?:  GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?:  COUNTER-PARTY:  INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED:

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRUBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

Recommendation to approve a Special Fireworks Application for Subby Anzalore to provide a special fireworks display for the Premier Sports Village Outdoor Family Festival on 8/7/2021, approximately 10:00 p.m. for 10-12 minutes.

ATTACHMENTS:


1. <input type="text" value="Application"/>	2. <input type="text"/>	3. <input type="text"/>
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:




City of Bellevue  
Office of the City Clerk  
1500 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3007

## SPECIAL FIREWORKS EVENT APPLICATION

Application must be filled out completely and returned to the City Clerk, a minimum of 7 day, prior to the City Council Meeting so item can be added to the City Council Agenda.

(Please Print Legibly)

Special Fireworks Event:

Premier Sports Village Outdoor  
Family Festival

Date of Event:

8/7/2021

Time and Duration of Fireworks Display:

APPRX. 10:00 PM - 10-12 minutes

Name of Contact Person:

Subby Anzalone

Contact Person E-mail:

SUBBYANZALONE@COX.NET

Contact Person Phone #:

402-290-2391

Distributor License:  Yes

No

If so, Name of Distributor:

Signature

Date

7/26/21

RECEIVED  
JUL 27 2021  
CITY CLERK

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

14b.  
08/03/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager		
AGENDA ITEM:		CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input checked="" type="checkbox"/>		
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>		

SUBJECT:

Request to approve the Fiscal Year 2022-2027 Capital Improvement Plan. Applicant: City of Bellevue.

SYNOPSIS/BACKGROUND:

The CIP is being done in conjunction with the current budget. The first year of the CIP corresponds with the proposed annual budget. For FY 2022, the proposed Capital Projects total \$31,512,431 with \$20,842,931 being funded by the City and \$10,669,500 being funded from outside sources. The total cost of all projects shown in the CIP is \$180,350,463 with \$133,359,683 being funded by the City and \$47,081,500 coming from outside sources.

FISCAL IMPACT:  BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: NO

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRUBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

Planning Department is recommending approval of the CIP. Planning Commission recommended approval of the CIP including amendments.

ATTACHMENTS:


1. PC Recommendation Sheet	2. Planning Department Memo	3. Fiscal Year 2019-2020 amended and 2021-2026 Capital Improvement Plan
4. <input type="text"/>	5. <input type="text"/>	6. <input type="text"/>

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

APPLICANT: City of Bellevue

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to approve the 2022-2027 Capital Improvement Plan

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

**APPROVAL** of the 2022-2027 City of Bellevue Capital Improvement Plan including amendments.

### VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Perrin
	Aerni						Cutsforth
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021



City of Bellevue  
Planning Department  
1510 Wall Street • Bellevue, Nebraska 68005  
(402) 293-3026

July 26, 2021

To: City Council  
Mayor Rusty Hike  
City Administrator Jim Ristow  
From: Angela Curry, Assistant Planning Manager  
Subject: Proposed 2022-2027 Capital Improvement Plan

Attached is the proposed fiscal year 2022-2027 Capital Improvement Plan (CIP) showing current projected expenditures. Please note some changes may occur as the budget process progresses.

Attachments: 2022-2027 Capital Improvement Plan Spreadsheet

  
Prepared by: \_\_\_\_\_ Date of Report: 7/26/21

# MEMORANDUM

**TO:** City Council Members  
**FROM:** Angela Curry, Assistant Planning Manager  
**DATE:** July 26, 2021  
**SUBJECT:** Proposed FY 2022-2027 City of Bellevue Capital Improvement Plan

Attached for your review is the proposed City of Bellevue Capital Improvement Plan for Fiscal Years 2022 through 2027.

As with past CIPs, the document lists projects by department for each of the years of the plan. For each project, the total cost is shown along with any outside funding sources and the amount of the funding. The source of City funding is the General Fund, unless otherwise shown. For projects beyond the upcoming annual budget, the funding sources are shown where they have been identified. The total for each department, as well as the yearly total is also included. Following the list of projects and costs is a list of the projects with a brief description.

The first year of the CIP corresponds with the proposed annual budget. For FY 2022 the proposed Capital Projects total \$31,512,431 with \$20,842,931 being funded by the City and \$10,669,500 being funded from outside sources. For FY 2023, the proposed Capital Projects total \$38,787,213 with \$34,019,213 being funded by the City and \$4,768,000 being funded from outside sources. The total cost of all capital projects shown in the CIP is \$180,350,463 with \$133,359,683 being funded by the City and \$47,081,500 coming from outside sources.

The CIP includes several major projects. Major projects include a Library renovation (\$4,000,000), and a Wastewater South Lift Station Flood Recovery improvement (\$2,300,000). Significant road improvement projects within the plan include 36th Street from Highway 370 to Platteview Road, major street resurfacing and reconstruction projects and bridge repairs .

Funding for the upcoming fiscal year includes an allocation of \$750,000 for projects within the designated LB 840 area. This amount is carried over into each year of the plan.

## MEMORANDUM

## EXPENDITURES BY DEPARTMENT BY YEAR (Amended 7/22/2021)

<u>DEPARTMENT</u>	<u>FY 2021-22</u> ##	<u>FY 2022-23</u>	<u>FY 2023-24</u>	<u>FY 2024-25</u>	<u>FY 2025-26</u>	<u>FY 2026-27</u>	<u>TOTAL</u>
Administrative Services	70,000	-	-	-	-	-	70,000
Building Maintenance	75,000	-	-	-	-	-	75,000
Cemetery	100,000	-	-	-	-	-	100,000
Code Enforcement	61,431	-	-	-	-	-	61,431
Fire	1,065,000	805,000	1,010,000	1,275,000	-	-	4,155,000
Fleet Maintenance	175,000	98,500	-	176,175	104,170	-	553,845
Information Technology(IT)	-	-	-	-	-	-	-
Library	4,000,000	-	-	250,000	-	-	4,250,000
Non Departmental	575,000	-	-	-	-	-	575,000
Parks	1,650,000	13,000,000	-	-	-	-	14,650,000
Permits & Inspections	81,000	-	-	243,000	-	-	324,000
Police	875,000	858,713	727,474	-	-	-	2,461,187
Public Works	-	200,000	200,000	200,000	200,000	200,000	1,000,000
Recreation	-	-	-	-	-	-	-
Streets	18,460,000	21,185,000	17,825,000	43,510,000	37,070,000	5,560,000	143,610,000
Wastewater	3,575,000	1,890,000	-	-	-	-	5,465,000
Economic Development	750,000	750,000	750,000	750,000	-	-	3,000,000
<b>TOTAL</b>	<b>31,512,431</b>	<b>38,787,213</b>	<b>20,512,474</b>	<b>46,404,175</b>	<b>37,374,170</b>	<b>5,760,000</b>	<b>180,350,463</b>
<b>City funding</b>	<b>20,842,931</b>	<b>34,019,213</b>	<b>17,319,194</b>	<b>31,724,175</b>	<b>23,694,170</b>	<b>5,760,000</b>	<b>133,359,683</b>
<b>Funding from others</b>	<b>10,669,500</b>	<b>4,768,000</b>	<b>3,284,000</b>	<b>14,680,000</b>	<b>13,680,000</b>	<b>-</b>	<b>47,081,500</b>

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN  
MEMORANDUM  
PROJECTS BY YEAR**

<b>FISCAL YEAR 2022</b>				
<b>DEPARTMENT/PROJECT</b>	<b>7/26/2021 TOTAL COST</b>	<b>CITY COST</b>	<b>OTHER AGENCY COST</b>	<b>NOTES</b>
<b>Administrative Services</b>				
AS 22(1) Mini-bus replacement	70,000	18,000	52,000	Grant awarded by MAPA
<b>Total</b>	<u>70,000</u>	<u>18,000</u>	<u>52,000</u>	
<b>Building Maintenance</b>				
BM 22(1) Washington Park Gazebo	75,000	75,000	-	
<b>Total</b>	<u>75,000</u>	<u>75,000</u>	<u>-</u>	
<b>Cemetery</b>				
CE 22(1) Columbariums	100,000	100,000	-	
<b>Total</b>	<u>100,000</u>	<u>100,000</u>	<u>-</u>	
<b>Code Enforcement</b>				
CO 22(1) 2021 Ford F150	28,696	28,696	-	
CO 22(2) MDC Computers and Accessories for 5 vehicles	32,735	32,735	-	
<b>Total</b>	<u>61,431</u>	<u>61,431</u>	<u>-</u>	
<b>Economic Development Fund</b>				
ED 22(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
<b>Total</b>	<u>750,000</u>	<u>750,000</u>	<u>-</u>	
<b>Fire</b>				
FI 22(1) Replace Engine 15	625,000	625,000	-	
FI 22(2) Replace Medic 42	275,000	275,000	-	
FI 22(3) Replace Fire Car 7	55,000	55,000	-	
FI 22(4) Add FC 12	55,000	55,000	-	
FI 22(5) Replace FC 9	55,000	55,000	-	
<b>Total</b>	<u>1,065,000</u>	<u>1,065,000</u>	<u>-</u>	
<b>Fleet</b>				
FL 22(1) Vehicles and Equipment	175,000	175,000	-	See Detail Listing
<b>Total</b>	<u>175,000</u>	<u>175,000</u>	<u>-</u>	
<b>Information Technology (IT)</b>				
No capital projects this fiscal year.	-	-	-	
<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>	
<b>Library</b>				

LI 22(1) Library renovation project	4,000,000	4,000,000		Financed by Bonds/Loan
<b>Total</b>	<b>4,000,000</b>	<b>4,000,000</b>	<b>-</b>	

**Non-Departmental**

ND 22 (1) Convention Center Updates	575,000	575,000		Community Betterment
<b>Total</b>	<b>575,000</b>	<b>575,000</b>	<b>-</b>	

**Parks**

PK 22(1) Faulkland Park Improvements	\$ 100,000	\$ 100,000	-	
PK 22(2) Stonecroft Park Parking Lot Improvements	\$ 220,000	\$ 220,000	-	
PK 22(3) Baldwin Ballfield Lighting	\$ 140,000	\$ 140,000	-	
PK 22(4) American Heroes Park Amphitheater	\$ 600,000	\$ -	600,000	FEMA
PK 22(5) American Heroes Park Restroom	\$ 590,000	\$ -	590,000	FEMA
<b>Total</b>	<b>1,650,000</b>	<b>460,000</b>	<b>1,190,000</b>	

**Permits & Inspections**

PI 22(1-3) 3 - 2021 Chevy Colorado Extended Cab 4x4 Truck	81,000	81,000	-	
<b>Total</b>	<b>81,000</b>	<b>81,000</b>	<b>-</b>	

**Police**

PO 22(1) Cruiser purchase	260,000	260,000	-	
PO 22(2) Moveable Storage for Evidence Room	25,000	25,000	-	
PO 22(3) Radios	40,000	40,000	-	
PO 22(4) Body Cameras/Cruiser Cameras	550,000	550,000	-	
<b>Total</b>	<b>875,000</b>	<b>875,000</b>	<b>-</b>	

**Public Works**

	-	-	-	
<b>Total</b>	<b>-</b>	<b>-</b>	<b>-</b>	

**Recreation**

No capital projects this fiscal year.	-	-	-	
<b>Total</b>	<b>-</b>	<b>-</b>	<b>-</b>	

**Streets**

ST 22(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	\$ 3,750,000	\$ 3,750,000	\$ -	AC Funding/Bond Funding
ST 22(2) 2022 Concrete Projects	\$ -	\$ -	\$ -	See Detail Listing
ST 22(3) 2022 Overlay Projects	\$ 350,000	\$ 175,000	\$ 175,000	See Detail Listing
ST 22(4) 2022 Reconstruction Projects	\$ 2,935,000	\$ 2,935,000	\$ -	See Detail Listing/Bond Funding
ST 22(5) South 36th Street	\$ 9,050,000	\$ 1,810,000	\$ 7,240,000	NDOT 80% cost share
ST 22(6) Bridge Repairs	\$ 1,770,000	\$ 1,770,000	\$ -	See Detail Listing
ST 22(7) Drainage Improvements	\$ 80,000	\$ 80,000	\$ -	See Detail Listing
ST 22(8) Wall Rehabilitation	\$ -	\$ -	\$ -	See Detail Listing
ST 22(9) Facilities	\$ 75,000	\$ 75,000	\$ -	See Detail Listing
ST 22(10) Road Construction	\$ 80,000	\$ 80,000	\$ -	See Detail Listing
ST 22(11) Signal Improvements	\$ -	\$ -	\$ -	See Detail Listing
ST 22(12) Asset Management	\$ 175,000	\$ 175,000	\$ -	See Detail Listing
ST 22(13) Vehicles and Equipment	\$ 195,000	\$ 195,000	\$ -	See Detail Listing
<b>Total</b>	<b>18,460,000</b>	<b>11,045,000</b>	<b>7,415,000</b>	

**Wastewater**

WW 22(1) Utility Vehicle	75,000	75,000	-	Wastewater fund
WW 22 (2) QUAIL CREEK LIFT STATION	1,200,000	1,200,000	-	Wastewater fund
WW 22 (3) SOUTH LIFT STATION FLOOD RECOVERY	2,300,000	287,500	2,012,500	FEMA
WW 22(4) SOUTH RIDGELINE IMPROVEMENTS	-	-	-	
<b>Total</b>	<b>3,575,000</b>	<b>1,562,500</b>	<b>2,012,500</b>	
<b>CAPITAL TOTAL ALL DEPARTMENTS</b>	<b>31,512,431</b>	<b>20,842,931</b>	<b>10,669,500</b>	

**PROJECT DESCRIPTIONS**

AS 22(1) Mini-bus replacement

AS 22(2) Consulting Fees

BM 22(1) Demo & Reconstruct Gazebo at Washington Park

CE 22(1) Columbariums

CO 22(1) 2021 Ford F150 1/2 Ton Extended Cab 4x4 Truck

CO 22(2) MDC Computers and Accessories for 5 vehicles

Getac Tablet

Havis Mounts

Floor Plate

Getac Docking Station

Keyboard

Unlimited Data Plan *per month*

MACH/TraCS user accounts per year

Printer

Printer Mount (\$300-\$400 depending on type)

Printer Paper (case of 36 rolls)

Scanner

GPS Pucks

	\$ 28,696.00	\$ 28,696.00	
	\$ 16,000.00	\$ 16,000.00	-
	\$ 3,615.00	\$ 3,615.00	-
	\$ 645.00	\$ 645.00	-
	\$ 3,800.00	\$ 3,800.00	
	\$ 1,650.00	\$ 1,650.00	
	\$ 195.00	\$ 195.00	
	\$ 350.00	\$ 350.00	
	\$ 1,550.00	\$ 1,550.00	
	\$ 2,000.00	\$ 2,000.00	
	\$ 1,000.00	\$ 1,000.00	
	\$ 1,780.00	\$ 1,780.00	
	\$ 150.00	\$ 150.00	
	<b>\$ 61,431.00</b>	<b>\$ 61,431.00</b>	<b>-</b>

(5 CASES)

ED 22(1) LB 840 Infrastructure improvements

FI 22(1) Replace Engine 15

FI 22(2) Replace Medic 42

FI 22(3) Replace Fire Car 7

FI 22(4) Add FC 12

FI 22(5) Replace FC 9

FL 22(1) Vehicles and Equipment - FLT-13 1994 Ford L800 Crane truck

LI 22(1) Library renovation project - Facilities Improvements (Bond/Loan financing)

ND 22(1) Convention Center updates

PK 22(1) Faulkland Park - New Playground, Shelter and ADA Parking Lot & Walking Path Renovations

PK 22(2) Stonecroft Park Parking Lot Renovations-ADA Improvements

PK 22(3) Baldwin Field - New lights for all three ballfields

PK 22(4) American Heroes Park Amphitheater & Electrical/Lighting - Construction (FEMA)

PK 22(5) American Heroes Park Restroom - Design & Construction for north park area (FEMA)

PI 22(1) 2021 Chevy Colorado Extended Cab 4x4 Truck

PI 22(2) 2021 Chevy Colorado Extended Cab 4x4 Truck

PI 22(3) 2021 Chevy Colorado Extended Cab 4x4 Truck

PO 22(1) Cruiser purchase—On-going program to replace 15 cruisers

PO 22(2) Moveable Storage for Evidence Room

PO 22(3) Radios

PO 22(4) Body Cameras/Cruiser Cameras

PW 22(1) Project Engineering—Outsourced engineering for various projects

ST 22(1) Major Street Resurfacing (MAPA/NDOT AC Funding)

M146(237B) Jewell Rd; Harvell Dr to Bellevue Blvd S - RESURFACING**	\$ 188,500	\$ 188,500	
M146(239B) Golden Hills Addition - RESURFACING**	\$ 728,000	\$ 728,000	
M146(243C) 25th St; Harrison St to Mose Ave - RESURFACING**	\$ 422,500	\$ 422,500	
M146(244C) 42nd St; Harrison St to Giles Rd - RESURFACING**	\$ 520,000	\$ 520,000	
M146(247) Chandler Rd W; 30th St, High Meadows Lane - RESURFACING**	\$ 348,500	\$ 348,500	
M146(249B) Avery Rd.; Bellevue Blvd N to Ft Crook Rd - RESURFACING**	\$ 292,500	\$ 292,500	
M146(273B) Capehart Rd; Ft Crook Rd to Dow St - RESURFACING**	\$ 1,250,000	\$ 1,250,000	
	<u>\$ 3,750,000</u>	<u>\$ 3,750,000</u>	<u>-</u>

**ST 22(2) 2022 Concrete Projects**

M146(122D) So 36th St; Hwy 370 to Sheridan Rd - PHASE 1, YR 2 - WIDENING/RECONSTRUCTION	\$ -	\$ -	
	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>

**ST 22(3) 2022 Overlay Projects**

M146(288A,B) Harrison St; 39th to 48th St - RESURFACING**	\$ 350,000	\$ 175,000	175,000	Cost share with Omaha
	<u>\$ 350,000</u>	<u>\$ 175,000</u>	<u>\$ 175,000</u>	

**ST 22(4) 2022 Reconstruction Projects (Bond Funding)**

M146(179B) Gregg Rd W, 23rd to 25th St - RECONSTRUCTION	\$ 725,000	\$ 725,000	
M146(194) Gilmore Lake Rd e/ 25th St - RECONSTRUCTION, DRAINAGE IMPROVEMENTS	\$ 75,000	\$ 75,000	-
M146(279) Bernadette Ave, Margo St; 48th to 42nd St - REHAB CONCRETE REPAIRS	\$ 220,000	\$ 220,000	
M146(283A) Chandler Rd, Bell Blvd N to 26th St - REHAB ADVANCE CONCRETE REPAIRS, STREETSCAPE	\$ 640,000	\$ 640,000	
M146(324) Cornhusker Rd; Ft Crook to 25th St YR 1 PRELIM ENG/DESIGN → CORRIDOR WIDENING	\$ 500,000	\$ 500,000	
M146(305A) 30th St, Cornhusker to 370 - YR 2 ENG/DESIGN → RECONSTRUCTION	\$ 425,000	\$ 425,000	
M146(307A) Ft Crook Rd, S 13th St to Harlan Dr - ENG/DESIGN → REDEVELOPMENT, RECONSTRUCTION	\$ 125,000	\$ 125,000	
M146(318) Ft Crook Rd; Chandler to Capehart - DRAINAGE STRUCTURE REHAB; YR 1	\$ 100,000	\$ 100,000	
M146(74A) Capehart Rd; 27th to 30th St - YR 2 ENG/DESIGN → RECONSTRUCTION	\$ 125,000	\$ 125,000	
	<u>\$ 2,935,000</u>	<u>\$ 2,935,000</u>	<u>-</u>

**ST 22(5) South 36th Street**

M146(122D) So 36th St; Hwy 370 to Sheridan Rd - PHASE 1, YR 2 - WIDENING/RECONSTRUCTION	\$ 7,400,000	\$ 1,480,000	5,920,000	Federal Aid Project (80/20)
M146(171A) So 36th St; Sheridan Rd to Platteview - PHASE 2, YR 2 - ENG/DESIGN	\$ 1,650,000	\$ 330,000	1,320,000	
	<u>\$ 9,050,000</u>	<u>\$ 1,810,000</u>	<u>7,240,000</u>	

**ST 22(6) Bridge Repairs**

M146(252B) Galvin Rd & Hensen Ave - PEDESTRIAN BRIDGE REHAB	\$ 500,000	\$ 500,000	
M146(301B) Schilling Dr; 0th St to 13th St - BRIDGE #U023031235 CONTRACT PLANS, BRIDGE REMOVAL	\$ 250,000	\$ 250,000	
M146(320) Cornhusker Rd e/ 10th St; Bridge #U023000615P EROSION MITIGATION	\$ 295,000	\$ 295,000	
M146(321) Harlan Dr & Ft Crook Rd; Bridge #U023001654 - EXPANSION JOINTS, APPROACH SLABS, DRA	\$ 725,000	\$ 725,000	
	<u>\$ 1,770,000</u>	<u>\$ 1,770,000</u>	<u>-</u>

**ST 22(7) Drainage Improvements**

M146(157A) Betz Ditch, south of Lloyd St - YR 2, ENG/DESIGN → DRAINAGE IMPROVEMENTS	\$ 80,000	\$ 80,000	-
	<u>\$ 80,000</u>	<u>\$ 80,000</u>	<u>-</u>

**ST 22(8) Wall Rehabilitation**

	\$ -	\$ -	
	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>

**ST 22(9) Facilities**

M146(325) City of Bellevue Public Works Facility ENG/DESIGN	\$ 75,000	\$ 75,000	
	<u>\$ 75,000</u>	<u>\$ 75,000</u>	<u>-</u>

**ST 22(10) Road Construction**

M146(334) Ft Crook Rd N; 1200 Block - MEDIAN ACCESS RD	\$ 80,000	\$ 80,000	
	<u>\$ 80,000</u>	<u>\$ 80,000</u>	<u>-</u>
<b>ST 22(11) Signal Improvements</b>			
	\$ -	\$ -	
	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>
<b>ST 22(12) Asset Management</b>			
M146(310) Pavement Manage System - DATA COLLECTION, IMPLEMENTATION; YR 1	\$ 175,000	\$ 175,000	
	<u>\$ 175,000</u>	<u>\$ 175,000</u>	<u>-</u>
<b>ST 22(13) Vehicles and Equipment - Capital Lease</b>			
Pickup Trucks - 3 @ \$65k each	\$ 195,000	\$ 195,000	
	<u>\$ 195,000</u>	<u>\$ 370,000</u>	<u>-</u>
<b>WW 22(1) Utility vehicle is used in our emergency reponse to events. Current vehicle is 30 years old and needs to be replaced</b>	\$ 75,000	\$ 75,000	
<b>WW 22(2) Due to growth in this sanitary basin, this lift station and forcemain will need to be replaced (Quail Creek)</b>	\$ 1,200,000	\$ 1,200,000	
<b>WW 22(3) Project is continued from 2020-2021(South Lift Station Flood Recovery)</b>	\$ 2,300,000	\$ 287,500	\$ 2,012,500
<b>WW 22(4) South Ridgeline Improvements (FEMA)</b>	\$ -	\$ -	
	<u>\$ 3,575,000</u>	<u>\$ 1,562,500</u>	<u>\$ 2,012,500</u>

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN  
MEMORANDUM  
PROJECTS BY YEAR**

**FISCAL YEAR 2023**

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
<b>Administrative Services</b>				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
<b>Building Maintenance</b>				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
<b>Cemetery</b>				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
<b>Economic Development Fund</b>				
ED 23(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
Total	750,000	750,000	-	
<b>Fire</b>				

FI 23(1) Replace Engine 41	675,000	675,000	-	Community Betterment
FI 23(2) Replace Fire Car 2	65,000	65,000		
FI 23(3) Replace Fire Car 9	65,000	65,000		

Total	<u>805,000</u>	<u>805,000</u>	<u>-</u>	
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**Fleet**

FL 23(1) Vehicles and Equipment	98,500	98,500	-	
	-	-	-	
	-	-	-	
Total	<u>98,500</u>	<u>98,500</u>	<u>-</u>	

**Information Technology (IT)**

No capital projects this fiscal year.	-	-	-	
Total	<u>-</u>	<u>-</u>	<u>-</u>	

**Library**

No capital projects this fiscal year.	-	-	-	
Total	<u>-</u>	<u>-</u>	<u>-</u>	

**Parks**

PK 23(1) Aquatic Center-Construction	13,000,000	13,000,000	-	
Total	<u>13,000,000</u>	<u>13,000,000</u>	<u>-</u>	

**Police**

PO 23(1) Cruiser purchase	500,000	500,000	-
PO 23(2) Tablets for Vehicles with Wi-Fi	331,239	331,239	-
PO 23(3) Pro-Phoenix LRMS	27,474	27,474	-
Total	<u>858,713</u>	<u>858,713</u>	<u>-</u>

**Public Works**

PW 23(1) Project Engineering	200,000	200,000	-
Total	<u>200,000</u>	<u>200,000</u>	<u>-</u>

**Recreation**

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Streets**

ST 23(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	1,100,000	1,100,000	-	AC Funding
ST 23(2) Concrete Projects	2,790,000	2,790,000	-	See Detail Listing
ST 23(3) 2023 Overlay Projects	-	-	-	See Detail Listing
ST 23(4) 2023 Reconstruction Projects	4,800,000	4,800,000	-	See Detail Listing
ST 23(5) South 36th Street	5,960,000	1,192,000	4,768,000	NDOT 80% cost share
ST 23(6) Bridge Repairs	-	-	-	See Detail Listing
ST 23(7) Drainage Improvements	2,745,000	2,745,000	-	See Detail Listing
ST 23(8) Wall Rehabilitation	1,115,000	1,115,000	-	See Detail Listing
ST 23(9) Facilities	2,500,000	2,500,000	-	
ST 23(10) Road Construction	-	-	-	
ST 23(11) Signal Improvements	75,000	75,000	-	See Detail Listing
ST 23(12) Asset Management	100,000	100,000	-	See Detail Listing
ST 23(13) Vehicles and Equipment	-	-	-	

Total	21,185,000	16,417,000	4,768,000
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Wastewater
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WW 23(1) CIPP Pipeline Rehabilitation	230,000	230,000	-
WW 23(2) Bluff St Force Main replacement	200,000	200,000	-
WW 23 (3) CCTV Van Replacement	260,000	260,000	
WW 24 (4) South Bellevue Sanitary Upgrades	1,200,000	1,200,000	
Total	1,890,000	1,890,000	-

<b>CAPITAL TOTAL ALL DEPARTMENTS</b>	<b>38,787,213</b>	<b>34,019,213</b>	<b>4,768,000</b>
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**PROJECT DESCRIPTIONS**

ED 23(1) Infrastructure--Funding for LB 840 program, possible projects to be determined

FI 23(1) Replace Pumper 41--1997 Seagrave  
 FI 23(2) Replace Fire Car 2--Replace 2011 Tahoe  
 FI 23(3) Replace Fire Car 9--Replace 2010 Tahoe

FL 23(1) Vehicles and Equipment  
 \*FLT-5 2012 Ford F350 crew cab (\$44,500)  
 \*FLT-7 1980 Allis Chalmers 30 Forklift--this will be determined, the type and size, based on the new shop (\$54,000)

PK 23(1) Aquatic Center - Construction

PO 23(1) Cruiser purchase (on-going)  
 PO 23(2) Tablet for vehicles with Wi-Fi  
 PO 23(3) Pro-Phoenix LRMS software

PW 23(1) Project Engineering--Outsourced engineering for various projects

**ST 23(1) Major Street Resurfacing (MAPA/NDOT AC Funding)**

M146(228D) Chandler Rd:Bellevue Blvd N to 2tth St-RESURFACING\*\*  
M146(317) Cedar Island Rd: Chandler Rd to Childs Rd -RESURFACING\*\*

**ST 23(2) 2023 Concrete Projects**

M146(228D) Cit-wide, various locations-CONCRETE PAVEMENT REHAB; YR 4  
M146(269A) Hancock St; E Missioni Ave to E 29th Ave - REHAB ADVANCE CONCRETE REPAIRS  
M146 (270A) Giles Rd; 42nd to 48th St - REHAB ADVANCE CONCRETE REPAIRS  
M146(280A) Fontenelle Hills; Martin Dr and Ridgewood Dr - REHAB ADVANCE CONCRETE REPAIRS  
M146(281A) Freeman Dr/Jackson St; Harvell Dr to Mission Ave- REHAB ADVANCE CONCRETE REPAIRS  
M146(282A) Cascio Additon - Kings Dr, Casicio Dr- REHAB ADVANCE CONCRETE REPAIRS  
M146(284A) Mission Ave; Main St to Lincoln Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(285A) Valleyview, 39th St - REHAB ADVANCE CONCRETE REPAIRS  
M146(288C) Harison St, Sarpy Ave to 36th St - REHAB ADVANCE CONCRETE REPAIRS  
M146(297A) St Andrews Rd; Lincoln Rd to Birchcrest Rd - REHAB ADVANCE CONCRETE REPAIRS  
Galvin Rd/Lincoln Rd; Ludwig Dr to Bellevue Gate - REHAB ADVANCE CONCRETE REPAIRS

**ST 23(3) 2023 Overlay Projects**

**ST 23(4) 2023 Reconstruction Projects**

M146(236) 36th & Chandler intersection - INTERSECTION IMPROVEMENTS; DRAINAGE STRUCTURE, SIDEWALKS, PAVING  
M146(236) Cornhusker Rd; Ft Crook to 25th St YR 2 - PRELIM ENG/DESIGN--> COORIDOR WIDENING  
M146(215) Fontenelle Hills Addition; Ridgewood Ct, Bayberry Dr, Laurel Dr, Laurel Cir - RECONSTRUCTION  
M146(218) Forest Hills Addition; Shagbark Ct, Redbud Ln, Forestview Cir - RECONSTRUCT ASPHALT STREETS  
M146(305A) 36th St, Cornhusker to 370 - FINAL ENG/DESIGN WORK--> RECONSTRUCTION  
M146(318) Ft Crook Rd; Chandler to Capehart - DRAINAGE STRUCTURE REHAB, YR 2

**ST 23(5) South 36th Street**

M146(171B) So 36th St - Sheridan Rd to Plattview Rd - PHASE 2; CONSTRUCTION; YR 1

**ST 23 (6) Bridge Repairs**

**ST 23(7) Drainage Improvements**

M146(205) Drainage area west of Harlan Lewis Rd, Industrial Dr to Paradise Park - DRAINAGE IMPROVEMENTS, DRAINAGE STRUCTURE  
M146(253B) Area 19th to 18th, north of Chandler Rd - DRAINAGE STRUCTURES  
M146(274) NE Corner of Harvell Dr & Lincoln, NE for 0.16 Mi toward Lila Ave - GROUT, SLIP-LINE CONCRETE DRAINAGE PIPE  
M146(157B) Betz Ditch, south of Lloyd St - DRAINAGE IMPROVEMENTS; YR 1  
M146(271A) E/25th St, Lynnwood Dr to Blackhawk Dr - DRAINAGE DITCH REHAB - YR 1

M146(276B) College Heights; 407 MMK (Lot 177B) - EASEMENT, EROSION MITIGATION, DRAINAGE IMPROVEMENTS, YR 1  
M146(300B) Area west of 26th St, N of Chandler Rd - DRAINAGE IMPROVEMENTS, STRUCTURES, PAVING YR 1

**ST 23(8) Wall Rehabilitation**

M146(230B) Lincoln Rd., Ludwig Dr to Mission Ave - WALL, SIDEWALK INSTALLATION, DRAINAGE STRUCTURES  
M146(231B) Lincoln Rd., Lorraine Ave to Lorraine Dr - WALL, , PAVING, SIDEWALK INSTALLATION

**ST 23(9) Facilities**

M146(325) City of Bellevue Public Works Facility YR 2 ENG/DESIGN, LAND, SITE PREP, UTILITIES

**ST 23(10) Road Construction**

**ST 23(11) Signal Improvements**

M146(333) 36th & Bline - SIGNAL IMPROVEMENTS

**ST 23(12) Asset Management**

M146(319) Pavement Manage System - DATA COLLECTION, IMPLEMENTATION; YR 2

**ST 23(13) Vehicles and Equipment**

WW 23(1) CIPP Pipeline Rehabilitation  
WW 23(2) Bluff St Force Main replacement  
WW 23(3) TV is at the end of its useful life  
WW 23(4) New infrastructure development needs

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN  
MEMORANDUM  
PROJECTS BY YEAR**

**FISCAL YEAR 2024**

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
<b>Administrative Services</b>				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
<b>Building Maintenance</b>				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
<b>Cemetery</b>				
No capital projects this fiscal year.	-	-	-	
Total	-	-	-	
<b>Economic Development Fund</b>				
ED 24(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
Total	750,000	750,000	-	
<b>Fire</b>				

FI 24(1) Replace Engine/Tanker 4	850,000	850,000	-
FI 24(2) Replace Utility 1	65,000	65,000	-
FI 24(3) Replace Brush 33	95,000	95,000	-
Total	<u>1,010,000</u>	<u>1,010,000</u>	<u>-</u>

**Fleet**

FL 24(1) Vehicles and Equipment	90,720	90,720	-
	-	-	-
	-	-	-
Total	<u>90,720</u>	<u>90,720</u>	<u>-</u>

**Information Technology (IT)**

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Library**

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Parks**

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Police**

PO 24(1) Cruiser purchase	500,000	500,000	-
PO 24(2) Pro Phoenix LRMS	27,474	27,474	-
PO 24(3) Servers	200,000	200,000	-
Total	<u>727,474</u>	<u>727,474</u>	<u>-</u>

**Public Works**

PW 24(2) Project Engineering	200,000	200,000	-
Total	<u>200,000</u>	<u>200,000</u>	<u>-</u>

**Recreation**

No capital projects this fiscal year.	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Streets**

ST 24(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	3,220,000	3,220,000	-	
ST 24(2) 2024 Concrete Projects	2,855,000	2,855,000	-	
ST 24(3) 2024 Overlay Projects	2,405,000	2,405,000	-	
ST 24(4) Capehart Rd; Kennedy Freeway to Dow St	1,125,000	225,000	900,000	Sarpy County Cost Share
ST 24(5) Fontenelle Hills Addition; Martin Dr, Ridgewood Ct	2,980,000	596,000	2,384,000	NDOT 80% cost share
ST 24(6) Freeman Dr/Jackson St; Harvell Dr to Mission Ave	-	-	-	
ST 24(7) Cascio Addition; Kings Dr, Cascio Dr	2,090,000	2,090,000	-	
ST 24(8) Chandler Rd; Bellevue Blvd N to 25th St	-	-	-	
ST 24(9) Mission Ave; Main St to Lincoln Rd	2,500,000	2,500,000	-	
ST 24(10) High Meadows Ln, 39th St, Valleyview	-	-	-	
ST 24(11) Ft Crook Rd; Cornhusker Rd to Capehart Rd	650,000	650,000	-	
ST 24(12) Willow Springs Addition; Lewis and Clark	-	-	-	
ST 24(13) Harrison St; Sarpy Ave to 48th St (Yr 1 - 36th to 48th	-	-	-	

Total	17,825,000	14,541,000	3,284,000
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Wastewater			
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No capital projects this fiscal year.

Total	-	-	-
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<b>CAPITAL TOTAL ALL DEPARTMENTS</b>	<b>20,603,194</b>	<b>17,319,194</b>	<b>3,284,000</b>
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**PROJECT DESCRIPTIONS**

ED 24(1) Infrastructure--Funding for LB 840 program, possible projects to be determined

FI 24(1) Replace Engine/Tanker 4 --A 2000 Seagrave

FI 24(2) Replace Utility 1--A 2004 F 250 dual wheel pickup

FI 24(3) Replace Brush 33--A 2002 Chevy 3500 pick-up with water tank and pump

**FL 24(1) Vehicles and Equipment**

FLT-1 2011 Ford F350 Plow truck

FLT-6 2005 Ford F350

PO 24 (1) Cruiser purchase ongoing

PO 24 (2) Pro-Phoenix LRMS software

PO 24 (3) Servers

**PW 24(1) Project Engineering--Outsourced engineering for various projects**

**ST 24(1) Major Street Resurfacing (MAPA/NDOT AC Funding)**

M146(245) Kayleen Dr; Gregg Rd E to Harvell Dr - RESURFACING

M146(269B) Hancock St.; E Mission Ave to E 29th Ave - RESURFACING

M146(270B) Giles Rd; 42nd to 48th St - RESURFACING  
M146(281B) Freeman Dr/Jackson St; Harvell Dr to Mission Ave - RESURFACING  
M146(282B) Cascio Addition – Kings Dr, Cascio Dr – RESURFACING  
M146(284B) Mission Ave; Main St to Lincoln Rd - RESURFACING  
M146(288D) Harrison St, Sarpy Ave to 36th St - RESURFACING  
M146(308B) Galvin Rd/Lincoln Rd; Ludwig Dr to Bellevue Gate - RESURFACING

**ST 24(2) 2024 Concrete Projects**

M146(238A) Childs Rd E; Camp Gifford Rd to Ft Crook Rd - REHAB ADVANCED CONCRETE REPAIRS  
M146(286A) Ft Crook Rd; Cornhusker Rd to Capehart Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(287A) Willow Springs – Lewis and Clark east of 25th St to Kennedy Freeway - REHAB ADVANCE CONCRETE REPAIRS  
M146(289A) Blue Ridge Addition; Oak Ridge Dr to 36th St, Sherwood Dr to Cornhusker Rd - REHAB ADVANCED CONCRETE REPAIRS  
M146(292A) AREA OF: Borman to Harrison, 45th to 48th St - REHAB ADVANCE CONCRETE REPAIRS  
M146(293A) Birchcrest Rd/Lloyd St; Harvell Dr to Betz Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(296A) S 36th St; Harrison to Chandler - REHAB ADVANCED CONCRETE REPAIRS  
M146(298A) Fairfax Rd; Harvell Dr to Wilroy Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(316A) 25th St, 625' N/ Sautter Ave to Cornhusker Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(322A) Harvell Dr; Birchcrest Rd to Ft Crook Rd - REHAB ADVANCE CONCRETE REPAIRS/STREET-SCAPE

**ST 24(3) 2024 Overlay Projects**

M146(233) Electri-City, Dietz Meadows, Buller's First Addition - RESURFACING  
M146(241) Kasper St; City limits to Ft Crook Frontage Rd - RESURFACING  
M146(242) Twin Ridge II Addition; Bryan Ave, Victoria Ave - RESURFACING  
M146(280B) Fontenelle Hills; Martin Dr and Ridgewood Dr – RESURFACING  
M146(285B) Valleyview , 39th St - RESURFACING  
M146(297B) St Andrews Rd; Lincoln Rd to Birchcrest Rd - RESURFACING

**ST 24(4) 2024 Reconstruction Projects**

M146(305B) 36th St, Cornhusker to 370 - ROW, UTILITIES

**ST 24(5) South 36th Street**

M146(171C) So 36th St - Sheridan Rd to Platteview Rd - PHASE 2; CONSTRUCTION, YR 2

**ST 24(6) Bridge Repairs**

**ST 24(7) Drainage Improvements**

M146(253B) Area 19th to 18th, north of Chandler Rd - DRAINAGE STRUCTURES  
M146(157B) Betz Ditch, south of Lloyd St - DRAINAGE IMPROVEMENTS, YR 2  
M146(271B) E/25th St, Lynnwood Dr to Blackhawk Dr - DRAINAGE DITCH REHAB, YR 2

M146(276B) College Heights; 407 MMK (Lot 177B) - EASEMENT, EROSION MITIGATION, DRAINAGE IMPROVEMENTS, YR 2

M146(300B) Area west of 26th St, N of Chandler Rd - DRAINAGE IMPROVEMENTS, STRUCTURES, PAVING YR 2

**ST 24(8) Wall Rehabilitation**

**ST 24(9) Facilities**

M146(325) City of Bellevue Public Works Facility SITE PREP, UTILITIES

**ST 24(10) Road Construction**

**ST 24(11) Signal Improvements**

M146(232) City-wide Traffic Signal Communication Upgrades (controllers, signal heads, office communication capability, pre-empt upgrades, intersection cameras)

**ST 24(12) Asset Management**

**ST 24(13) Vehicles and Equipment**

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN  
MEMORANDUM  
PROJECTS BY YEAR**

**FISCAL YEAR 2025**

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
<b>Administrative Services</b>				
No capital projects this fiscal year.	-	-	-	
<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>	
<b>Building Maintenance</b>				
No capital projects this fiscal year.	-	-	-	
<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>	
<b>Cemetery</b>				
No capital projects this fiscal year.	-	-	-	
<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>	
<b>Economic Development Fund</b>				
ED 25(1) LB 840 Infrastructure improvements	750,000	750,000	-	Community Betterment
<b>Total</b>	<u>750,000</u>	<u>750,000</u>	<u>-</u>	
<b>Fleet</b>				
FL 25(1) Vehicles and Equipment	176,175	176,175	-	
<b>Total</b>	<u>176,175</u>	<u>176,175</u>	<u>-</u>	
<b>Fire</b>				
FI 25 (1) Replace Medic 31	425,000	425,000	-	
FI 25 (2) Replace Engine 41	850,000	850,000	-	
			-	

Total	1,275,000	1,275,000	-
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**Information Technology (IT)**

No capital projects this fiscal year.

Total	-	-	-
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**Library**

LI 25 (1) RFID System  
LI 25(2)Public Lockers

	200,000	200,000	
	50,000	50,000	
Total	250,000	250,000	-

**Parks**

No capital projects this fiscal year.

Total	-	-	-
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**Permits and Inspectoins**

P&I 25 (3) Chevy Colorado Pickup Trucks

	243,000	243,000	-
Total	243,000	243,000	-

**Public Works**

PW 25(1) Project Engineering/Surveying

	200,000	200,000	-
Total	200,000	200,000	-

**Recreation**

No capital projects this fiscal year.

Total	-	-	-
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**Streets**

ST 25(1) Major Street Resurfacing (MAPA/NDOT AC Funding)  
ST 25(2) 2025 Concrete Projects  
ST 25(3) 2025 Overlay Projects  
ST 23(4) 2023 Reconstruction Projects  
ST 23(5) South 36th Street  
ST 23(6) Bridge Repairs  
ST 23(7) Drainage Improvements  
ST 23(8) Wall Rehabilitation

	6,235,000	6,235,000	-
	2,710,000	2,710,000	-
	2,550,000	2,550,000	-
	17,285,000	3,605,000	13,680,000
	0	0	-
	0	0	-
	1,445,000	445,000	1,000,000
	0	0	-

AC Funding

ST 23(9) Facilities	10,000,000	10,000,000	-
ST 23(10) Road Construction	3,000,000	3,000,000	-
ST 23(11) Signal Improvements	285,000	285,000	-
ST 23(12) Asset Management			
ST 23(13) Vehicles and Equipment			
<b>Total</b>	<u>43,510,000</u>	<u>28,830,000</u>	<u>14,680,000</u>
<b>Wastewater</b>			
No capital projects this fiscal year.	-	-	-
<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>
<b>CAPITAL TOTAL ALL DEPARTMENTS</b>	<b>46,404,175</b>	<b>31,724,175</b>	<b>14,680,000</b>

**PROJECT DESCRIPTIONS**

ED 25(1) Infrastructure--Funding for LB 840 program, possible projects to be determined

FI 25(1) Replace Medic 31--A 2006 International Medic Unit

FI 25(2) Replace Engine 41--A 1997 Seagrave Pumper

**FL 25(1) Vehicles and Equipment**

FLT-4 2018 Ford Transit Van Parts Pickup

Above Ground Truck Lifts

P&I 25(1) 3 Chevy Colorado Trucks

PO 25(1) Land Purchase for Impound Lot/K-9 Complex

PO 25(2) Range Outbuilding

LI 25(1) Implement RFID (Radio Identification) System

LI 25(2) Public Lockers

PW 25(1) Project Engineering/Surveying

**ST 25(1) Major Street Resurfacing (MAPA/NDOT AC Funding)**

M146(238B) Childs Rd E; Camp Gifford Rd to Ft Crook Rd - RESURFACING

M146(286B) Ft Crook Rd; Cornhusker Rd to Capehart Rd - RESURFACING

M146(293B) Birchcrest Rd/Lloyd St; Harvell Dr to Betz Rd - RESURFACING

M146(296B) S 36th St; Harrison to Chandler - RESURFACING

M146(316B) 25th St, 625' N/ Sautter Ave to Cornhusker Rd- RESURFACING\*

M146(322B) Harvell Dr; Birchcrest Rd to Ft Crook Rd - RESURFACING\*

**ST 25(2) 2025 Concrete Projects**

M146(277A) S 28th Ave; Capehart Rd to Leawood Dr - REHAB ADVANCED CONCRETE REPAIRS

M146(278A) S 29th Ave; Capehart Rd to Southdale Plaza - REHAB ADVANCED CONCRETE REPAIRS

M146(286C) Ft Crook Rd, 13th St; Harrison to Cornhusker Rd - REHAB ADVANCE CONCRETE REPAIRS

M146(287A) Willow Springs - Lewis and Clark east of 25th St to Kennedy Freeway - REHAB ADVANCE CONCRETE REPAIRS

M146(290A) BBN; Prairie Ave to Gregg Rd - REHAB ADVANCE CONCRETE REPAIRS

M146(291A) BBS, Lord Blvd; Lincoln Rd to Franklin St - REHAB ADVANCE CONCRETE REPAIRS  
M146(309A) Gregg Rd, Bellevue Blvd N to Galvin Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(310A) Harlan Dr, Galvin Rd to Ft Crook Rd - REHAB ADVANCE CONCRETE REPAIRS  
M146(311A) 25th St, Lynnwood Dr to Fairview Rd - REHAB ADVANCE CONCRETE REPAIRS

**ST 25(3) 2025 Overlay Projects**

M146(227) Kirby Addition; Garden Ave, Westridge Ave - RESURFACING  
M146(246) Marian Ave.; Bellevue Blvd S to Lincoln Rd - RESURFACING  
M146(250) Area Sarpy Ave to 30th St, Harrison St to Chandler Rd - RESURFACING  
M146(257) Southern Valley Addition; 45th-48th St, Suburban Dr to Greene Ave - RESURFACING  
M146(263) Bellaire Heights Addition; Crestridge Dr, Hillside Dr, Valleyview Dr - RESURFACING  
M146(289B) Blue Ridge Addition; Oak Ridge Dr to 36th St, Sherwood Dr to Cornhusker Rd - RESURFACING  
M146(292B) AREA OF: Borman to Harrison, 45th to 48th St - RESURFACING  
M146(298B) Fairfax Rd; Harvell Dr to Wilroy Rd - RESURFACING

**ST 25(4) 2025 Reconstruction Projects**

M146(74B) Capehart Rd; 27th to 36th St - RECONSTRUCTION YR1  
M146(235) Bellevue Blvd North; Prairie Ave TO 13th St - BRICK PAVER REHAB  
M146(305B) 36th St, Cornhusker to 370 - YR 1 RECONSTRUCTION

**ST 25(5) South 36th Street**

**ST 25(6) Bridge Repairs**

**ST 25(7) Drainage Improvements**

M146(258) Willow Springs Addition; s/Hogantown Dr, b/t Lots 198,40 - DRAINAGE IMPROVEMENTS  
M146(266B) Fontenelle Hills Addition near 502 Edgewood Ct - STORM SEWER REPAIRS AND DRAINAGE IMPROVEMENT  
M146(268B) Quail Creek; Outlot 2 Twin Creek Plaza, Parcel ID #011317434 - DRAINAGE IMPROVEMENTS

**ST 25(8) Wall Rehabilitation**

**ST 25(9) Facilities**

M146(325) City of Bellevue Public Works Facility YR 1 CONSTRUCTION

**ST 25(10) Road Construction**

M146(294B) Willow Springs; s/15th St, west to 25th St - ACCESS ROAD

**ST 25(11) Signal Improvements**

M146(243A) 25th & Chandler Rd - SIGNAL REPLACEMENT

**ST 25(12) Asset Management**

**ST 25(13) Vehicles and Equipment**

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN  
MEMORANDUM  
PROJECTS BY YEAR**

**FISCAL YEAR 2026**

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
Total	-	-	-	
Building Maintenance				
Total	-	-	-	
Cemetery				
Total	-	-	-	
Code				
Total	-	-	-	
Economic Development Fund				
Total	-	-	-	
Fire				

	-	-	-
	-	-	-
	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Fleet**

FL 26(1) Vehicles and Equipment	104,170	104,170	-
	-	-	-
	-	-	-
Total	<u>104,170</u>	<u>104,170</u>	<u>-</u>

**Information Technology (IT)**

	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Library**

	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Parks**

	-	-	-
	-	-	-
	-	-	-
	-	-	-
Total	<u>-</u>	<u>-</u>	<u>-</u>

**Permits and Inspections**

	-	-	-
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Total	-	-	-
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**Police**

	-	-	-
Total	-	-	-

**Public Works**

PW 26(1) Project Engineering	200,000	200,000	-
	-	-	-
Total	200,000	200,000	-

**Recreation**

Total	-	-	-
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**Streets**

ST 26(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	\$ 6,180,000	\$ 6,180,000	\$ -	AC Funding
ST 26(2) 2026 Concrete Projects	\$ -	\$ -	\$ -	See Detail Listing
ST 26(3) 2026 Overlay Projects	\$ 390,000	\$ 390,000	\$ -	See Detail Listing
ST 26(4) 2026 Reconstruction Projects	\$ 20,500,000	\$ 6,820,000	\$ 13,680,000	See Detail Listing
ST 26(5) South 36th Street	\$ -	\$ -	\$ -	NDOT 80% cost share
ST 26(6) Bridge Repairs	\$ -	\$ -	\$ -	See Detail Listing
ST 26(7) Drainage Improvements	\$ -	\$ -	\$ -	See Detail Listing
ST 26(8) Wall Rehabilitation	\$ -	\$ -	\$ -	See Detail Listing
ST 26(9) Facilities	\$ 10,000,000	\$ 10,000,000	\$ -	See Detail Listing
ST 26(10) Road Construction	\$ -	\$ -	\$ -	See Detail Listing
ST 26(11) Signal Improvements	\$ -	\$ -	\$ -	See Detail Listing
ST 26(12) Asset Management	\$ -	\$ -	\$ -	See Detail Listing
ST 26(13) Vehicles and Equipment	\$ -	\$ -	\$ -	See Detail Listing
	<u>\$ 37,070,000</u>	<u>\$ 23,390,000</u>	<u>\$ 13,680,000</u>	

Wastewater

			-
			-
			-
			-
Total	<u>-</u>	<u>-</u>	<u>-</u>
<b>CAPITAL TOTAL ALL DEPARTMENTS</b>	<b>37,374,170</b>	<b>23,694,170</b>	<b>13,680,000</b>

**PROJECT DESCRIPTIONS**

**FL 26(1) Vehicles and Equipment**

- FLT-3 2012 Ford F250 Service Truck
- FLT-8 2013 Ford F350 Fabrication Welding Service Truck

- P&I 25(1) Chevy Colorado PU
- P&I 25(2) Chevy Colorado PU
- P&I 25(3) Chevy Colorado PU

**PW 26(1) Project Engineering--Outsourced engineering for various projects**

**ST 26(1) Major Street Resurfacing (MAPA/NDOT AC Funding)**

- M146(277B) S 28th Ave; Capehart Rd to Leawood Dr - RESURFACING
- M146(278B) S 29th Ave; Capehart Rd to Southdale Plaza - RESURFACING
- M146(286D) Ft Crook Rd, 13th St; Harrison to Cornhusker Rd - RESURFACING
- M146(290B) BBN; Prairie Ave to Gregg Rd - RESURFACING
- M146(291B) BBS, Lord Blvd; Lincoln Rd to Franklin St - RESURFACING
- M146(309B) Gregg Rd, Bellevue Blvd N to Galvin Rd - RESURFACING
- M146(310B) Harlan Dr, Galvin Rd to Ft Crook Rd - RESURFACING
- M146(311B) 25th St, Lynnwood Dr to Fairview Rd - RESURFACING

**ST 26(2) 2026 Concrete Projects**

**ST 26(3) 2026 Overlay Projects**

- M146(240) 43rd St; Harrison to Margo St - RESURFACING
- M146(287B) Willow Springs – Lewis and Clark east of 25th St to Kennedy Freeway - RESURFACING

**ST 26(4) 2026 Reconstruction Projects**

M146(74C) Capehart Rd; 27th to 36th St - RECONSTRUCTION YR2  
M146(215) Fontenelle Hills Addition; Ridgewood Ct, Bayberry Dr, Laurel Dr, Laurel Cir - RECONSTRUCTION  
M146(312A) S 32nd St, south of Chandler to City Limits - ENG/DESIGN --> RECONSTRUCTION  
M146(313A) S 42nd St, south of Giles to City Limits - ENG/DESIGN --> RECONSTRUCTION  
M146(314A) Area 19th to 25th St, Cornelia St to Childs Rd - ENG/DESIGN --> RECONSTRUCTION  
M146(315A) Area west fo 36th St, Giles Rd to Marie St - ENG/DESIGN --> RECONSTRUCTION  
M146(328) Bellevue Blvd N; 13th St to n/Prairie Ave - ENG/DESIGN --> COORDOR REHAB  
M146(216B) Forest Hills Addition; Shagbark Ct, Redbud Ln, Forestview Cir - RECONSTRUCT ASPHALT STREETS  
M146(305B) 36th St, Cornhusker to 370 - YR 2 RECONSTRUCTION

**ST 26(5) South 36th Street**

**ST 26(6) Bridge Repairs**

**ST 26(7) Drainage Improvements**

**ST 26(8) Wall Rehabilitation**

**ST 26(9) Facilities**

M146(325) City of Bellevue Public Works Facility YR 2 CONSTRUCTION

**ST 26(10) Road Construction**

**ST 26(11) Signal Improvements**

**ST 26(12) Asset Management**

**ST 26(13) Vehicles and Equipment**

**CITY OF BELLEVUE CAPITAL IMPROVEMENT PLAN  
MEMORANDUM  
PROJECTS BY YEAR**

**FISCAL YEAR 2027**

DEPARTMENT/PROJECT	7/26/2021 TOTAL COST	CITY COST	OTHER AGENCY COST	NOTES
Administrative Services				
Total	-	-	-	
Building Maintenance				
Total	-	-	-	
Cemetery				
Total	-	-	-	
Code				
Total	-	-	-	
Economic Development Fund				
Total	-	-	-	
Fire				

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Information Technology (IT)

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Library

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Parks

	-	-	-
	-	-	-
	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Permits and Inspections

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

Police

	-	-	-
	-	-	-
	-	-	-
Total	-	-	-

0

**Public Works**

PW 27(1) Project Engineering	200,000	200,000	-
	-	-	-
<b>Total</b>	<u>200,000</u>	<u>200,000</u>	<u>-</u>

**Recreation**

<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>
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**Streets**

ST 27(1) Major Street Resurfacing (MAPA/NDOT AC Funding)	\$ 820,000	820,000	-	AC Funding
ST 27(2) 2027 Concrete Projects	\$ 1,225,000	1,225,000	-	See Detail Listing
ST 27(3) 2027 Overlay Projects	\$ 325,000	325,000	-	See Detail Listing
ST 27(4) 2027 Reconstruction Projects	\$ 2,965,000	2,965,000	-	See Detail Listing
ST 27(5) South 36th Street	\$ -	-	-	NDOT 80% cost share
ST 27(6) Bridge Repairs	\$ 225,000	225,000	-	See Detail Listing
ST 27(7) Drainage Improvements	\$ -	-	-	See Detail Listing
ST 27(8) Wall Rehabilitation	\$ -	-	-	See Detail Listing
ST 27(9) Facilities	\$ -	-	-	See Detail Listing
ST 27(10) Road Construction	\$ -	-	-	See Detail Listing
ST 27(11) Signal Improvements	\$ -	-	-	See Detail Listing
ST 27(12) Asset Management	\$ -	-	-	See Detail Listing
ST 27(13) Vehicles and Equipment	\$ -	-	-	See Detail Listing
			-	
<b>Total</b>	<u>5,560,000</u>	<u>5,560,000</u>	<u>-</u>	

**Wastewater**

<b>Total</b>	<u>-</u>	<u>-</u>	<u>-</u>
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**CAPITAL TOTAL ALL DEPARTMENTS**

**5,760,000**

**5,760,000**

**-**

**PROJECT DESCRIPTIONS**

**PW 27(1) Project Engineering--Outsourced engineering for various projects**

**ST 27(1) Major Street Resurfacing (MAPA/NDOT AC Funding)**

M146(326) Childs Rd W; 19th to 25th St - RESURFACING

M146(331) Harlan Lewis Rd ; 29th & Hancock to City Limits s/Cunningham Rd - RESURFACING

**ST 27(2) 2027 Concrete Projects**

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

15b.  
08/03/2021

08/03/2021

COUNCIL MEETING DATE: 08/17/2021	SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>

SUBJECT:

Request to approve the 2021 Comprehensive Plan update.

SYNOPSIS/BACKGROUND:

The Planning Department periodically reviews and updates the Comprehensive Plan to keep up-to-date with development in the City's zoning jurisdiction. The attached memo details the proposed updates.

FISCAL IMPACT:  BUDGETED FUNDS?: NO  GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO  COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: NO

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this Comprehensive Plan update.

ATTACHMENTS:

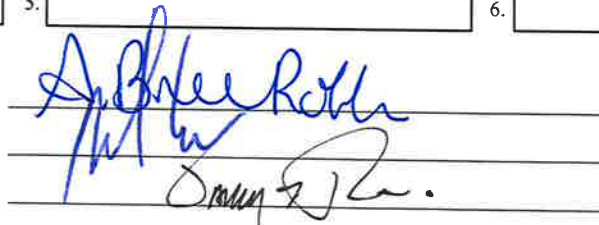
- |                         |                         |                                |
|-------------------------|-------------------------|--------------------------------|
| 1. PC Recommendation    | 2. Staff Report         | 3. Proposed Resolution 2021-27 |
| 4. <input type="text"/> | 5. <input type="text"/> | 6. <input type="text"/>        |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



**RESOLUTION 2021-27**

WHEREAS, the City of Bellevue is required to adopt a Comprehensive Development Plan in order to enact zoning regulations; and

WHEREAS, the City of Bellevue adopted the 2018 Comprehensive Development Plan on October 22, 2018 with Resolution 2018-33; and

WHEREAS, the City of Bellevue Planning Department periodically reviews the Comprehensive Development Plan and makes recommendations for updates which are attached to this Resolution as Exhibit "A"; and

WHEREAS, the City of Bellevue Planning Commission has held a public hearing and has recommended that the City Council adopt the 2021 Comprehensive Development Plan update; and

WHEREAS, the City of Bellevue City Council has held a public hearing regarding the 2021 Comprehensive Development Plan update.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL of the City of Bellevue that the 2021 Comprehensive Development Plan update is hereby adopted as the guide for future growth and development within the City of Bellevue and its extra-territorial zoning jurisdiction.

PASSED AND ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Rusty Hike, Mayor

ATTEST:

\_\_\_\_\_  
Susan Kluthe, City Clerk

# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

APPLICANT: City of Bellevue

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to amend the Comprehensive Plan to include the Growth Management Plan of the Sarpy County and Cities Wastewater Agency.

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

**APPROVAL** based upon adoption of Resolutions 2021-13 and 2021-016.

VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Perrin
	Aerni						Cutsforth
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021



# MEMORANDUM

To: City Council  
Mayor Rusty Hike  
City Administrator Jim Ristow  
FROM: Tammi Palm, Planning Manager  
DATE: July 26, 2021  
RE: Comprehensive Plan Amendment

The Sarpy County and Cities Wastewater Agency was created on September 19, 2017. The city adopted the Agency's Growth Management Plan on May 18, 2021. In doing so, the city agreed to incorporate the Growth Management Plan into our Comprehensive Plan.

Staff is proposing to incorporate new language into Section 3.2 Preferred Development Concept under "Papillion Creek Drainage Basin" to address this requirement. The new language would read as follows:

The Sarpy County and Cities Wastewater Agency ("Agency") was created on September 19, 2017. The city adopted the Agency's Growth Management Plan in May 2021. An interlocal agreement between the Agency and the City of Bellevue for the operation of Bellevue sewer services located within the agency's jurisdiction has also been approved. As a result, the Growth Management Plan set forth by the Agency will be incorporated as part of this plan.

Attached Exhibit "A" is the proposed updated language in Section 3.2. Exhibit "B" is the Growth Management Plan for reference.

## **PLANNING DEPARTMENT RECOMMENDATION:**

APPROVAL based upon adoption of Resolutions 2021-13 and 2021-016.

## **PLANNING COMMISSION RECOMMENDATION:**

APPROVAL based upon adoption of Resolutions 2021-13 and 2021-016



opportunities are needed. Bellevue's Preferred Development Concept was designed to achieve these goals.

### **Papillion Creek Drainage Basin**

Bellevue and its ETJ area is contained almost entirely within the Papillion Creek Basin. The natural contour and topography of the Papillion Creek Basin gradually slopes toward the Missouri River. Growth boundaries flow gradually in the same direction as the basin boundaries and ridgelines. Developed areas must have infrastructure and services (i.e., sewer and water). Pumping wastewater uphill or across a ridgeline into another drainage basin can be expensive. Therefore, a basin that already has sewer and water service should be completely developed before developing an adjacent basin. Eventually, Bellevue's growing population base, in tandem with market forces, will require the development of land that is located southwest of the ridgeline, within the Platte River Basin. The Bellevue Preferred Development Concept acknowledges these trends and, therefore, includes land-use development suggestions for this area. However, Bellevue should first maximize development potential within the existing Papillion Creek Basin before extending development into the Platte River Basin. Future Platte River Basin development will require pump stations to carry wastewater back to the Papillion Creek Basin or to new wastewater treatment plants.

A thorough wastewater study of Sarpy County was recently completed, and the report includes both short-term and long-term recommendations. The preferred development concept abides by the recommendations and suggestions contained in that report.

The Sarpy County and Cities Wastewater Agency ("Agency") was created on September 19, 2017. The city adopted the Agency's Growth Management Plan in May 2021. An interlocal agreement

### **Available Land for Infill Development**

<b>Land Use Type</b>	<b>Area Inside City Limits</b>	<b>% of Area Inside City</b>
<b>Open Space</b>	511.5	6.9%
<b>Vacant Lots</b>	294.7	3.9%
<b>Agriculture</b>	315.9	4.2%
<b>Sub Total</b>	1,122.1	15.0%
<b>Total</b>	<b>7,382.4</b>	

Table 3-2: Available Land for Infill Development

between the Agency and the City of Bellevue for the operation of Bellevue sewer services located within the agency's jurisdiction has also been approved. As a result, the Growth Management Plan set forth by the Agency will be incorporated as part of this plan.

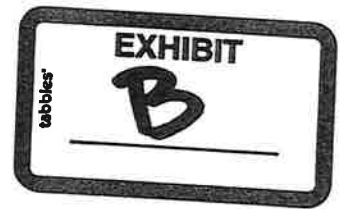
### ***Infill Development***

Bellevue has not grown in a consistently concentric manner. Natural growth impediments like the Missouri River and the Papio Creek floodplain, along with Offutt's AICUZ, have contributed to an amorphous growth pattern. Generally speaking, Olde Towne and the Bellevue Boulevard area developed first. Northwest Bellevue and south Omaha represented the next growth tier. Most of the recent growth has occurred to the west and to the south. The development pattern is logical when looking at Bellevue's growth constraints. However, Bellevue is somewhat unique because large swaths of undeveloped land remain within the city limits. Developers, in response to market forces, built on virgin land outside the city limits instead of developing all or most of the available land within the city. The large number of vacant parcels within Bellevue's city limits has impacted Bellevue's community character, tax base, transportation corridors, and the continuity of development.

The land-use survey indicated that 15 percent of the land within Bellevue's city limits is either vacant, open space, or used for agriculture. This land use is not wrong, but this high percentage of undeveloped land within the city limits affects the tax base. Developing land within Bellevue's city limits, before developing the ETJ area, offers various benefits, including a larger tax base, efficient use of existing infrastructure, and a more compact development pattern.

The results of the Bellevue Comprehensive Plan survey indicated that Bellevue residents are frustrated with Bellevue's current tax rate. Question three of the survey asked, "What are the top three things you like least about Bellevue?" The most prevalent response was "Taxes." Additional development within the city limits will increase the City of Bellevue's tax base and can improve its fiscal status. Although lower taxes are not a guarantee, infill development within Bellevue could have a beneficial effect on the city's tax rate.

The results also indicate that Bellevue residents support development that uses existing infrastructure and public services. Nearly 85 percent of respondents "Strongly agreed" or "Agreed" with the statement, "I believe that the redevelopment of land served by existing infrastructure and public services is important." Additionally, strong support was found for efficient development patterns that



**SARPY COUNTY AND CITIES WASTEWATER AGENCY**  
**GROWTH MANAGEMENT PLAN**

*Effective June 26, 2019*

*Adopted by Sarpy County and Cities Wastewater Agency on June 26, 2019 Pursuant to Resolution No. 2019-004*

*Amended on February 26, 2020 Pursuant to Resolution No. 2020-004*

**Overview**

This Growth Management Plan (the "Plan") provides an overall framework for the suburban/urban development of a portion of southern Sarpy County (the "County") to be served by a unified sanitary sewer system owned and operated under the auspices of the Sarpy County and Cities Wastewater Agency (the "System"). The Plan identifies areas intended to be served by the System as well as growth zones intended to manage development in phases.

The Agency and its individual Members agree that the System's design, phasing and operation are intended to achieve the following objectives:

- Enable future development while limiting it to areas that can be served by sanitary wastewater facilities and other necessary public infrastructure, facilities and services.
- Encourage economic development in the County through targeted public infrastructure development.
- Provide support for the Future Land Use plans and related infrastructure and service plans of each Agency Member.
- Consider market demand while providing predictability for private investment.
- Support projects that provide County-wide benefit.
- Reflect holistic public infrastructure, facility and service needs and impacts.
- Ensure that those who benefit from the System contribute to its development, operation and maintenance.

To achieve these objectives, the Agency and its Members intend to adopt this Plan and, separately, the policies and procedures required to implement it. The Agency may periodically update this Plan, the Growth Zones (as defined below) and the implementing policies and procedures.

**Growth Management Area**

The Service Area map (Figure 1) depicts the "Service Area" covered by the Growth Management Plan. Land within this area (the "Growth Management Area") is intended to be

developed to a suburban/urban density, defined as development that requires municipal water and sanitary sewer service. Land outside of the Growth Management Area and outside of the Papillion Creek Watershed is restricted to lower-density development that can be accommodated through individual or small-scale well and septic systems.

### **Growth Zones**

The Growth Management Area comprises two “Growth Zones” that manage where and how new development occurs within the Growth Management Area: (1) the Urban Reserve Zone (“URZ”), which limits growth in areas not currently served with sanitary sewer and other public utilities but which can be served in the future; and (2) the Urban Development Zone (“UDZ”), which provides opportunity for immediate investment and development and which best supports urban and suburban-scale densities with corresponding infrastructure extensions.

The URZ’s purpose is to ensure that sufficient land is available to accommodate projected demand for future urban development. Further, given the cost of the infrastructure needed to support such development, it is critical that enough land is reserved within the URZ to accommodate the density of development needed to pay for the sewers, streets, utilities and other infrastructure required to serve the new urban development. As urban scale infrastructure (sanitary sewer, roads, etc.) becomes available on the periphery of the URZ, the Agency should assess the phased transition of watersheds to the UDZ.

The Growth Zone map (Figure 2) depicts the boundaries of each Growth Zone. Boundary adjustments will be made in accordance with policies and procedures set forth by the Agency and will support the Agency’s objective of ensuring any development occurring within the URZ is consistent with infrastructure development plans and availability within the UDZ. Criteria considered by the Agency in evaluating boundary adjustment requests to include portions of the URZ in the UDZ may include:

- Will the property in question be served by sanitary interceptor sewers and other infrastructure necessary to support urban-scale development?
- Can the property be served by industry-standard depth gravity flow to an existing municipal sanitary sewer line in the UDZ?
- Is there a factual error in the delineation of the URZ boundary?

If a boundary adjustment request meets one or more of the criteria set forth above, the Agency should consider adjusting the URZ boundary to incorporate the property in question into the UDZ and update the Growth Zone map accordingly.

This Growth Management Plan does not supersede each Member’s planning approval jurisdiction.

## GROWTH MANAGEMENT PLAN IMPLEMENTING POLICIES AND PROCEDURES

Effective August 26, 2020

Adopted by Sarpy County and Cities Wastewater Agency on August 26, 2020 Pursuant to Resolution No. 2020-013

### I. Purpose

The policies and procedures set forth herein (collectively, these "Policies") are intended to and do effectuate the Growth Management Plan adopted by the Sarpy County and Cities Wastewater Agency (the "Agency") on June 26, 2019 pursuant to Resolution No. 2019-004 and amended on February 26, 2020 pursuant to Resolution No. 2020-004 (as amended, the "Growth Management Plan") to guide suburban and urban development within the Agency's jurisdiction in southern Sarpy County depicted as the "Service Area" on Figure 1 attached hereto (the "Agency's Jurisdiction") to be served by a unified sanitary sewer system owned and operated under the Agency (the "System"). The Growth Management Plan is incorporated herein by this reference.

### II. Amendments

The Agency Board may establish and adopt such additional procedures as it deems necessary and appropriate to effectuate these policies and procedures.

### III. Policies

The following policies, as adopted by the Agency and its individual members (individually, a "Member"; collectively, "Members"), applies to property within the designated Urban Reserve Zone ("URZ") and Urban Development Zone ("UDZ"), as depicted on the Growth Zone map attached hereto as Figure 2.

#### A. URZ Policies:

1. Standard suburban/urban/industrial development requiring municipal water and/or sewage treatment services will not be allowed in the URZ until individual watersheds are included within the UDZ and "opened" for development as part of the phased extension of sanitary sewer service from the UDZ, unless otherwise provided in these Policies.
2. New development in this zone will be limited except as may be allowed by the applicable Member's large acreage and build-through or similar type of zoning and/or subdivision regulations. For Members that do not have a large acreage, build-through or similar type zoning and/or subdivision regulations, developments in those Members' zoning and planning jurisdiction shall adhere to Sarpy County's corresponding regulations.

3. **New developments in this zone must provide for arterial street connections and through-street connections and adequate easements for future utility extensions. Such future extensions cannot be altered, blocked or denied. The applicable Members shall follow their respective street connection plans or similar type policies. For Members that do not have such plans or policies, those Members shall follow Sarpy County's street connection plan.**
4. **Prior to a Member's approval of a final plat for any tract, parcel or lot within the URZ, there must be a Member Agreement for such tract, parcel or lot.**
5. **If development is permitted in these areas it should be designed in a way that minimizes impact on surrounding uses and allows for future suburban/urban/industrial development, i.e. cluster development.**
6. **The URZ should be periodically monitored/evaluated for adjustment by the Agency. As urban scale infrastructure (sanitary sewer, roadways, and other improvements) becomes available on the periphery of the URZ, the Agency may assess the phased transition of watersheds located in the URZ to the UDZ.**
7. **If a Member determines that standard suburban/urban/industrial development should occur within a portion of the URZ located within that Member's planning and zoning jurisdiction, that Member may allow such standard suburban/urban/industrial development consistent with the following procedure, unless waived or otherwise agreed to by the Agency Board in writing:**
  - (a) **Such Member must notify the Agency Administrator in writing that it desires to pursue a Member Agreement (defined below) to allow standard suburban/urban/industrial development in the URZ;**
  - (b) **The Agency pays for and commissions from its financial advisor(s) a new study of the potential adverse impact of such development within the URZ to the System's anticipated capacity, function and connection fees if such development were to occur. The Member shall provide the Agency's financial advisor(s) with all pertinent information reasonably requested by said advisor(s) related to the proposed standard suburban/urban/industrial development in order for the advisor(s) to conduct such a study;**
  - (c) **Prior to such impact study being conducted, (i) a preliminary plat of such proposed standard suburban/urban/industrial development must have previously been submitted to the Member's planning and zoning board, and (ii) the Member requesting the Agency impact study must pay to the Agency one-half of the cost for the same;**

- (d) In the event the Member disagrees with the results of the Agency's impact study, such Member may, at the Member's sole cost and expense, obtain a separate study on the potential adverse impact of such development in the URZ. If the Member elects to obtain a separate impact study, it shall provide a copy of the same to the Agency Administrator. The Agency is under no obligation to accept, consider, adopt or incorporate any portion of such Member's impact study, and the Agency Board retains the authority to determine the adverse impact of such development in the URZ in its sole and absolute discretion; and
- (e) The Agency and such Member enter into a written agreement (a "Member Agreement") pursuant to which such Member agrees to compensate the Agency for and make other accommodations necessary to eliminate any adverse impact as determined by the Agency's impact study. If the Member agrees to compensate the Agency for and otherwise eliminate the potential impacts to the System capacity, function and connection fees as determined by the impact study, then the Agency cannot deny or delay approval of the Member Agreement.

- 8. To the extent feasible and agreed to by the Agency and the applicable Member, the Member Agreement may include provisions permitting the developer of such land to be reimbursed by such Member or other future developments in connection with the developer's pioneering of the construction and payment of non-interceptor sewer infrastructure.

**B. *UDZ Policies:***

- 1. Development in these areas must be served with public infrastructure, facilities, utilities and services in a manner that is coordinated with the appropriate Member jurisdictions.
- 2. Development must follow the Agency's technical advisor's sewer flow and revenue assumptions for the land within the UDZ and the Agency's Growth Management Plan. In general, it is assumed that the future land use pattern in the Agency's Jurisdiction will be urban, suburban, or industrial in character and density.
- 3. If a Member approves a development within the UDZ that is not urban, suburban or industrial in character and density, such development shall be subject to a connection fee on a per acre basis as set forth in the Agency's rate and fee schedule then in effect. If, however, such Member does not want to assess a connection fee on a per acre basis, the procedure set forth in Section III(A)(7) above shall be followed to determine the adverse impact of such development and the Member's agreement to compensate the Agency for the same.

- C. *Policies Applicable to Unique Developments:* If a Member notifies the Agency of a development in its zoning and planning jurisdiction that such Member does not otherwise support pursuant to subsections (B) or (C) above, and only after such Member used good faith efforts to reach an agreement with the applicable developer with respect to connection fees, user rates and other considerations applicable to such development not otherwise addressed in this Section III or set forth in the Growth Management Plan, the Agency agrees to waive the connection fees otherwise payable to the Agency applicable to such development in accordance with the Agency's rate and fee schedules then in effect.

#### IV. Boundary Adjustment Procedures and Criteria

Although it is not encouraged, a limited amount of development may be allowed within the URZ prior to the installation of infrastructure necessary to support urban development. However, it is important that any such interim development provides for future sewer and utility easements and follows applicable Agency and Member policies for arterial and internal street connections.

In addition, it is important that any such development reserves sufficient land for future urban development. Such steps will ensure that future urban development can be supported and fit seamlessly with earlier development. To ensure that sufficient land is set aside and that proper connections and easements are provided, any development approved by the Agency in the URZ in accordance with the Agency's policies and procedures shall adhere to build-through regulations comparable to those of Sarpy County with respect to the level of sewer flows and revenue generated by such development or the applicable Member's similar type regulations, whichever is more restrictive and promotes the most dense development.

##### A. *Agency Boundary Updates:*

1. Following the initial adoption of the Growth Management Plan and establishment of the URZ and UDZ boundaries by the Agency, the Agency shall set aside a portion of the fees collected from development for future updates to the Growth Management Plan. This update shall occur every 4-5 years or sooner if market conditions require. The update shall follow the same process as the initial adoption of the plan, as follows:
  - (a) Document and review historic development data and trends in the Agency's Jurisdiction and the surrounding metropolitan area
  - (b) Review all plans for the area and ensure that those plans and the new growth management plan are compatible.
  - (c) Analyze current market conditions and estimate future development needs.

- (d) Review actual revenue from various sources and estimate revenue based on future development patterns and trends.
- (e) Review potential watersheds for a shift from the URZ to the UDZ and estimate costs.
- (f) Consider not only the sewer costs but also the cost of other needed public infrastructure, utility, facility and service costs.
- (g) Based on this analysis identify preferred watershed(s), if any, that are needed to accommodate new development, to be included in the UDZ. Calculate the revenue adjustments needed to pay for the necessary improvements.
- (h) Meet with the Member jurisdictions, development community, business community and public, to develop the proposed changes, costs and financing plan.
- (i) Based on input from these interested parties prepare a final boundary plan for approval by the Agency Board and adoption by the applicable Member jurisdictions.

**B. *Boundary Adjustment Requests:*** The following section outlines the process and criteria for adjusting the Urban Reserve Zone and Urban Development Zone boundaries following a special request by an Agency Member.

1. Requests for boundary adjustments by an Agency Member should be made in writing to the Agency Administrator stating the reason or reasons for the adjustment. The Agency Administrator will transmit the request to the Board as a Growth Management Plan amendment for appropriate action.
2. In considering the request for a boundary adjustment, the Agency Board should inquire whether the following criteria can be met:
  - (a) The applicable Member and/or developer must have taken the necessary steps to ensure that a portion of the URZ will be served by municipal sanitary interceptor sewers and other infrastructure necessary to support urban development.
  - (b) The applicant can show that there is a factual defect in the delineation of the Urban Reserve Zone boundary line.
  - (c) A developer can show that after the proposed grading of a portion of its plat that is within the URZ, the property can be served by industry standard depth gravity flow to an existing municipal sanitary sewer line in the Urban Development Zone (UDZ).
  - (d) Any other criteria not now anticipated that follows the objectives outlined in the Growth Management Plan.

If it is determined by the Agency Board that at least one of the above criteria has been met and upon execution of agreements and/or adoption of an Agency Board resolution

effectuating the above, the development area will be added into the UDZ and the Growth Zone map(s) will be adjusted accordingly unless the Agency determines that such modification would: (i) adversely impact the System, the Agency, or any Member jurisdiction; (ii) cause the Agency to violate any agreements to which it is a party; or (iii) otherwise violate Agency policies and/or procedures then in effect.

V. **Exception Requests Procedures and Criteria**

A. The following provides the process and criteria for evaluating specific requests by an applicant or Agency Member for an exception (an "Exception") from the Growth Management Plan and/or these Policies:

1. Requests for Exception should be made in writing to the Agency Administrator stating the reason or reasons why the guidelines should be waived.
2. The Agency Administrator will transmit the request to the Board for appropriate action as a Growth Management Plan Exception.
3. In considering the request for Exception, the Board shall determine whether one or more of the following criteria can be met:
  - (a) The applicant can show that it made a bona fide application for subdivision approval and/or rezoning prior to the effective date of the 2019 Growth Management Plan and, therefore, should be entitled to have its plat considered in accordance with the regulations prevailing at the time they submitted their plat.
  - (b) The applicant can show that approval of the request would further another important Member Comprehensive Plan objective which might offset any detrimental impact of granting an Exception from the URZ requirements.
  - (c) The applicant can show that the approval will allow division of property for settlement of an estate between family members so that ownership will be continued uninterrupted within the family and that they have followed the County's guidelines for utility and drainage easements and roadway access and connections.
  - (d) The applicant can show that it is requesting to create a single additional lot for sale or transfer to a member of their immediate family for construction of a home for that family member and that they have followed the County's guidelines for utility and drainage easements and roadway access and connections.
  - (e) The applicant agrees to pay sewer connection and usage fees established by the Agency and to set aside any necessary sewer easements as may be necessary to ensure the future extension of sewer service within the Agency's Jurisdiction.

- B. Exceptions shall not be granted if the subdivision is proposed for land that has previously been set aside as an "outlot" through the Build-Through Overlay Zoning District process.
- C. Exceptions related to 3b above should not be granted unless supported by the applicable Member jurisdiction within which the exception is located and only after appropriate physical and financial adjustments and possible compensations are provided to ensure that the exception will not adversely affect the Agency's objectives, policies, procedures or finances. In addition, such an exception should not be granted if the small lot subdivision can be achieved through a Build-Through Overlay Zoning District process.
- D. In the event the Agency grants conditional approval of an Exception request, such Agency conditions shall be satisfied before the applicable Agency Member approves the applicable preliminary plat and/or rezoning approval.

VI. **Administrative Changes/Approvals.** Requests for an Exception and/or Agency approval of developments within the Agency's Jurisdiction that are determined to be, as determined by the Agency's planning and land use advisor(s), (a) non-material or administrative in nature, or (b) in conformance with, or otherwise satisfy, the criteria set forth in the Growth Management Plan and these Policies may be approved by the Agency Administrator without Agency Board approval. Such approval by the Agency Administrator must be in writing and accompanied by a written recommendation by the applicable Agency planning and land use advisor(s) and approved by Agency legal counsel.

VII. **Fees and Rates**

- A. Prior to the connection to the Agency's System of any development or land located within the Agency's Service Area, such development or land shall be subject to the payment of applicable connection, usage, and other rates and fees established by the Agency from time to time. Each Member having zoning jurisdiction over such developments shall be responsible for collecting and paying to the Agency such rates and fees in accordance with applicable Agency resolutions, policies and procedures then in effect.
- B. Except as otherwise set forth in the Agency's then applicable rate and fee schedules, single-family lots of three (3) acres or less, or single-family lots of twenty (20) acres or more located in the URZ and as allowed by the applicable Member's large acreage and build-through or similar type of zoning and/or subdivision regulations that are approved and developed in accordance with the Growth Management Plan (as amended) and these Policies (as amended), shall be assessed a connection fee equal to one (1) equivalent dwelling unit (EDU) as

defined and set forth in the applicable Agency rate and fee schedules then in effect.

- VIII. **Connection Agreements.** Prior to a Member's approval of a final plat for any development or land located within the Agency's Service Area, the Agency, the Member having zoning and planning jurisdiction, and such owner, developer or sub-divider shall enter into a three-party connection agreement that authorizes the connection of such development or land to the Agency's System and incorporates the Agency's Growth Management Plan, these Policies, and the sewer connection fees and user rates schedules and policies then in effect. Each Member shall include this provision as a condition to each preliminary plat approval. Provided however, that no such three-party connection agreement is required for any final plat for any development or land that is (a) within the Gretna Sewer Service Area, Springfield Sewer Service Area, Sarpy Sewer Service Area, or Papillion Sewer Service Area, respectively, pursuant to the separate interlocal agreements by the Agency and Gretna and Springfield and as otherwise set forth in Agency Resolution 2019-004 dated June 26, 2019, and (b) not connecting to the Agency's System.

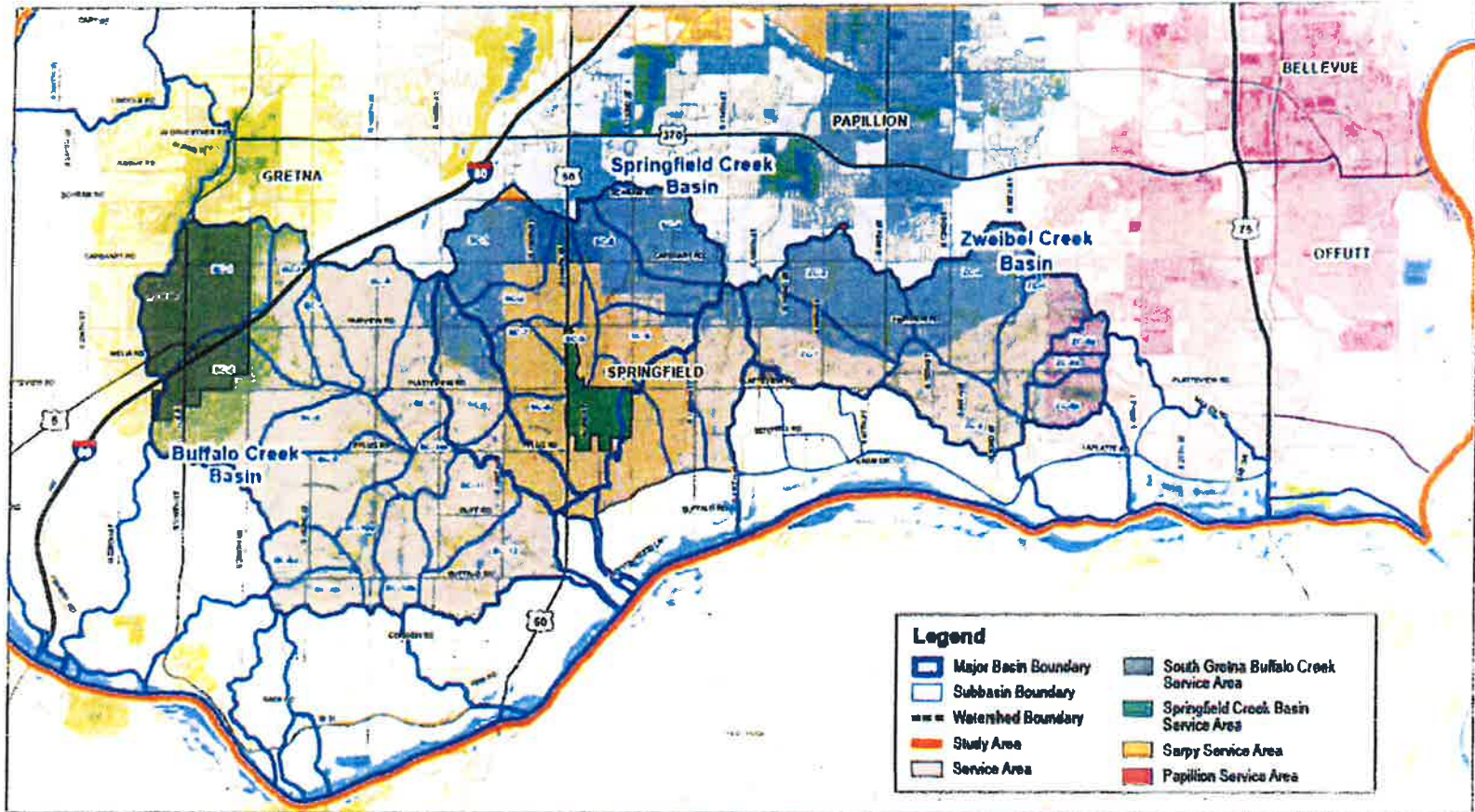
**Agency Growth Management Plan and Implementing Policies and Procedures Adopted by:**

Agency Board:	August 26, 2020
Sarpy County Governing Body:	[ ], 2020
Bellevue Governing Body:	[ ], 2020
Gretna Governing Body:	[ ], 2020
La Vista Governing Body:	[ ], 2020
Papillion Governing Body:	[ ], 2020
Springfield Governing Body:	[ ], 2020

**FIGURE 1**

Agency's Jurisdiction  
Established by Agency Pursuant to Resolution 2019-004 on June 26, 2019

[Attached]



**FIGURE 1**  
Growth Management Plan

**HR**  **SOUTHERN SARPY COUNTY**

DATE: June 2019

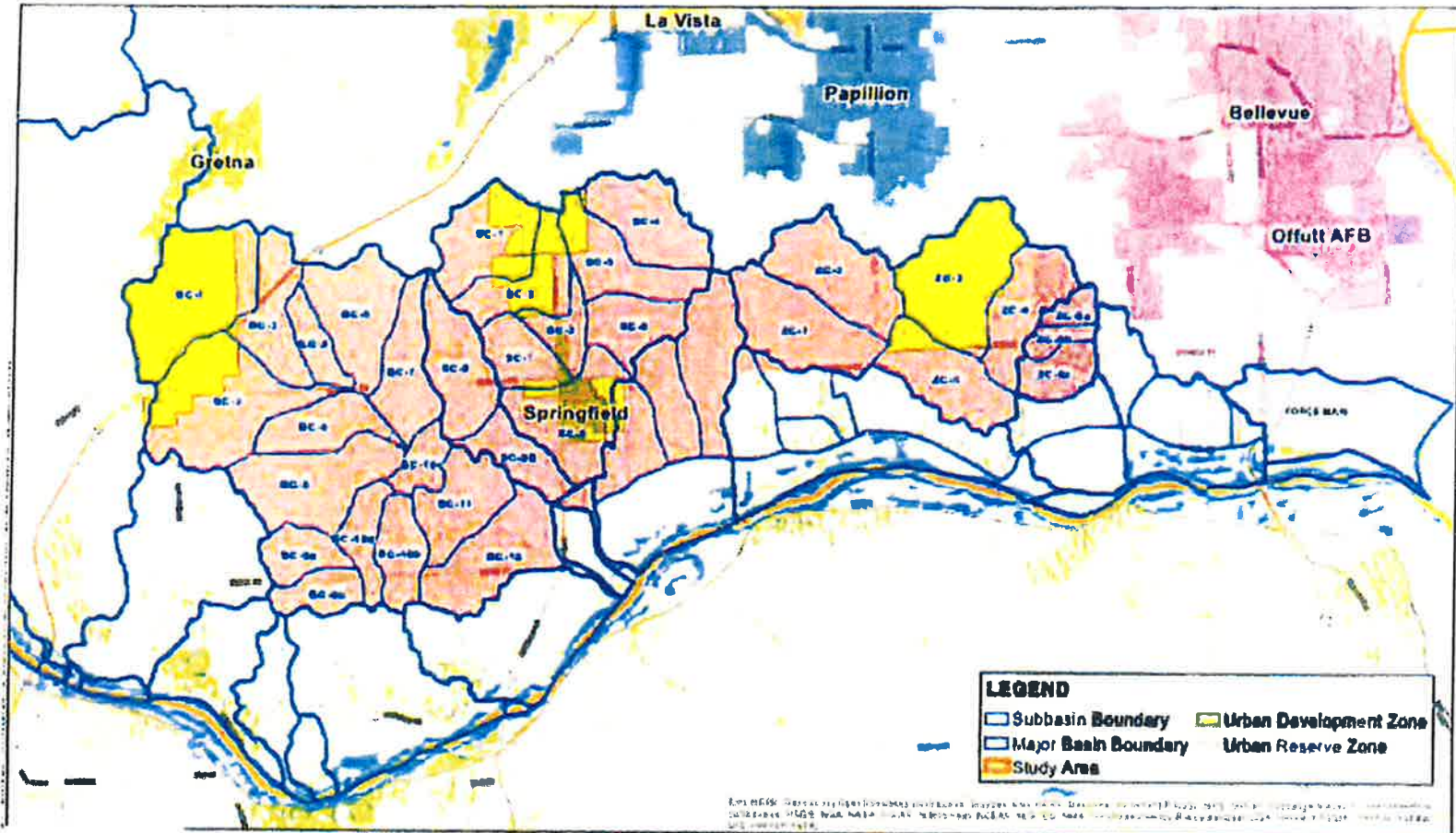
Service Area

**FIGURE 2**

**Growth Zones**

**Initially Established by Agency on June 26, 2019 Pursuant to Resolution 2019-004  
Amended by the Agency on February 26, 2020 Pursuant to Resolution 2020-004**

**[Attached]**



**EXHIBIT A-GZ2020**



**SOUTHERN SARPY COUNTY  
UPDATED URBAN DEVELOPMENT ZONE**

DATE  
**FEBRUARY 2020**

FIGURE  
**Figure 2**

# MINUTE RECORD

Bellevue City Council Meeting, March 2, 2021, Page 1

A regular meeting of the Mayor and Council of the City of Bellevue was called to order by Mayor Rusty Hike at the Bellevue City Hall on the 2<sup>nd</sup> day of March 2021, at 6:00 p.m.

Pursuant to the Governor's Executive Order 20-36 and 21-02, on Tuesday, March 2, 2021 at 6:00 p.m. the regular City Council meeting was held via video conference in the Bellevue City Council Chambers. No members of the City Council attended in person. Upon roll call, via video conference, were City Council Members Bob Stinson, Paul Cook, Jerry McCaw, Thomas Burns, Don Preister, and Kathy Welch. Absent: None.

Pursuant to the Governor's Executive Order 20-36 and 21-02, said meeting was held via videoconference, telephone conference, or by conferencing by other electronic means. As such, said meeting was held by a virtual meeting and the public participated via GoToMeeting. Said meeting, could be viewed via Facebook live by visiting the City of Bellevue's Facebook page, but no public participation was allowed or considered via Facebook live. Any evidence or other documentation could be presented to the Mayor and City Council by providing to the City Clerk by March 1, 2021, by 4:00 p.m.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide, "Daily Record" and posting in two public places, the designated method for giving notice and was also given to the Mayor and all members of the City Council. A copy of the affidavit of publication, the certificate of posting, and the council's acknowledgment of receipt of notice are hereby attached to these minutes. All proceedings shown hereafter were taken while the convened meeting was open to the public.

Mayor Hike announced a copy of the Open Meetings Act is posted by the entry in the City Council Chambers and can also be found online under Nebraska Revised Statutes 84-1407 through 84-1414 as well as the Governor's Executive Order 20-36 and 21-02.

Due to the Council Meeting being held virtually, Mayor Hike announced the Pledge of Allegiance and Invocation would not be held for this meeting.

## APPROVAL OF THE AGENDA:

Motion was made by Burns, seconded by Cook, to approve the agenda. Roll call vote on the motion was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

## APPROVAL OF THE CONSENT AGENDA:

Councilman Burns requested to pull Item. 8b., recommendation to approve Matt McKinney to the Bellevue Marina Corporation.

Motion was made by Stinson, seconded by McCaw, to approve the consent agenda, consisting of the following items: Approval of February 16, 2021 City Council Minutes; Acknowledge receipt of the 2020 Tree Board Report; and Approve Trapping Permit Application requesting a Trapping Permit.

Roll call vote to approve the consent agenda was as follows: Stinson, Cook, McCaw, Preister, Burns, and Welch voted yes; voting no: none; absent: none. Motion carried.

## SPECIAL PRESENTATIONS: None

## ORGANIZATIONAL MATTERS:

Recommendation to appoint John James and Matt McKinney to the Bellevue City Marina Corporation. (Mayor)

Motion by Cook, seconded by Welch, to recommend to appoint John James and Matt McKinney to the Bellevue City Marina Corporation.

Councilman Burns mentioned he feels there is potential conflict having the Mayor appoint Mr. McKinney to the Bellevue City Municipal Corporation. Mr. McKinney is Mayor Hike's Political Committee Treasurer. The Mayor and Mr. McKinney are business partners currently working on a project. Councilman Burns requested clarification this is not a conflict of interest. Mayor Hike advised any partnerships he is involved with Mr. McKinney in are not working on any projects associated with Bellevue Municipal Building Corporation or Bellevue City Marina Corporation. Ms. Bree Robbins, City Attorney, advised she is aware of the items Councilman Burns addressed. She explained there is no conflict of interest with the Accountability Disclosure Commission. There is no financial gain or profit on the Mayor's behalf with this appointment. Conversation ensued.

Roll call vote to approve the recommendation to appoint John James and Matt McKinney to the Bellevue City Marina Corporation was as follows: Stinson, Cook, McCaw, Preister, and Welch voted yes; voting no: Burns; absent: none. Motion carried.

## APPROVED CITIZEN COMMUNICATION: None

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

15c.  
08/03/2021

08/03/2021

COUNCIL MEETING DATE: 08/17/2021		SUBMITTED BY: Tammi Palm, Planning Manager	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input checked="" type="checkbox"/>	CURRENT BUSINESS <input type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Request approval of the request to declare blighted and substandard Lots 4 and 5, Edward Warren Addition; and Tax Lot H2. Applicant: Imperial Homes, LLC. General Location: South 36th Street and Chandler Road West.

SYNOPSIS/BACKGROUND:

Imperial Homes, LLC is requesting approval of a blighted and substandard designation for Lots 4 and 5 Edward Warren Addition, and Tax Lot H2. The area is located near the intersection of West chandler Road and South 36th Street. The combined lots are approximately 10.42 acres in total. The properties at 3421 West Chandler Road and 3501 West chandler Road contain structures that were built in 1947 and 1961; at 60 and 74 years old both properties are showing signs of significant deterioration. Tax Lot H2 is undeveloped and covered in vegetation.

FISCAL IMPACT:  BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY:  INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED: NO

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRUBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

The Planning Commission and Planning Department are both recommending approval of this blighted and substandard request.

ATTACHMENTS:

1. Planning Commission Recommendation
2. Staff Memo
3. Resolution 2021-29
4.
5.
6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



# City of Bellevue

## PLANNING COMMISSION RECOMMENDATION

APPLICANT: Imperial Homes, LLC

CASE #: ECD-49

CITY COUNCIL HEARING DATE: August 17, 2021

REQUEST: to declare blighted and substandard Lots 4 and 5, Edward Warren Addition, and Tax Lot H2

On July 22, 2021, the City of Bellevue Planning Commission voted six yes, zero no, two absent and zero abstained:

**APPROVAL** based upon the analysis that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard and the designation supports the overall goal of redevelopment of the West Chandler Road corridor and will not result in more than 35% of the city being designated as blighted and substandard.

### VOTE:

Yes:	Six:	No:	Zero:	Abstain:	Zero:	Absent:	Two:
	Casey						Cutsforth
	Aerni						Perrin
	Ritz						
	Ackley						
	Hankins						
	Jacobson						

Planning Commission Hearing (s) was held on: July 22, 2021

## **RESOLUTION 2021-29**

WHEREAS, certain contiguous real property currently legally described as:

Lots 4 and 5 Edward Warren Addition and Tax Lot H2; and

WHEREAS, the Nebraska Community Development Law (Sections 18-2103(3) and 18-2103(31) et seq., R.R.S. Neb.) (the "Act"), provides for Community Development Agencies to declare areas as substandard and blighted, and in need of redevelopment; and

WHEREAS, the Redevelopment Area is a combination of vacant and improved real estate which exhibits blighted and substandard conditions, as such terms and conditions are defined in and contemplated by the Act including, without limitation:

- (i) Conditions which are detrimental to the public health, safety, morals, and welfare of the community;
- (ii) Conditions which impair the sound growth of the community;
- (iii) The presence of one deteriorated structure;
- (iv) Average age of commercial structures in excess of 45 years; and

WHEREAS, these designations will provide for financing alternatives by the redevelopment authority for community purposes.

NOW, THEREFORE, be it resolved by the City Council for the City of Bellevue as follows:

1. That the City Council of the City of Bellevue finds it is in the best interest of the City of Bellevue, its residents and taxpayers that this Council should, and hereby does, find and declare and reaffirm that the Redevelopment Area is blighted and substandard and in need of development as such terms and conditions are defined in and contemplated by the Nebraska Community Development Law.

2. That the officers, employees and agents of the City are authorized and directed to undertake all lawful acts as shall be necessary or appropriate to implement this Resolution.

PASSED AND ADOPTED THIS 17th day of August 2021.

\_\_\_\_\_  
Rusty Hike, Mayor

\_\_\_\_\_  
Susan Kluthe, City Clerk



# MEMORANDUM

To:

City Council  
Mayor Rusty Hike  
City Administrator Jim Ristow

From: Angela Curry, Assistant Planning Manager

Date: July 23, 2021

Subject: Blighted and Substandard Designation for Lots 4 and 5, Edward Warren Addition, and Tax Lot H2

Elizabeth Sevcik, on behalf of Imperial Homes, LLC, is requesting Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, be designated as blighted and substandard. Ms. Sevcik's analysis is attached. Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, are located near the intersection of West Chandler Road and South 36<sup>th</sup> Street. Please refer to the attached map, where the property is outlined in blue. The properties were annexed on May 7, 2019.

The area requested to be designated as blighted and substandard is approximately 10.42 acres in total. The properties at 3421 West Chandler Road and 3501 West Chandler Road contain structures that were built in 1947 and 1961. Tax Lot H2 is undeveloped and covered in vegetation. The blighted property abuts West Chandler Road on the south, a major thoroughfare for the northeastern part of the city.

Section 18-2103 of Nebraska State Statutes provides the following definitions of "substandard" and "blighted" which must be met in order for the City Council to approve a resolution designating an area as blighted and substandard:

(3) Blighted area means an area, which (a) by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility, or usefulness, insanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions of title, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations, or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use and (b) in which there is at least one of the following conditions: (i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average; (ii) the average age of the residential or

commercial units in the area is at least forty years; (iii) more than half of the plotted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or village in which the area is designated; or (v) the area has had either stable or decreasing population based on the last two decennial censuses. In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a village shall not designate an area larger than one hundred percent of the village as blighted.

(31) Substandard area means an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare;

In order for the City Council to declare an area as blighted and substandard, the property must meet the statutory criteria outlined above. The authority of the City in making such a determination "shall be liberally construed" as stated in Section 18-2143 of the State Statutes.

The properties proposed to be designated as blighted and substandard are located along the West Chandler Road corridor. This area is in need of revitalization and improvement and has not been subject to comprehensive, sufficient, growth and development. The structures at 3421 West Chandler Road and 3501 West Chandler Road are 60 and 74 years old and both are showing signs of significant deterioration, including a lack of shingles on one of the homes. Such factors can be conducive to ill health and endangering life. Tax Lot H2 is undeveloped, covered in vegetation, and has remained so for many years. Additionally, the following conditions exist in the area:

The blighted properties are within Census Tract 105.01, which has an unemployment rated of 7.1%, more than 120% of the State unemployment rate of 3.3%. The per capita income is approximately \$27,108.00 which is lower than the average per capita income of Bellevue at approximately \$29,822.00.

Based upon the above analysis, the Planning Department feels that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard.

#### **PLANNING DEPARTMENT RECOMMENDATION:**

The Planning Department recommends APPROVAL of this designation based upon the above analysis that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard. This designation supports the overall goal of redevelopment of the West Chandler Road corridor and will not result in more than 35% of the city being designated as blighted and substandard.

**PLANNING COMMISSION RECOMMENDATION:**

The Planning Commission recommends APPROVAL of this request based upon the analysis that Lots 4 and 5, Edward Warren Addition, and Tax Lot H2, meet the statutory requirements of blighted and substandard and the designation supports the overall goal of redevelopment of the West Chandler Road corridor and will not result in more than 35% of the city being designated as blighted and substandard.



Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



**SUBSTANDARD AND BLIGHTED DESIGNATION REQUEST  
FOR  
W. CHANDLER ROAD REDVELOPMENT**

**LOTS 4 AND 5, EDWARD WARRAN ADDITION AND TAX LOT H2  
BELLEVUE, NEBRASKA**

**SUBMITTED: JUNE 4, 2021**

**Submitted by:**

**Applicant: Imperial Homes, LLC  
6648 Park Crest Dr.  
Papillion, NE 68133**

**Attorney for Applicant: Elizabeth A. Sevcik  
Croker Huck Law Firm  
2120 S. 72<sup>nd</sup> St., Ste. 1200  
Omaha, NE 68023  
(402) 505-3159  
esevcik@crokerlaw.com**

**RECEIVED  
JUN 14 2021  
PLANNING DEPT.**

### **Substandard and Blighted Standard:**

Pursuant to the Community Development Law, an area is blighted when “by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility, or usefulness, insanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions of title, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations, or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use,” and when it also meets at least one of the following additional conditions:

“(i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average;

(ii) the average age of the residential or commercial units in the area is at least forty years;

(iii) more than half of the plotted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or village in which the area is designated; or

(v) the area has had either stable or decreasing population based on the last two decennial censuses. In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a village shall not designate an area larger than one hundred percent of the village as blighted. A redevelopment project involving a formerly used defense site as authorized under section 18-2123.01 shall not count towards the percentage limitations contained in this subdivision.” Neb. Rev. Stat. § 18-2103(3).

A substandard area is one “in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare.” Neb. Rev. Stat. § 18-2103(31).

### **The Blighted and Substandard Area:**

The area requested to be designated as blighted and substandard is approximately 10.42 acres and known as: Lots 4 and 5, Edward Warren Addition, an Addition to the City of Bellevue,

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JUN 14 2021  
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and Tax Lot H2, Section 16, Township 14, Range 13, in Bellevue, Nebraska, and including the adjacent public rights-of-way of W. Chandler Road (the "Blighted Property"). The acquisition costs are estimated to be \$400,000.00 and the cost of public improvements, demolition of buildings, and other site development costs are estimated to be \$1,100,000.00. Accordingly, the TIF eligible costs are estimated to be approximately \$1,500,000.00.

The Blighted Property is located in an area where there is a significant number of aged and deteriorated houses and which has not seen any development in a number of years. The Blighted Property contains structures that are 60-75 years old and in significant deterioration, including but not limited to a lack of shingles/proper roofing on at least one of the structures. The Blighted Property abuts W. Chandler Road on the south, which has defective and inadequate street layout for the growth of the area it serves. W. Chandler Road, a significant thoroughfare for the area, contains numerous direct access points from driveways of individual residences creating a hazard that endangers life and property. A diversity of ownership, deterioration of residential and accessory structures in the area, and lack of unified planning of safe accessibility to and from W. Chandler Road in and around the Blighted Property substantially impairs and arrests the sound growth of the community, retards the provision of housing accommodations, constitutes an economic liability, and is detrimental to the public health, safety, morals and welfare in its present condition.

The Blighted Property meets numerous of the additional conditions required to be designated as blighted under the Community Development Law. The Blighted Property is within Census Tract 105.01, which has an unemployment rate of 7.1% (Exhibit A), more than 120% of the State unemployment rate of 3.3% (Exhibit B). Further, the average age of the residential structures in and around the Blighted Property is more than 40 years old. Finally, the per capita income for Census Tract 105.01, of which the Blighted Property is a part, is \$27,108 (Exhibit C), which is lower than the average per capita income of Bellevue, which is \$29,822 (Exhibit D).

There is a predominance of aged and obsolescent buildings in and around the Blighted Property, and, particularly, the structures in the Blighted property are dilapidated and/or deteriorating. The dilapidated and deteriorating structures, and numerous direct driveway access points to W. Chandler Road, endanger life and property, are conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime (which cannot be remedied through construction of prisons), and are detrimental to public health, safety, morals, and welfare.

Based upon the foregoing, the Blighted Property is blighted and substandard. We respectfully request that the City of Bellevue designate the Blighted Property as blighted and substandard in accordance with the Community Development Law.

Sincerely,



Elizabeth A. Sevcik

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# Exhibit A

SELECTED ECONOMIC CHARACTERISTICS		United States <b>Census</b> Bureau
<b>Note: The table shown may have been modified by user selections. Some information may be missing.</b>		
<b>DATA NOTES</b>		
TABLE ID:	DP03	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDP5Y2019	
PRODUCT:	ACS 5-Year Estimates Data Profiles	
UNIVERSE:	None	
FTP URL:	None	
API URL:	<a href="https://api.census.gov/data/2019/acs/acs5/profile">https://api.census.gov/data/2019/acs/acs5/profile</a>	
<b>USER SELECTIONS</b>		
GEOS	Census Tract 105.01, Sarpy County, Nebraska	
EXCLUDED COLUMNS	None	
APPLIED FILTERS	None	
APPLIED SORTS	None	
WEB ADDRESS	<a href="https://data.census.gov/cedsci/table?q=unemployment&amp;g=1400000US31153010501&amp;tid=ACSDP5Y2019.DP03&amp;hidePreview=true">https://data.census.gov/cedsci/table?q=unemployment&amp;g=1400000US31153010501&amp;tid=ACSDP5Y2019.DP03&amp;hidePreview=true</a>	
<b>TABLE NOTES</b>		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
	Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.	
	Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
	Employment and unemployment estimates may vary from the official labor force data released by the Bureau of Labor Statistics because of differences in survey design and data collection. For guidance on differences in employment and unemployment estimates from different sources go to Labor Force Guidance.	
	Workers include members of the Armed Forces and civilians who were at work last week.	
	Industry titles and their 4-digit codes are based on the North American Industry Classification System (NAICS). The Census industry codes for 2018 and later years are based on the 2017 revision of the NAICS. To allow for the creation of multiyear tables, industry data in the multiyear files (prior to data year 2018) were recoded to the 2017 Census industry codes. We recommend using caution when comparing data coded using 2017 Census industry codes with data coded using Census industry codes prior to data year 2018. For more information on the Census industry code changes, please visit our website at <a href="https://www.census.gov/topics/employment/industry-occupation/guidance/code-lists.html">https://www.census.gov/topics/employment/industry-occupation/guidance/code-lists.html</a> .	

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Table: ACSDP5Y2019.DP03

	<p>Logical coverage edits applying a rules-based assignment of Medicaid, Medicare and military health coverage were added as of 2009 -- please see <a href="https://www.census.gov/library/working-papers/2010/demo/coverage_edits_final.html">https://www.census.gov/library/working-papers/2010/demo/coverage_edits_final.html</a> for more details. Select geographies of 2008 data comparable to the 2009 and later tables are available at <a href="https://www.census.gov/data/tables/time-series/acs/1-year-re-run-health-insurance.html">https://www.census.gov/data/tables/time-series/acs/1-year-re-run-health-insurance.html</a>. The health insurance coverage category names were modified in 2010. See <a href="https://www.census.gov/topics/health/health-insurance/about/glossary.html#par_textimage_18">https://www.census.gov/topics/health/health-insurance/about/glossary.html#par_textimage_18</a> for a list of the insurance type definitions.</p>
	<p>Beginning in 2017, selected variable categories were updated, including age-categories, income-to-poverty ratio (IPR) categories, and the age universe for certain employment and education variables. See user note entitled "Health Insurance Table Updates" for further details.</p>
	<p>2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: <a href="#">Change to Means of Transportation</a>.</p>
	<p>Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see <a href="#">Changes to the Retirement Income Question</a>.</p>
	<p>The categories for relationship to householder were revised in 2019. For more information see <a href="#">Revisions to the Relationship to Household item</a>.</p>
	<p>Beginning in data year 2019, respondents to the Weeks Worked question provided an integer value for the number of weeks worked. For data years 2008 through 2018, respondents selected a category corresponding to the number of weeks worked.</p>
	<p>Occupation titles and their 4-digit codes are based on the Standard Occupational Classification (SOC). The Census occupation codes for 2018 and later years are based on the 2018 revision of the SOC. To allow for the creation of the multiyear tables, occupation data in the multiyear files (prior to data year 2018) were recoded to the 2018 Census occupation codes. We recommend using caution when comparing data coded using 2018 Census occupation codes with data coded using Census occupation codes prior to data year 2018. For more information on the Census occupation code changes, please visit our website at <a href="https://www.census.gov/topics/employment/industry-occupation/guidance/code-lists.html">https://www.census.gov/topics/employment/industry-occupation/guidance/code-lists.html</a>.</p>
	<p>In 2019, methodological changes were made to the class of worker question. These changes involved modifications to the question wording, the category wording, and the visual format of the categories on the questionnaire. The format for the class of worker categories are now listed under the headings "Private Sector Employee," "Government Employee," and "Self-Employed or Other." Additionally, the category of Active Duty was added as one of the response categories under the "Government Employee" section for the mail questionnaire. For more detailed information about the 2019 changes, see the 2016 American Community Survey Content Test Report for Class of Worker located at <a href="http://www.census.gov/library/working-papers/2017/acs/2017_Martinez_01.html">http://www.census.gov/library/working-papers/2017/acs/2017_Martinez_01.html</a>.</p>
	<p>The 2015-2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.</p>
	<p>Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.</p>
	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <ul style="list-style-type: none"> <li>* An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.</li> <li>* An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution.</li> <li>* An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution.</li> <li>* An "****" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.</li> <li>* An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.</li> <li>* An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.</li> <li>* An "(X)" means that the estimate is not applicable or not available.</li> </ul>

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<b>COLUMN NOTES</b>	None

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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
<b>EMPLOYMENT STATUS</b>				
Population 16 years and over	5,789	±437	5,789	(X)
In labor force	4,130	±464	71.3%	±4.7
Civilian labor force	3,936	±471	68.0%	±5.0
Employed	3,657	±399	63.2%	±4.6
Unemployed	279	±152	4.8%	±2.5
Armed Forces	194	±120	3.4%	±2.1
Not in labor force	1,659	±266	28.7%	±4.7
Civilian labor force	3,936	±471	3,936	(X)
<b>Unemployment Rate</b>	<b>(X)</b>	<b>(X)</b>	<b>7.1%</b>	<b>±3.4</b>
Females 16 years and over	2,962	±256	2,962	(X)
In labor force	1,926	±282	65.0%	±6.9
Civilian labor force	1,911	±282	64.5%	±6.9
Employed	1,708	±246	57.7%	±7.3
Own children of the householder under 6 years	581	±193	581	(X)
All parents in family in labor force	388	±194	66.8%	±21.7
Own children of the householder 6 to 17 years	1,079	±305	1,079	(X)
All parents in family in labor force	643	±268	59.6%	±18.6
<b>COMMUTING TO WORK</b>				
Workers 16 years and over	3,732	±421	3,732	(X)
Car, truck, or van -- drove alone	3,290	±422	88.2%	±4.2
Car, truck, or van -- carpooled	270	±136	7.2%	±3.6
Public transportation (excluding taxicab)	10	±19	0.3%	±0.5
Walked	0	±14	0.0%	±0.6
Other means	0	±14	0.0%	±0.6
Worked from home	162	±92	4.3%	±2.5
Mean travel time to work (minutes)	23.1	±3.2	(X)	(X)
<b>OCCUPATION</b>				
Civilian employed population 16 years and over	3,657	±399	3,657	(X)
Management, business, science, and arts occupations	1,254	±264	34.3%	±5.8
Service occupations	720	±244	19.7%	±6.7
Sales and office occupations	794	±214	21.7%	±5.3

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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Natural resources, construction, and maintenance occupations	375	±131	10.3%	±3.3
Production, transportation, and material moving occupations	514	±181	14.1%	±4.6
<b>INDUSTRY</b>				
Civilian employed population 16 years and over	3,657	±399	3,657	(X)
Agriculture, forestry, fishing and hunting, and mining	25	±28	0.7%	±0.8
Construction	351	±218	9.6%	±5.8
Manufacturing	280	±131	7.7%	±3.6
Wholesale trade	90	±91	2.5%	±2.5
Retail trade	350	±188	9.6%	±4.9
Transportation and warehousing, and utilities	289	±143	7.9%	±3.7
Information	65	±65	1.8%	±1.8
Finance and insurance, and real estate and rental and leasing	443	±183	12.1%	±4.6
Professional, scientific, and management, and administrative and waste management services	317	±165	8.7%	±4.6
Educational services, and health care and social assistance	913	±212	25.0%	±6.1
Arts, entertainment, and recreation, and accommodation and food services	345	±171	9.4%	±4.4
Other services, except public administration	20	±32	0.5%	±0.9
Public administration	169	±78	4.6%	±2.3
<b>CLASS OF WORKER</b>				
Civilian employed population 16 years and over	3,657	±399	3,657	(X)
Private wage and salary workers	2,820	±412	77.1%	±5.4
Government workers	533	±191	14.6%	±5.6

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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Self-employed in own not incorporated business workers	281	±143	7.7%	±3.8
Unpaid family workers	23	±35	0.6%	±1.0
INCOME AND BENEFITS (IN 2019 INFLATION-ADJUSTED DOLLARS)				
Total households	2,473	±121	2,473	(X)
Less than \$10,000	100	±82	4.0%	±3.3
\$10,000 to \$14,999	41	±52	1.7%	±2.1
\$15,000 to \$24,999	113	±74	4.6%	±2.9
\$25,000 to \$34,999	139	±82	5.6%	±3.3
\$35,000 to \$49,999	303	±131	12.3%	±5.3
\$50,000 to \$74,999	567	±168	22.9%	±6.7
\$75,000 to \$99,999	432	±165	17.5%	±6.7
\$100,000 to \$149,999	540	±154	21.8%	±6.1
\$150,000 to \$199,999	188	±86	7.6%	±3.4
\$200,000 or more	50	±49	2.0%	±2.0
Median household income (dollars)	74,570	±6,035	(X)	(X)
Mean household income (dollars)	80,609	±6,343	(X)	(X)
With earnings	2,162	±152	87.4%	±4.5
Mean earnings (dollars)	78,739	±6,735	(X)	(X)
With Social Security	624	±148	25.2%	±5.7
Mean Social Security income (dollars)	19,693	±3,385	(X)	(X)
With retirement income	385	±120	15.6%	±4.9
Mean retirement income (dollars)	19,782	±6,268	(X)	(X)
With Supplemental Security Income	106	±81	4.3%	±3.3
Mean Supplemental Security Income (dollars)	8,626	±3,900	(X)	(X)
With cash public assistance income	50	±67	2.0%	±2.7
Mean cash public assistance income (dollars)	1,920	±1,317	(X)	(X)
With Food Stamp/SNAP benefits in the past 12 months	282	±113	11.4%	±4.6
Families	1,782	±170	1,782	(X)
Less than \$10,000	31	±35	1.7%	±2.0
\$10,000 to \$14,999	0	±14	0.0%	±1.3

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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
\$15,000 to \$24,999	56	±60	3.1%	±3.3
\$25,000 to \$34,999	112	±70	6.3%	±3.8
\$35,000 to \$49,999	193	±116	10.8%	±6.4
\$50,000 to \$74,999	440	±150	24.7%	±8.0
\$75,000 to \$99,999	332	±147	18.6%	±8.1
\$100,000 to \$149,999	432	±145	24.2%	±7.5
\$150,000 to \$199,999	136	±75	7.6%	±4.3
\$200,000 or more	50	±49	2.8%	±2.8
Median family income (dollars)	82,130	±10,938	(X)	(X)
Mean family income (dollars)	87,006	±7,683	(X)	(X)
Per capita income (dollars)	27,108	±2,660	(X)	(X)
Nonfamily households	691	±189	691	(X)
Median nonfamily income (dollars)	52,454	±26,267	(X)	(X)
Mean nonfamily income (dollars)	60,872	±11,337	(X)	(X)
Median earnings for workers (dollars)	38,036	±3,881	(X)	(X)
Median earnings for male full-time, year-round workers (dollars)	52,626	±2,459	(X)	(X)
Median earnings for female full-time, year-round workers (dollars)	37,747	±4,723	(X)	(X)
HEALTH INSURANCE COVERAGE				
Civilian noninstitutionalized population	7,331	±618	7,331	(X)
With health insurance coverage	6,196	±523	84.5%	±6.2
With private health insurance	4,731	±493	64.5%	±6.6
With public coverage	2,036	±388	27.8%	±5.1
No health insurance coverage	1,135	±501	15.5%	±6.2
Civilian noninstitutionalized population under 19 years	1,979	±348	1,979	(X)
No health insurance coverage	184	±206	9.3%	±10.7
Civilian noninstitutionalized population 19 to 64 years	4,464	±442	4,464	(X)
In labor force:	3,647	±463	3,647	(X)
Employed:	3,439	±392	3,439	(X)

Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With health insurance coverage	2,937	±370	85.4%	±8.4
With private health insurance	2,833	±363	82.4%	±8.6
With public coverage	133	±99	3.9%	±2.8
No health insurance coverage	502	±309	14.6%	±8.4
Unemployed:	208	±133	208	(X)
With health insurance coverage	68	±62	32.7%	±32.7
With private health insurance	30	±47	14.4%	±22.6
With public coverage	38	±40	18.3%	±23.4
No health insurance coverage	140	±123	67.3%	±32.7
Not in labor force:	817	±197	817	(X)
With health insurance coverage	520	±176	63.6%	±12.4
With private health insurance	370	±158	45.3%	±15.4
With public coverage	234	±112	28.6%	±11.3
No health insurance coverage	297	±114	36.4%	±12.4
PERCENTAGE OF FAMILIES AND PEOPLE WHOSE INCOME IN THE PAST 12 MONTHS IS BELOW THE POVERTY LEVEL				
All families	(X)	(X)	5.8%	±4.7
With related children of the householder under 18 years	(X)	(X)	10.4%	±9.3
With related children of the householder under 5 years only	(X)	(X)	0.0%	±10.8
Married couple families	(X)	(X)	1.1%	±2.8
With related children of the householder under 18 years	(X)	(X)	2.8%	±6.8
With related children of the householder under 5 years only	(X)	(X)	0.0%	±16.4
Families with female householder, no spouse present	(X)	(X)	33.0%	±27.1

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Table: ACSDP5Y2019.DP03

Census Tract 105.01, Sarpy County, Nebraska				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With related children of the householder under 18 years	(X)	(X)	29.5%	±28.3
With related children of the householder under 5 years only	(X)	(X)	0.0%	±48.4
All people	(X)	(X)	10.9%	±5.4
Under 18 years	(X)	(X)	13.5%	±12.4
Related children of the householder under 18 years	(X)	(X)	12.4%	±12.4
Related children of the householder under 5 years	(X)	(X)	8.5%	±12.0
Related children of the householder 5 to 17 years	(X)	(X)	13.9%	±13.1
18 years and over	(X)	(X)	10.1%	±4.3
18 to 64 years	(X)	(X)	9.4%	±4.6
65 years and over	(X)	(X)	13.7%	±9.6
People in families	(X)	(X)	7.2%	±6.3
Unrelated individuals 15 years and over	(X)	(X)	28.2%	±14.0

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# Exhibit B

SELECTED ECONOMIC CHARACTERISTICS		United States <b>Census</b> Bureau
<b>Note: The table shown may have been modified by user selections. Some information may be missing.</b>		
<b>DATA NOTES</b>		
TABLE ID:	DP03	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDP1Y2019	
PRODUCT:	ACS 1-Year Estimates Data Profiles	
UNIVERSE:	None	
FTP URL:	None	
API URL:	<a href="https://api.census.gov/data/2019/acs/acs1/profile">https://api.census.gov/data/2019/acs/acs1/profile</a>	
<b>USER SELECTIONS</b>		
GEOS	Nebraska	
EXCLUDED COLUMNS	None	
APPLIED FILTERS	None	
APPLIED SORTS	None	
WEB ADDRESS	<a href="https://data.census.gov/cedsci/table?q=unemployment%20nebraska&amp;tid=ACSDP1Y2019.DP03&amp;hidePreview=true">https://data.census.gov/cedsci/table?q=unemployment%20nebraska&amp;tid=ACSDP1Y2019.DP03&amp;hidePreview=true</a>	
<b>TABLE NOTES</b>		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
	Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.  Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2019 American Community Survey 1-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
	Employment and unemployment estimates may vary from the official labor force data released by the Bureau of Labor Statistics because of differences in survey design and data collection. For guidance on differences in employment and unemployment estimates from different sources go to Labor Force Guidance.	
	Workers include members of the Armed Forces and civilians who were at work last week.	
	Industry titles and their 4-digit codes are based on the 2017 North American Industry Classification System. The Industry categories adhere to the guidelines issued in Clarification Memorandum No. 2, "NAICS Alternate Aggregation Structure for Use By U.S. Statistical Agencies," issued by the Office of Management and Budget.	

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Table: ACSDP1Y2019.DP03

	<p>Logical coverage edits applying a rules-based assignment of Medicaid, Medicare and military health coverage were added as of 2009 -- please see <a href="https://www.census.gov/library/working-papers/2010/demo/coverage_edits_final.html">https://www.census.gov/library/working-papers/2010/demo/coverage_edits_final.html</a> for more details. Select geographies of 2008 data comparable to the 2009 and later tables are available at <a href="https://www.census.gov/data/tables/time-series/acs/1-year-re-run-health-insurance.html">https://www.census.gov/data/tables/time-series/acs/1-year-re-run-health-insurance.html</a>. The health insurance coverage category names were modified in 2010. See <a href="https://www.census.gov/topics/health/health-insurance/about/glossary.html#par_textimage_18">https://www.census.gov/topics/health/health-insurance/about/glossary.html#par_textimage_18</a> for a list of the insurance type definitions.</p>
	<p>Beginning in 2017, selected variable categories were updated, including age-categories, income-to-poverty ratio (IPR) categories, and the age universe for certain employment and education variables. See user note entitled "Health Insurance Table Updates" for further details.</p>
	<p>2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: <a href="#">Change to Means of Transportation</a>.</p>
	<p>Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see <a href="#">Changes to the Retirement Income Question</a> .</p>
	<p>The categories for relationship to householder were revised in 2019. For more information see <a href="#">Revisions to the Relationship to Household item</a>.</p>
	<p>Beginning in data year 2019, respondents to the Weeks Worked question provided an integer value for the number of weeks worked. For data years 2008 through 2018, respondents selected a category corresponding to the number of weeks worked.</p>
	<p>In 2019, methodological changes were made to the class of worker question. These changes involved modifications to the question wording, the category wording, and the visual format of the categories on the questionnaire. The format for the class of worker categories are now listed under the headings "Private Sector Employee," "Government Employee," and "Self-Employed or Other." Additionally, the category of Active Duty was added as one of the response categories under the "Government Employee" section for the mail questionnaire. For more detailed information about the 2019 changes, see the 2016 American Community Survey Content Test Report for Class of Worker located at <a href="http://www.census.gov/library/working-papers/2017/acs/2017_Martinez_01.html">http://www.census.gov/library/working-papers/2017/acs/2017_Martinez_01.html</a>.</p>
	<p>The 2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineations due to differences in the effective dates of the geographic entities.</p>
	<p>Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.</p>
	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <p>* An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.</p> <p>* An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution.</p> <p>* An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution.</p> <p>* An "***" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.</p> <p>* An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.</p> <p>* An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.</p> <p>* An "(X)" means that the estimate is not applicable or not available.</p>
<b>COLUMN NOTES</b>	None

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
<b>EMPLOYMENT STATUS</b>				
Population 16 years and over	1,509,290	±2,423	1,509,290	(X)
In labor force	1,049,680	±6,750	69.5%	±0.4
Civilian labor force	1,043,090	±6,699	69.1%	±0.4
Employed	1,008,957	±7,438	66.8%	±0.5
Unemployed	34,133	±3,095	2.3%	±0.2
Armed Forces	6,590	±1,298	0.4%	±0.1
Not in labor force	459,610	±6,530	30.5%	±0.4
Civilian labor force	1,043,090	±6,699	1,043,090	(X)
<b>Unemployment Rate</b>	<b>(X)</b>	<b>(X)</b>	<b>3.3%</b>	<b>±0.3</b>
Females 16 years and over	761,559	±2,299	761,559	(X)
In labor force	492,756	±4,997	64.7%	±0.6
Civilian labor force	491,591	±5,080	64.6%	±0.6
Employed	477,147	±5,268	62.7%	±0.7
Own children of the householder under 6 years	149,576	±2,645	149,576	(X)
All parents in family in labor force	114,043	±3,931	76.2%	±2.1
Own children of the householder 6 to 17 years	299,354	±3,366	299,354	(X)
All parents in family in labor force	242,548	±5,188	81.0%	±1.4
<b>COMMUTING TO WORK</b>				
Workers 16 years and over	1,001,268	±7,891	1,001,268	(X)
Car, truck, or van -- drove alone	818,915	±9,121	81.8%	±0.6
Car, truck, or van -- carpooled	89,738	±4,339	9.0%	±0.4
Public transportation (excluding taxicab)	8,159	±1,573	0.8%	±0.2
Walked	27,561	±2,783	2.8%	±0.3
Other means	10,459	±1,866	1.0%	±0.2
Worked from home	46,436	±3,483	4.6%	±0.4
Mean travel time to work (minutes)	19.5	±0.3	(X)	(X)
<b>OCCUPATION</b>				
Civilian employed population 16 years and over	1,008,957	±7,438	1,008,957	(X)
Management, business, science, and arts occupations	404,011	±7,584	40.0%	±0.7
Service occupations	159,127	±6,069	15.8%	±0.6
Sales and office occupations	199,244	±5,797	19.7%	±0.6

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Natural resources, construction, and maintenance occupations	106,521	±3,891	10.6%	±0.4
Production, transportation, and material moving occupations	140,054	±6,131	13.9%	±0.6
<b>INDUSTRY</b>				
Civilian employed population 16 years and over	1,008,957	±7,438	1,008,957	(X)
Agriculture, forestry, fishing and hunting, and mining	46,776	±2,633	4.6%	±0.3
Construction	76,754	±3,757	7.6%	±0.4
Manufacturing	101,861	±5,181	10.1%	±0.5
Wholesale trade	23,839	±1,931	2.4%	±0.2
Retail trade	105,455	±5,597	10.5%	±0.5
Transportation and warehousing, and utilities	55,880	±2,782	5.5%	±0.3
Information	17,449	±2,108	1.7%	±0.2
Finance and insurance, and real estate and rental and leasing	80,285	±3,754	8.0%	±0.4
Professional, scientific, and management, and administrative and waste management services	88,188	±4,626	8.7%	±0.4
Educational services, and health care and social assistance	251,998	±6,212	25.0%	±0.6
Arts, entertainment, and recreation, and accommodation and food services	73,293	±4,110	7.3%	±0.4
Other services, except public administration	46,201	±3,671	4.6%	±0.4
Public administration	40,978	±2,853	4.1%	±0.3
<b>CLASS OF WORKER</b>				
Civilian employed population 16 years and over	1,008,957	±7,438	1,008,957	(X)
Private wage and salary workers	798,155	±8,908	79.1%	±0.6
Government workers	144,803	±4,955	14.4%	±0.5

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Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Self-employed in own not incorporated business workers	63,559	±3,076	6.3%	±0.3
Unpaid family workers	2,440	±653	0.2%	±0.1
INCOME AND BENEFITS (IN 2019 INFLATION-ADJUSTED DOLLARS)				
Total households	771,444	±4,475	771,444	(X)
Less than \$10,000	37,219	±2,805	4.8%	±0.4
\$10,000 to \$14,999	30,395	±2,679	3.9%	±0.3
\$15,000 to \$24,999	61,627	±3,696	8.0%	±0.5
\$25,000 to \$34,999	67,044	±4,060	8.7%	±0.5
\$35,000 to \$49,999	102,347	±4,017	13.3%	±0.5
\$50,000 to \$74,999	150,357	±5,404	19.5%	±0.7
\$75,000 to \$99,999	111,438	±4,655	14.4%	±0.6
\$100,000 to \$149,999	122,363	±4,428	15.9%	±0.6
\$150,000 to \$199,999	47,279	±2,722	6.1%	±0.4
\$200,000 or more	41,375	±2,731	5.4%	±0.4
Median household income (dollars)	63,229	±936	(X)	(X)
Mean household income (dollars)	82,539	±1,174	(X)	(X)
With earnings	622,504	±6,234	80.7%	±0.5
Mean earnings (dollars)	81,600	±1,223	(X)	(X)
With Social Security	226,518	±3,417	29.4%	±0.4
Mean Social Security income (dollars)	20,271	±321	(X)	(X)
With retirement income	162,009	±4,881	21.0%	±0.6
Mean retirement income (dollars)	23,519	±887	(X)	(X)
With Supplemental Security Income	30,742	±2,706	4.0%	±0.3
Mean Supplemental Security Income (dollars)	9,698	±473	(X)	(X)
With cash public assistance income	12,041	±1,593	1.6%	±0.2
Mean cash public assistance income (dollars)	2,366	±340	(X)	(X)
With Food Stamp/SNAP benefits in the past 12 months	58,895	±3,920	7.6%	±0.5
Families	493,013	±6,118	493,013	(X)
Less than \$10,000	10,881	±1,542	2.2%	±0.3
\$10,000 to \$14,999	8,445	±1,253	1.7%	±0.2

Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
\$15,000 to \$24,999	22,620	±2,375	4.6%	±0.5
\$25,000 to \$34,999	30,751	±2,344	6.2%	±0.5
\$35,000 to \$49,999	56,922	±3,374	11.5%	±0.7
\$50,000 to \$74,999	97,882	±4,342	19.9%	±0.8
\$75,000 to \$99,999	84,348	±3,676	17.1%	±0.7
\$100,000 to \$149,999	103,836	±4,029	21.1%	±0.8
\$150,000 to \$199,999	41,948	±2,519	8.5%	±0.5
\$200,000 or more	35,380	±2,468	7.2%	±0.5
Median family income (dollars)	80,062	±1,124	(X)	(X)
Mean family income (dollars)	99,250	±1,724	(X)	(X)
Per capita income (dollars)	33,272	±481	(X)	(X)
Nonfamily households	278,431	±5,467	278,431	(X)
Median nonfamily income (dollars)	37,791	±1,205	(X)	(X)
Mean nonfamily income (dollars)	50,009	±1,405	(X)	(X)
Median earnings for workers (dollars)	36,077	±399	(X)	(X)
Median earnings for male full-time, year-round workers (dollars)	51,412	±412	(X)	(X)
Median earnings for female full-time, year-round workers (dollars)	41,148	±496	(X)	(X)
<b>HEALTH INSURANCE COVERAGE</b>				
Civilian noninstitutionalized population	1,904,211	±1,300	1,904,211	(X)
With health insurance coverage	1,746,288	±7,882	91.7%	±0.4
With private health insurance	1,431,512	±12,995	75.2%	±0.7
With public coverage	538,914	±11,213	28.3%	±0.6
No health insurance coverage	157,923	±7,846	8.3%	±0.4
Civilian noninstitutionalized population under 19 years	502,094	±2,665	502,094	(X)
No health insurance coverage	28,394	±4,008	5.7%	±0.8
Civilian noninstitutionalized population 19 to 64 years	1,101,127	±2,944	1,101,127	(X)
In labor force:	938,320	±6,139	938,320	(X)
Employed:	911,179	±6,615	911,179	(X)

Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With health insurance coverage	825,058	±8,138	90.5%	±0.6
With private health insurance	796,224	±8,361	87.4%	±0.6
With public coverage	51,895	±4,178	5.7%	±0.5
No health insurance coverage	86,121	±5,269	9.5%	±0.6
Unemployed:	27,141	±3,009	27,141	(X)
With health insurance coverage	15,012	±2,302	55.3%	±4.9
With private health insurance	11,324	±1,939	41.7%	±4.7
With public coverage	4,578	±1,268	16.9%	±4.2
No health insurance coverage	12,129	±1,701	44.7%	±4.9
Not in labor force:	162,807	±5,870	162,807	(X)
With health insurance coverage	131,996	±5,122	81.1%	±1.4
With private health insurance	90,131	±4,087	55.4%	±1.7
With public coverage	53,867	±3,809	33.1%	±2.0
No health insurance coverage	30,811	±2,681	18.9%	±1.4
PERCENTAGE OF FAMILIES AND PEOPLE WHOSE INCOME IN THE PAST 12 MONTHS IS BELOW THE POVERTY LEVEL				
All families	(X)	(X)	6.2%	±0.4
With related children of the householder under 18 years	(X)	(X)	9.6%	±0.9
With related children of the householder under 5 years only	(X)	(X)	12.2%	±2.4
Married couple families	(X)	(X)	2.9%	±0.4
With related children of the householder under 18 years	(X)	(X)	3.2%	±0.6
With related children of the householder under 5 years only	(X)	(X)	2.7%	±1.4
Families with female householder, no spouse present	(X)	(X)	22.5%	±2.4

Table: ACSDP1Y2019.DP03

	Nebraska			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
With related children of the householder under 18 years	(X)	(X)	29.5%	±3.1
With related children of the householder under 5 years only	(X)	(X)	40.3%	±8.5
All people	(X)	(X)	9.9%	±0.5
Under 18 years	(X)	(X)	11.0%	±1.1
Related children of the householder under 18 years	(X)	(X)	10.5%	±1.0
Related children of the householder under 5 years	(X)	(X)	13.3%	±1.7
Related children of the householder 5 to 17 years	(X)	(X)	9.5%	±1.2
18 years and over	(X)	(X)	9.5%	±0.5
18 to 64 years	(X)	(X)	9.9%	±0.6
65 years and over	(X)	(X)	8.1%	±0.7
People in families	(X)	(X)	6.5%	±0.5
Unrelated individuals 15 years and over	(X)	(X)	23.0%	±1.3

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# Exhibit C

PER CAPITA INCOME IN THE PAST 12 MONTHS (IN 2019 INFLATION-ADJUSTED DOLLARS)		United States <b>Census</b> Bureau
<b>Note: The table shown may have been modified by user selections. Some information may be missing.</b>		
<b>DATA NOTES</b>		
TABLE ID:	B19301	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDT5Y2019	
PRODUCT:	ACS 5-Year Estimates Detailed Tables	
UNIVERSE:	Total population	
FTP URL:	None	
API URL:	<a href="https://api.census.gov/data/2019/acs/acs5">https://api.census.gov/data/2019/acs/acs5</a>	
<b>USER SELECTIONS</b>		
GEOS	Census Tract 105.01, Sarpy County, Nebraska	
TOPICS	Income (Households, Families, Individuals)	
<b>EXCLUDED COLUMNS</b>		
	None	
<b>APPLIED FILTERS</b>		
	None	
<b>APPLIED SORTS</b>		
	None	
<b>WEB ADDRESS</b>		
	<a href="https://data.census.gov/cedsci/table?q=per%20capita%20income&amp;g=1400000US31153010501&amp;tid=ACSDT5Y2019.B19301&amp;hidePreview=true">https://data.census.gov/cedsci/table?q=per%20capita%20income&amp;g=1400000US31153010501&amp;tid=ACSDT5Y2019.B19301&amp;hidePreview=true</a>	
<b>TABLE NOTES</b>		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
	Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.  Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
	Between 2018 and 2019 the American Community Survey retirement income question changed. These changes resulted in an increase in both the number of households reporting retirement income and higher aggregate retirement income at the national level. For more information see Changes to the Retirement Income Question .	
	The 2015-2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.	
	Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.	

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Table: ACSDT5Y2019.B19301

	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <p>* An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.</p> <p>* An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution.</p> <p>* An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution.</p> <p>* An "***" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.</p> <p>* An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.</p> <p>* An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.</p> <p>* An "(X)" means that the estimate is not applicable or not available.</p>
<b>COLUMN NOTES</b>	None

Table: ACSDT5Y2019.B19301

	Census Tract 105.01, Sarpy County, Nebraska	
Label	Estimate	Margin of Error
Per capita income in the past 12 months (in 2019 inflation-adjusted dollars)	27,108	±2,660

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# Exhibit D

PER CAPITA INCOME IN THE PAST 12 MONTHS (IN 2019 INFLATION-ADJUSTED DOLLARS)		United States <b>Census</b> Bureau
<b>Note:</b> The table shown may have been modified by user selections. Some information may be missing.		
<b>DATA NOTES</b>		
TABLE ID:	B19301	
SURVEY/PROGRAM:	American Community Survey	
VINTAGE:	2019	
DATASET:	ACSDT5Y2019	
PRODUCT:	ACS 5-Year Estimates Detailed Tables	
UNIVERSE:	Total population	
FTP URL:	None	
API URL:	<a href="https://api.census.gov/data/2019/acs/acs5">https://api.census.gov/data/2019/acs/acs5</a>	
<b>USER SELECTIONS</b>		
TOPICS	Income (Households, Families, Individuals)	
GEOS	Bellevue city	
<b>EXCLUDED COLUMNS</b>		
	None	
<b>APPLIED FILTERS</b>		
	None	
<b>APPLIED SORTS</b>		
	None	
<b>WEB ADDRESS</b>		
	<a href="https://data.census.gov/cedsci/table?q=bellevue%20nebraska%20per%20capita%20income&amp;tid=ACSDT5Y2019.B19301&amp;hidePreview=true">https://data.census.gov/cedsci/table?q=bellevue%20nebraska%20per%20capita%20income&amp;tid=ACSDT5Y2019.B19301&amp;hidePreview=true</a>	
<b>TABLE NOTES</b>		
	Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.	
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	Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.	
	Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates	
	Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.	
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	<p>Explanation of Symbols: * An "***" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.</p> <ul style="list-style-type: none"> <li>* An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.</li> <li>* An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution.</li> <li>* An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution.</li> <li>* An "***" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.</li> <li>* An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.</li> <li>* An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.</li> <li>* An "(X)" means that the estimate is not applicable or not available.</li> </ul>
<b>COLUMN NOTES</b>	None

RECEIVED

JUN 14 2021

PLANNING DEPT.

Table: ACSDT5Y2019.B19301

	Bellevue city, Nebraska	
Label	Estimate	Margin of Error
Per capita income in the past 12 months (in 2019 inflation-adjusted dollars)	29,822	±1,107

RECEIVED  
JUN 14 2021  
PLANNING DEPT.



Esri, Inc. City of Naperville, Illinois | Esri, Inc. Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 2257

*Handwritten initials 'JL'*

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



**RECEIVED**  
**JUN 14 2021**  
**PLANNING DEPT.**

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

\*16a.  
08/03/2021

COUNCIL MEETING DATE: 08/14/2021		SUBMITTED BY: City Clerk		
AGENDA ITEM:		CONSENT AGENDA <input checked="" type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>		PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>		OTHER <input type="checkbox"/>	

SUBJECT:

Recommendation to approve Special Fireworks Display

SYNOPSIS/BACKGROUND:

Application was received for a Special Fireworks Application for Bellino Fireworks to provide a special fireworks display for the Bellevue Rocks Riverfront Festival on 8/14/2021 sometime between 9:45 p.m. - 10:45 p.m. for no longer than 15 minutes.

FISCAL IMPACT:  BUDGETED FUNDS?:  GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?:  COUNTER-PARTY:  INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED:

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

Recommendation to approve a Special Fireworks Application for Bellino Fireworks to provide a special fireworks display for the Bellevue Rocks Riverfront Festival on 8/14/2021 sometime between 9:45 p.m. - 10:45 p.m. for no longer than 15 minutes.

ATTACHMENTS:

1.  2.  3.

4.  5.  6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*A. B. ...*  
*[Signature]*  
*[Signature]*



City of Bellevue  
Office of the City Clerk  
1500 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3007

## SPECIAL FIREWORKS EVENT APPLICATION

Application must be filled out completely and returned to the City Clerk, a minimum of 7 day, prior to the City Council Meeting so item can be added to the City Council Agenda.

(Please Print Legibly)

**Special Fireworks Event:** Bellevue Rocks Riverfront Festival

**Date of Event:** August 14, 2021

**Time and Duration of Fireworks Display:** Between 9:45pm and 10:45pm for no longer than 15 minutes

**Name of Contact Person:** Phil Davidson

**Contact Person E-mail:** phil.davidson@bellevue.net

**Contact Person Phone #:** 402-293-3052

**Distributor License:**  Yes  No

**If so, Name of Distributor:** Bellino Fireworks

  
Signature

July 21, 2021  
Date

NEBRASKA STATE FIRE MARSHAL  
**Public Firework Display**

**Permit #** 2021-DP-64401588-355

**Receipt #** 64401588

**Date Received** July 26, 2021 01:47 PM

**Sponsoring Organization/Individual**

**Name 1** Bellino Enterprises

**Name 2** Jim Sandvold

**Address** 351 Grant

**City** Blair

**Daytime Phone** 402-510-7936

**State** NE

**Zip Code** 68008

**Email** fireworks@mwfireworks.com

**Public Display Operator**

**License #** 21-02/010

**Name** NIELSEN, CHARLES DEAN

**Address 1** 1750 PARK ST

**Address 2**

**City** BLAIR

**Daytime Phone**

**State** NE

**Zip Code** 68008

**Email**

**Location/Dates**

**Display Location** American Hero's Park

**Display City** Bellevue

**Display County** Sarpy

**Display Date** August 14, 2021

**Rain Date** August 15, 2021

**Display Time** 10:01 PM

**Rain Time** 10:01 PM

**Public Display** Yes

**Storage Information**

**How Stored** Approved ATF/NSP Bunker

**Distributor(s)**

Midwest Fireworks Wholesalers LLC (2021-RP-59419018-1)

**Mortar/Distances (in feet)/Ground Display**

**Largest Mortar (Inches)** 6.0

**Residential** 1400

**Health Care Facilities** N/A

**Penal Facilities** N/A

**Power Lines** N/A

**Phone Lines** N/A

**Ground Display** No **Parking** --

**Electronically Fired?** Yes

**Spectators** 420

**Parking** 730

**Hwys/Streets/Alleys** 730

**Hazardous Materials** N/A

**Trees** 50

**Spectators** --

**Approval**

**Approved By** Christopher Cantrell, SFM

**Date Approved/Issued** July 27, 2021

---

**Fire Chief Signature**

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

tabled to 08/03/21

COUNCIL MEETING DATE: <del>07/06/2021</del>		SUBMITTED BY: Administrator/Community Development Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Approval of the Agreement for additional funding to the Chamber for marketing as outlined in the Marketing Agreement on or about April 22, 2020.

SYNOPSIS/BACKGROUND:

The City Council previously approved funding in the amount of \$100,000 for rebranding and marketing in an Agreement with the Chamber of Commerce outlining the funding for the fiscal year 2020. In the Agreement any additional funding by the City to the Chamber for marketing as outlined in the Marketing Agreement shall be approved by the City Council by separate agreement. The City and the Chamber now desire to enter into a separate agreement for additional funding approval, in the amount of \$55,000.00.

FISCAL IMPACT: \$55,000      BUDGETED FUNDS?: 16      GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES      COUNTER-PARTY: Chamber      INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Agreement between City of Bellevue and Chamber of Commerce

CONTRACT EFFECTIVE DATE:      CONTRACT TERM: N/A      CONTRACT END DATE:     

PROJECT NAME: Additional Funding Agreement for marketing and rebranding services with the Chamber

START DATE:      END DATE:      PAYMENT DATE: 07/06/2021      INSURANCE REQUIRED: No

CIP PROJECT NAME: N/A      CIP PROJECT NUMBER: N/A

STREET DISTRICT NAME (S): N/A      STREET DISTRICT NUMBER (S): N/A

ACCOUNTING DISTRIBUTION CODE: 23-CONT      ACCOUNT NUMBER: 6033

RECOMMENDATION:

Recommendation to approve a separate agreement with Chamber of Commerce for additional funding for marketing and rebranding services, in an amount not to exceed \$55,000.00.

ATTACHMENTS:

1. Agreement w/Exhibit A & Invoice
2.
3.
4.
5.
6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:



**AGREEMENT BETWEEN THE CITY OF BELLEVUE AND THE GREATER  
BELLEVUE AREA CHAMBER OF COMMERCE**

This (the "Agreement") is between the City of Bellevue (hereinafter "the City") and the Greater Bellevue Area Chamber of Commerce (hereinafter "Chamber"). Collectively referred to as "the parties".

The Parties entered into a Marketing Agreement (Attached Exhibit "A") on or about April 22, 2020. Pursuant to the terms of the Marketing Agreement Section 3, any additional requests for funding by the City to the Chamber for marketing as outlined in the Marketing Agreement shall be approved by the Bellevue City Council by separate agreement. The parties now desire to enter into a separate agreement for additional funding approval.

The City and the Chamber understand that the City does not have a contractual relationship with OBI and this Agreement does not create any contractual relationship between OBI and the City.

**1. COMPENSATION:**

The Chamber has received an Invoice from OBI in the amount of \$86,000.00 for marketing initiatives as contemplated under the Marketing Agreement. The Chamber requests the City pay \$55,000.00 to the Chamber to help compensate and reimburse the Chamber for the same. (Exhibit "B"). In exchange for the services provided, the City agrees to pay the Chamber a one-time payment of FIFTY-FIVE THOUSAND DOLLARS and 00/100 (\$55,000.00) under this Agreement. Payment to the Chamber shall be due and owing upon the approval of this Agreement by the Bellevue City Council. This is a one-time payment and no other payments will be made without prior written approval by the Bellevue City Council. The parties further agree that the compensation under this paragraph to be paid to the Chamber will be used to pay or reimburse the Chamber for work completed by OBI. The parties also acknowledge and agree that in consideration of the Chamber receiving the compensation under this Agreement, the Chamber will continue to operate and function as the Greater Bellevue Area Chamber of Commerce and help complete the branding initiatives with the City.

**2. GENERAL PROVISIONS:**

The text herein shall constitute the entire agreement between the parties. This agreement may not be changed orally, but only by an agreement in writing, signed by the party against whom enforcement of any waiver, change, modification, extension, or discharge is sought. This agreement shall become effective commencing upon the date the Agreement is signed and executed by all parties. If any provisions, or any portion thereof, contained in this Agreement is held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected and shall remain in full force and effect.

**3. APPLICABLE LAW:**

This Agreement is made pursuant to and shall be governed, construed, and enforced in all respects and for all purposes in accordance with the laws of the State of Nebraska.

**4. MAINTENANCE OF RECORDS:**

The Chamber shall retain possession of any and all invoices it receives for services from OBI for a period of ten (10) years. If requested by the City to review said invoices, the Chamber shall make the invoices available for inspection upon request.

**5. NOTICES:**

Any and all notices under this Agreement shall be sent to the following:

Jim Ristow  
City of Bellevue, City Administrator  
1500 Wall Street  
Bellevue, NE 68005

The Greater Bellevue Area Chamber of Commerce  
1036 Bruin Blvd., Ste. 119  
Bellevue, NE 68005

**AGREEMENT/ACKNOWLEDGMENT**

The parties hereto have caused this Agreement to be executed and do hereby warrant, represent, and agree that their respective signatories appearing below have been and are on the effective date of this Agreement duly authorized to sign, agree to, and bind the parties to the same.

CITY OF BELLEVUE:

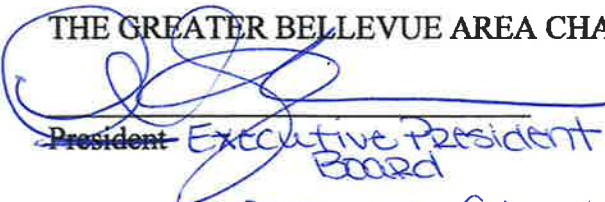
\_\_\_\_\_  
Mayor, Rusty Hike

\_\_\_\_\_  
Date

ATTEST:

\_\_\_\_\_  
City Clerk

THE GREATER BELLEVUE AREA CHAMBER OF COMMERCE

  
~~President~~ Executive President  
Board  
Amanda Glazebrook

6/14/2021  
Date

**AGREEMENT BETWEEN THE CITY OF BELLEVUE AND THE GREATER  
BELLEVUE AREA CHAMBER OF COMMERCE**

This Marketing Agreement (the "Agreement") is between the City of Bellevue (hereinafter "the City") and the Greater Bellevue Area Chamber of Commerce (hereinafter "Chamber"). Collectively referred to as "the parties".

The parties wish to enter into an agreement wherein the Chamber, through their separate Master Service Agreement with OBI Creative (hereinafter "OBI"), will rebrand and market the City and work on developing and maintaining economic vitality for the Bellevue community.

The City and the Chamber understand that the City does not have a contractual relationship with OBI and this Agreement does not create any contractual relationship between OBI and the City.

**1. SERVICES:**

The Chamber has contracted with OBI to provide marketing services related to the overall marketing plans directed by the Chamber. OBI and the Chamber will develop and enter into one or more Statements of Work which will incorporate a description of the specific services to be provided. The goal of the services is to rebrand and market the City of Bellevue and work on developing and maintaining economic vitality for the Bellevue community.

The Chamber, by working with OBI, will provide these services to the City.

**2. COMPENSATION:**

In exchange for services, the City agrees to pay the Chamber a one-time payment of ONE HUNDRED THOUSAND DOLLARS and 00/100 (\$100,000.00) under this Agreement. Payment to the Chamber shall be due and owing upon receiving an "Invoice" from the Chamber for said funds and shall be payable to the Chamber within fifteen-days after receipt of the Invoice. The City has not entered into any agreement to pay OBI directly for services but rather will pay the Chamber the compensation as outlined above. This payment shall be a one-time payment for the fiscal year 2020, regardless of any fees incurred by the Chamber to OBI.

**3. TERM:**

This Agreement will automatically expire on September 30, 2020. Any additional requests for funding will have to be approved by the Bellevue City Council by separate agreement.

**4. GENERAL PROVISIONS:**

The text herein shall constitute the entire agreement between the parties. This agreement may not be changed orally, but only by an agreement in writing, signed by the party against whom enforcement of any waiver, change, modification, extension, or discharge is sought. This agreement shall become effective commencing upon the date the Agreement is signed and executed by all parties. If any provisions, or any portion thereof, contained in this Agreement is held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected and shall remain in full force and effect.



**5. APPLICABLE LAW:**

This Agreement is made pursuant to and shall be governed, construed, and enforced in all respects and for all purposes in accordance with the laws of the State of Nebraska.

**6. MAINTENANCE OF RECORDS:**

The Chamber shall retain possession of any and all invoices it receives for services from OBI for a period of ten (10) years. If requested by the City to review said invoices, the Chamber shall make the invoices available for inspection upon request.

**7. NOTICES:**

Any and all notices under this Agreement shall be sent to the following:

Jim Ristow  
City of Bellevue, City Administrator  
1500 Wall Street  
Bellevue, NE 68005

Kevin Hensel  
The Greater Bellevue Area Chamber of Commerce  
1036 Bruin Blvd., Ste. 119  
Bellevue, NE 68005

**AGREEMENT/ACKNOWLEDGMENT**

The parties hereto have caused this Agreement to be executed and do hereby warrant, represent, and agree that their respective signatories appearing below have been and are on the effective date of this Agreement duly authorized to sign, agree to, and bind the parties to the same.

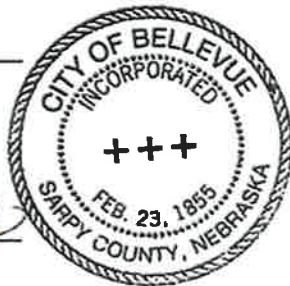
CITY OF BELLEVUE:

  
\_\_\_\_\_  
Mayor, Rusty Hike

04.22.2020  
\_\_\_\_\_  
Date

ATTEST:

  
\_\_\_\_\_  
City Clerk



THE GREATER BELLEVUE AREA CHAMBER OF COMMERCE

  
\_\_\_\_\_  
President, Kevin Hensel

4-20-2020  
\_\_\_\_\_  
Date



**Greater Bellevue Area Chamber of Commerce**  
 1036 Bruin Blvd.  
 Suite 119  
 Bellevue, NE 68005  
 (402) 898-3000 | fax: (402) 291-8729  
 Bellevue@bellevuenebraska.com

# Invoice

Invoice Date: 6/10/2021  
 Invoice Number: 3806

City of Bellevue  
 Jim Ristow  
 1500 Wall Street  
 Bellevue, NE 68005

		Terms	Due Date
		Due on receipt	6/10/2021
Description	Quantity	Rate	Amount
Branding Initiative Phase 1 & 2 complete	1	\$55,000.00	\$55,000.00
<b>Subtotal:</b>			<b>\$55,000.00</b>
<b>Tax:</b>			<b>\$0.00</b>
<b>Total:</b>			<b>\$55,000.00</b>
<b>Payment/Credit Applied:</b>			<b>\$0.00</b>
<b>Balance:</b>			<b>\$55,000.00</b>



CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16c.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021	SUBMITTED BY: Finance/CDBG	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>

SUBJECT:

Approval of documents to release the CDBG Housing Rehabilitation Deed of Trust for 832 Hidden Hills Drive including the Deed of Reconveyance.

SYNOPSIS/BACKGROUND:

In February 2016, the City completed a Community Development Housing Rehabilitation project at 832 Hidden Hills Drive in the amount of \$20,561.50, and a Deed of Trust was filed with Sarpy County for said amount. On July 21, 2021, the City received a payment for the outstanding balance of the lien in the amount of \$9,432.10. With the receipt of the payment, the City can release the lien by filing a Deed of Reconveyance.

FISCAL IMPACT: \$9,432.10      BUDGETED FUNDS?: NO      GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO      COUNTER-PARTY:      INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: \_\_\_\_\_

CONTRACT EFFECTIVE DATE: \_\_\_\_\_ CONTRACT TERM: \_\_\_\_\_ CONTRACT END DATE: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_

START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_ PAYMENT DATE: \_\_\_\_\_ INSURANCE REQUIRED: YES

CIP PROJECT NAME: \_\_\_\_\_ CIP PROJECT NUMBER: \_\_\_\_\_

STREET DISTRICT NAME (S): \_\_\_\_\_ STREET DISTRICT NUMBER (S): \_\_\_\_\_

ACCOUNTING DISTRIBUTION CODE: 60-CDBG      ACCOUNT NUMBER: \_\_\_\_\_

RECOMMENDATION:

Approve the Deed of Reconveyance.

ATTACHMENTS:

1. Substitution of Trustee	2. Deed of Reconveyance	3. _____
4. _____	5. _____	6. _____

SIGNATURES:

LEGAL APPROVAL AS TO FORM: \_\_\_\_\_

FINANCE APPROVAL AS TO FORM: \_\_\_\_\_

ADMINISTRATOR APPROVAL AS TO FORM: \_\_\_\_\_

*A. Bruce Roblin*  
*[Signature]*  
*[Signature]*

REQUEST TO RECONVEY

TO: Alicia Bree Robbins, Trustee

You are hereby requested to execute a Deed of Reconveyance to Elaine Myhlhousen, a single person, for the reason that payment in full has been made on the note secured by the Deed of Trust recorded the 25<sup>th</sup> day of February, 2016, as Instrument No. 2016-03865 of the Mortgage Records of Sarpy County, Nebraska.

Dated this \_\_\_\_ day of August 2021

City of Bellevue, Nebraska

By: \_\_\_\_\_  
Rusty Hike, Mayor

STATE OF NEBRASKA            )  
  )  
COUNTY OF SARPY                )

On this \_\_\_\_ day of August, 2021, before me, a Notary Public, duly commissioned, qualified for and residing in said county, personally came Rusty Hike, Mayor of the City of Bellevue, Nebraska, known to me to be the identical person whose name is affixed to the foregoing instrument and acknowledged the execution thereof to be his/her voluntary act and deed on behalf of the City.

WITNESS my hand and notarial seal the day and year last above written.

\_\_\_\_\_  
Notary Public

REQUEST TO RECONVEY

TO: Alicia Bree Robbins, Trustee

You are hereby requested to execute a Deed of Reconveyance to Elaine Myhlhousen, a single person, for the reason that payment in full has been made on the note secured by the Deed of Trust recorded the 25<sup>th</sup> day of February, 2016, as Instrument No. 2016-03865 of the Mortgage Records of Sarpy County, Nebraska.

Dated this \_\_\_\_ day of August 2021

City of Bellevue, Nebraska

By: \_\_\_\_\_  
Rusty Hike, Mayor

STATE OF NEBRASKA            )  
  )  
COUNTY OF SARPY            )

On this \_\_\_\_ day of August, 2021, before me, a Notary Public, duly commissioned, qualified for and residing in said county, personally came Rusty Hike, Mayor of the City of Bellevue, Nebraska, known to me to be the identical person whose name is affixed to the foregoing instrument and acknowledged the execution thereof to be his/her voluntary act and deed on behalf of the City.

WITNESS my hand and notarial seal the day and year last above written.

\_\_\_\_\_  
Notary Public

## DEED OF RECONVEYANCE

WHEREAS, the undersigned Trustee, Alicia Bree Robbins, Bellevue City Attorney and member of the Nebraska State Bar Association, of 1500 Wall Street, Bellevue, County of Sarpy, State of Nebraska, as Trustee under the Deed of Trust executed by Elaine Myhlhousen, a single person, Trustor, in which City of Bellevue, Nebraska, was named as Beneficiary, and recorded on February 25, 2016, as Instrument No. 2016-03865 of the Mortgage Records of the Register of Deeds of Sarpy County, Nebraska, has received from, the City of Bellevue, Nebraska, Beneficiary thereunder, a written Request to Reconvey, reciting that all sums secured by such Deed of Trust have been fully paid and that such Deed of Trust and the Note secured thereby have been surrendered to the undersigned, as Trustee, for cancellation;

NOW THEREFORE, in accordance with such request and the provisions of such Deed of Trust, the undersigned, as Trustee, does hereby reconvey, without warranty, to the person or persons entitled thereto, namely Elaine Myhlhousen, a single person, the estate now held by the Trustee thereunder, to-wit:

**Lot 33, Hidden Hills, an addition to the City of Bellevue, Sarpy County, Nebraska, as surveyed, platted, and recorded together with all vacated portions of streets, avenues and alley adjacent thereto**

IN WITNESS WHEREOF the undersigned has executed this Deed of Reconveyance at Bellevue, Nebraska, on August \_\_\_\_\_, 2021.

\_\_\_\_\_  
Alicia Bree Robbins, Successor Trustee

STATE OF NEBRASKA    )  
  )  
COUNTY OF SARPY        )

On this \_\_\_\_ day of August, 2021, before me, a Notary Public, duly commissioned, qualified for and residing in said county, personally came Alicia Bree Robbins, known to me to be the identical person whose name is affixed to the foregoing instrument and acknowledged the execution thereof to be his voluntary act and deed.

WITNESS my hand and notarial seal the day and year last above written.

\_\_\_\_\_  
Notary Public

SUBSTITUTION OF TRUSTEE

KNOW ALL PERSONS BY THESE PRESENTS:

**Elaine Myhlhousen, a single person**, is the Grantor/Trustor, and **Patrick Sullivan** is the Trustee, and **City of Bellevue, Nebraska**, is the Beneficiary under that certain Deed of Trust dated February 4, 2016, and recorded on February 25, 2016, as Instrument No. 2016-03865, Mortgage Records of Sarpy County in the State of Nebraska. The trust property affected is legally described as follows:

**Lot 33, Hidden Hills, an Addition to the City of Bellevue, Sarpy County, Nebraska, as surveyed, platted, and recorded together with all vacated portions of streets, avenues, and alleys adjacent thereto.**

The undersigned, who is the present Beneficiary under said Deed of Trust, desires to appoint a new Trustee in place and stead of the Trustee named above;

NOW, THEREFORE, in view of the premises, the undersigned hereby appoints: ALICIA BREE ROBBINS, a member of the Nebraska State Bar Association, whose address is 1500 Wall Street, Bellevue, NE 68005 as Successor Trustee under said Deed of Trust. She is to have all the powers of said original Trustee, effective forthwith. Where Co-Trustees are appointed each shall have all the powers of said original Trustee and each shall be authorized to act severally.

IN WITNESS WHEREOF, the undersigned Beneficiary has hereunto set their hands.

Dated: August \_\_\_\_, 2021

City of Bellevue, Nebraska,  
Beneficiary

By: \_\_\_\_\_  
Rusty Hike, Mayor

ATTEST:

\_\_\_\_\_  
Susan Kluthe, City Clerk

**Record & Return to: City of Bellevue, 1500 Wall Street, Bellevue, NE 6800**



CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16d.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Capt. Kurt Strocher	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Purchase of 18 new radar units to replace aging/failing equipment.

SYNOPSIS/BACKGROUND:

We requested \$200,000 in the 2021 Capital Improvement Plan (PO21 #2, sub-project 162102) to replace aging/failing radar units in marked patrol cars. We have re-evaluated our immediate needs and, at this time, we need only 18 units which can be purchased for \$30,600. Traffic enforcement, particularly speed enforcement, remains a high priority for the police department in our goal to make our roadways safer for everyone. We are confident that these 18 radar units will allow us to function more efficiently for many years to come.

FISCAL IMPACT: \$30,600      BUDGETED FUNDS?: YES      GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO      COUNTER-PARTY:      INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: \_\_\_\_\_

CONTRACT EFFECTIVE DATE: \_\_\_\_\_ CONTRACT TERM: \_\_\_\_\_ CONTRACT END DATE: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_

START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_ PAYMENT DATE: \_\_\_\_\_ INSURANCE REQUIRED: NO

CIP PROJECT NAME: \_\_\_\_\_ CIP PROJECT NUMBER: \_\_\_\_\_

STREET DISTRICT NAME (S): \_\_\_\_\_ STREET DISTRICT NUMBER (S): \_\_\_\_\_

ACCOUNTING DISTRIBUTION CODE: CIPPO21(2)      ACCOUNT NUMBER: 7140

RECOMMENDATION:

Approve the purchase of 18 new radar units from MPH Industries.

ATTACHMENTS:

1. MPH Ind quote# 28604	2. _____	3. _____
4. _____	5. _____	6. _____

SIGNATURES:

LEGAL APPROVAL AS TO FORM: \_\_\_\_\_

FINANCE APPROVAL AS TO FORM: \_\_\_\_\_

ADMINISTRATOR APPROVAL AS TO FORM: \_\_\_\_\_

*A. Bobb Roblin*  
*[Signature]*

MPH Industries, Inc.  
 316 East 9th Street  
 Owensboro KY 42303  
 Phone: 888-689-9222  
 Fax: 270-685-6288

Date: 5/10/2021  
 Expires: 7/9/2021  
 Reference:  
 Terms: NET 30 DAYS



Sales Person: Brandy Atherton  
 Phone: 888-689-9222  
 Fax: 270-685-6288  
 Email: bmatherton@mphindustries.com

**QUOTE: 28604**

<b>Quote To:</b> CAPTAIN KURT STROEHER BELLEVUE POLICE DEPT 1500 WALL STREET BELLEVUE NE 68005 USA Phone:            Fax: Email: kurt.stroeher@bellevue.net Customer #: 680051	<b>Ship To:</b> BELLEVUE POLICE DEPT 1500 WALL STREET BELLEVUE, NE 68005 USA Phone #: 402-293-3100    Fax #: Email: Ship Via: Best Way GND
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USD

Line	Part	Description	Rev
1	PYT3FS-2KA	Python 3 FS version radar with two Ka-band antennas, basic kit with remote control, mounting brackets, cables, tuning forks, manual and 2 year warranty	-

**Sales Kit**

**Kit Components**

Kit Seq.	Part Number	Description	Qty	Per
1.001	990924	MANUAL, OPERATORS, P	1	EA
1.002	991242	UNIT, PYT3, Ka, FS	1	EA
1.003	991204	ANT, PYTIII/BEE, Ka	2	EA
1.004	903397004	FORK, TUNING, 20 MPH,	1	EA
1.005	903397010	FORK, TUNING, 50	1	EA
		<b>Quantity</b>	18 EA	<b>Unit Price</b>
				1,700.00
				<b>Ext Price:</b> 30,600.00

Line	Part	Description	Rev
7	550004	\$0 Shipping per contract	
		<b>Quantity</b>	18 EA
			<b>Unit Price</b>
			<b>Ext Price:</b>
			<b>Total:</b> 30,600.00

*Thank you for an opportunity to quote.*

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16e.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Captain Tim Melvin	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

MOU for Sarpy County Force Investigation Team

SYNOPSIS/BACKGROUND:

The objective of the Sarpy County Force Investigation Team (SCFIT) is to provide an investigation that is independent of the involved agency in incidents where the use of deadly force by a peace officer results in death, or serious bodily injury as well as the investigation of deaths of persons in police custody. Our goal is to enhance accountability and transparency. We believe this team accomplishes five principles that are fundamental to enhancing public trust in the integrity of independent investigations involving police use of deadly force: Independence, Transparency, Communication, and Credible & Consistent Process

FISCAL IMPACT: none BUDGETED FUNDS?: NO GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: NO COUNTER-PARTY: INTERLOCAL AGREEMENT: YES

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE: CONTRACT TERM: CONTRACT END DATE:

PROJECT NAME:

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: CIP PROJECT NUMBER:

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: ACCOUNT NUMBER:

RECOMMENDATION:

Sign the MOU with the Sarpy County Force Investigation Team

ATTACHMENTS:

1. SCFIT MOU 2. 3. 4. 5. 6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*A. Breyer/Roblin*  
*Tim Melvin*  
*Janice*

**Memorandum of Understanding**  
**Sarpy County Sarpy County Force Investigation Team**

This Memorandum of Understanding (“MOU”) is entered into as of this \_\_\_ day of \_\_\_, 2021, by and between the undersigned parties (hereafter individually “Party” or “Agency” and collectively “Parties” or “Agencies”).

WHEREAS, the Parties and their representative law enforcement agencies:

- I. Recognize the need for a multi-agency response and independent investigations in certain incidents involving a law enforcement officer’s use of force.
- II. Understand that investigations of this nature require independence and transparency.
- III. Desire to form the Sarpy County Force Investigation Team “SCFIT” for the purpose of carrying out said investigations.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

- I. Purpose. The Parties shall hereby form SCFIT (also referred to herein as “Team”). The purpose of this MOU is to define the roles and responsibilities of the Parties. This MOU is not intended nor shall it be construed to in any way limit the power and authority granted by Neb. Rev. Stat. § 29-215. To that end, each Agency may individually impose in respect to its own officers such conditions or limitations on the exercise of its statutory law enforcement powers as such Agency may choose and so long as not inconsistent with the terms hereof.
- II. Executive Board.
  - a. The Executive Board (“Board”) of the Team consists of the following individuals or their designees: Sarpy County Sheriff, La Vista Chief of Police, Bellevue Chief of Police, and Papillion Chief of Police, and Sarpy County Attorney as ex-officio member.
  - b. The Board is responsible for:
    1. Meeting at least three times per year;
    2. Assigning leadership positions to Team members;
    3. Selecting Team members and any leadership positions for the Team;
    4. Establishing policies and procedures for the operation of the Team, which shall include but not be limited to:
      - a. Chain of command and control over responses;
      - b. Process for activation of the Team;
      - c. Expectations for a Team member’s conduct;
      - d. Qualifications for Team members, including but not limited to, physical agility and tactical firearms qualifications; and
      - e. Any other topics deemed appropriate by the Board.
    5. Performing any other functions necessary for the executive oversight, administration, and supervision of the Team.
  - c. Unless otherwise specified herein, decisions of the Board shall be made by majority vote.

d. With the exception of the County Attorney as Ex-Officio, each member of the Board has an equal vote in all decisions of the Board.

- III. Policies and Procedures. Policies and procedures approved by the Executive Board shall govern the function and operation of the Team. The policies and procedures shall govern the details for the Team's response and investigation. In the event of a conflict, Team policies and procedures shall be superseded by law, applicable collective bargaining agreement, and Agency policy. The Team policies and procedures, as amended, are incorporated herein by this reference.
- IV. Employment status. A team member is considered employed solely by his or her own Agency and shall be considered and held as serving in the regular line-of-duty of the Agency that employs the Team member. Thus, equipment, uniform, personnel costs, and related benefits including health insurance, retirement, etc., shall be the responsibility of the employing Agency. Each Party shall assume any and all liability for the payment of salaries, wages, or other compensation due or claimed due to its own employees, including workers' compensation claims, and each Party shall hold the other harmless therefrom. Except as explicitly agreed to by Parties in writing, each Party shall not be liable for compensation or benefits to any other Party's employee, nor for any compensation or indemnity to any other Party's employee for any injury or sickness arising out of his or her employment, and each Party hereby agrees to hold the other Party harmless against any such claims. Internal Affairs Investigations and disciplinary action arising out of a Team Member's conduct, omissions, actions, etc. while serving on the Team shall be handled by that Team Member's Agency. Notification or initiation of an investigation will follow the employing Agency's policies.
- V. Liability Insurance. The Parties agree to be self-insured or to carry liability insurance written on an "occurrence" basis (as distinguished from "claims made" basis) covering all law enforcement personnel assigned by each Party and insuring against liability for bodily injury, personal injury and property damage, in an amount not less than the maximum liability of such Party under applicable law.
- VI. Dispute Resolution Process. In the event of a dispute arising under this MOU, the matter shall be referred to the Board for resolution. Written notice of the dispute shall be provided to each Board member. The Board shall then meet and attempt to resolve the dispute in a satisfactory manner. This meeting must take place within ten business days after all Board members have been served notice of the dispute. The Board shall issue a written decision within thirty days after the meeting. The content of the written decision shall be approved by a majority of the Board. During the pendency of this process, the Parties and Agencies shall act in good faith to perform their respective duties described herein. No Party or Agency shall institute a formal legal proceeding, file a claim, provide notice of withdraw, etc., until after the Board has issued a written decision.
- VII. Terms of MOU and termination. This MOU shall be effective for an initial term of two years beginning on the date this MOU is fully executed by the parties. At the end of the initial two-year term, this MOU shall automatically renew for additional one-year terms

(“Renewal Term”). Any party may withdraw from this MOU by providing written notice to the Executive Board. In order to adequately staff future investigations, two-weeks’ notice of termination is requested.

- VIII. Mutual Non-Discrimination Clause. In accordance with Neb. Rev. Stat. § 48-1122, each Party agrees that neither it nor any of its subcontractors or agents shall discriminate against any employee or applicant for employment to be employed in the performance of this MOU, with respect to hire, tenure, terms, conditions, or privileges of employment, because of age, color, disability, genetic information, marital status, military status, national origin, pregnancy, race, religion, sex, or any other prohibited basis of discrimination.
- IX. Indemnification/Liability. To the extent permitted by law, each Party (as “indemnitor”) agrees to indemnify, defend, and hold harmless each of the other Parties (as “indemnitee(s)”) from and against any and all claims, losses, liability, costs, or expenses, including reasonable attorney’s fees (hereinafter collectively referred to as “claims”) arising out of bodily injury, including death, or property damage, but only to the extent that such claims are caused by the act, omission, negligence, misconduct, or other fault of the indemnitor, its officers, officials, agents, employees, or volunteers; provided that, a Party shall have no liability whatsoever for declining to respond, delaying to respond, or terminating its response to another Party’s request for mutual aid and assistance. These indemnification provisions are not intended to waive a Party’s sovereign immunity. A Party’s liability is governed by and limited to the extent provided by the Nebraska Political Subdivisions Tort Claims Act or other applicable provisions of law.
- X. Notification of Claims and Lawsuits. In the event that a claim or lawsuit is brought against a Party for any matters related to this MOU, it shall be the duty of that Party to notify the other Parties of said claim or lawsuit.
- XI. Sovereign Immunity. Nothing in this MOU shall be construed as an express or implied waiver of the sovereign immunity of any Party in any forum or jurisdiction.
- XII. Notice and Authorized Representatives. Notice, required under this MOU, shall be delivered in writing and shall be effective upon receipt by the authorized representative. Delivery shall be made by certified mail, return receipt requested. For purposes of Notice, following individuals are the authorized representatives of the Parties:

SARPY COUNTY  
County Sheriff  
Sarpy County Sheriff’s Office  
8335 Platteview Road  
Papillion, NE 68046

CITY OF LA VISTA  
Chief of Police  
La Vista Police Department

7701 South 96<sup>th</sup> Street  
La Vista, NE 68128

CITY OF PAPILLION

Chief of Police  
Papillion Police Department  
1000 East 1<sup>st</sup> Street  
Papillion, NE 68046

CITY OF BELLEVUE

Chief of Police  
Bellevue Police Department  
1510 Wall Street  
Bellevue, NE 68005

- XIII. Drug Free Policy. Parties assure each other that each has established and maintains a drug free workplace policy.
- XIV. New Employee Work Eligibility Status (Neb. Rev. Stat. § 4-114). Each Party is required and hereby agrees to use a federal immigration verification system to determine the work eligibility status of new employees physically performing services within Nebraska. A federal immigration verification system means the electronic verification of the work authorization program authorized by the Illegal Immigration Reform and Immigrant Responsibility Act of 1996, 8 U.S.C. 1324a, known as the E-Verify Program, or an equivalent federal program designated by the United States Department of Homeland Security or other federal agency authorized to verify the work eligibility status of a newly hired employee.
- XV. Public Benefits. With regard to Neb. Rev. Stat. §§ 4-108-113, no Party is an individual or sole proprietorship. Therefore, no Party is subject to the public benefits attestation and related requirements of Neb. Rev. Stat. §§ 4-108–113.
- XVI. Joint Work Product. This MOU is the joint work product of the Parties; accordingly, in the event of any ambiguity, no presumption shall be imposed against or in favor of any Party by reason of document preparation.
- XVII. Authority. Each of the persons signing below warrant and represent that they have the authority to enter into this MOU and to bind the parties hereto.
- XVIII. Interlocal Cooperation Act Provisions. This MOU is entered into pursuant to the Nebraska Interlocal Cooperation Act, Neb. Rev. Stat. §§13-801 et seq., as amended. This MOU does not create any separate legal or administrative entity, except for the Board described above which shall be responsible for the administration of this MOU. This MOU does not authorize the levying or collecting of any tax. Each Party shall be responsible for establishing and maintaining its own budget, for financing its own duties, and for acquiring, holding and disposing of its own property, except as specifically provided by this MOU. No real or personal property shall be acquired jointly by the Parties to perform the conditions of this MOU unless such acquisition is specifically agreed to in writing by all Parties, which writing

shall specify the method for disposing of such joint property upon partial or complete termination. To the extent that a Party acquires, holds, or disposes of any real or personal property for use in the joint or cooperative undertaking contemplated by this MOU, it shall do so in the same manner that it deals with other property of such Party.

- XIX. Multiple Counterparts. This MOU, involving numerous parties, may be executed in multiple counterparts each of which may bear the signatures of less than all of the parties hereto, and it shall be in full force and effect even if so executed.
- XX. Headings. The section headings appearing in this MOU are inserted only as a matter of convenience, and in no way define or limit the scope of any section.

COUNTY OF SARPY, NEBRASKA,  
A Nebraska Political Subdivision

By: \_\_\_\_\_  
Sarpy County Board Chairman

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
Deb Houghtaling, County Clerk

Approved as to Form:

\_\_\_\_\_  
Deputy Sarpy County Attorney

CITY OF PAPILLION, NEBRASKA,  
A municipal corporation and Nebraska Political Subdivision

By: Mayor

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
City Clerk

Approved as to Form:

\_\_\_\_\_  
Papillion City Attorney

CITY OF LA VISTA, NEBRASKA,  
A municipal corporation and Nebraska Political Subdivision

By: Mayor

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
City Clerk

Approved as to Form:

\_\_\_\_\_  
La Vista City Attorney

CITY OF BELLEVUE, NEBRASKA,  
A municipal corporation and Nebraska Political Subdivision

By: Mayor

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
City Clerk

Approved as to Form:

\_\_\_\_\_  
Bellevue City Attorney

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16f.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

On-Call Work Authorization Agreement - Paul Davis Systems of Omaha, Inc.

SYNOPSIS/BACKGROUND:

Paul Davis Systems of Omaha, Inc. will perform on-call services for the City of Bellevue to secure facilities that have been impacted by forced entry by police.

FISCAL IMPACT: \$6,000 budgeted, as needed    BUDGETED FUNDS?: YES    GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES    COUNTER-PARTY: Paul Davis Systems of Omaha, Inc.    INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: On-Call Work Authorization Agreement

CONTRACT EFFECTIVE DATE:    CONTRACT TERM:    CONTRACT END DATE:

PROJECT NAME:

START DATE:    END DATE:    PAYMENT DATE:    INSURANCE REQUIRED: YES

CIP PROJECT NAME:    CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):    STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:    ACCOUNT NUMBER: 10-13-6034

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the on-call work authorization agreement between the City of Bellevue and Paul Davis Systems of Omaha, Inc.

ATTACHMENTS:

1. Work Authorization Agreement	2. Paul Davis Quote	3.
4.	5.	6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*[Handwritten signatures]*

**Bellevue Police Department Board-Up Bid**

- Pricing includes board-up of doors and windows on entry level of property.
- \$250 minimum charge + materials
- Board-up requiring over two hours of time will be priced at \$60/hour for each additional hour.
- Paul Davis of Omaha is available 24/7, 365 days a year

Board-up cost does not include emergency mitigation or cleaning services to include:

- Trauma/Bio-Hazard Clean-Up
- Tear Gas Clean-Up
- Glass Clean-Up
- Reconstruction Services
- Vehicle Impact to buildings

## WORK AUTHORIZATION and DIRECT PAYMENT REQUEST

Owner(s) authorizes Paul Davis Systems of Omaha, Inc., dba Paul Davis of Omaha, hereinafter referred to as "Contractor", to make repairs to our property at the address below, damaged by \_\_\_\_\_, on or about, \_\_\_\_\_.

Our insurance deductible amount is \$ N/A

Owner(s) agree that the total cost of the work will be in accordance with the original estimate and any supplemental estimates prepared by Contractor and approved by the adjuster for the insurance company, plus any change orders approved by Owner(s) and Contractor.

This work agreement, along with all approved estimates, supplemental estimates and change orders shall constitute the contractual obligations of the Owner(s) and Contractor.

The Owner(s) understand(s) that Contractor has no connection with the Owner's insurance company or its adjuster and that only the Owner(s) has/have the authority to authorize the Contractor to make said repairs.

The Owner(s) agree(s) that any portion of work, such as deductible, betterment, depreciation, or additional work requested by the Owner(s), not covered by insurance, must be paid by the Owner before work has started.

Owner's Mortgage Company & payments are made to: N/A (Mortgage Company)

The Mortgage Account or Loan Number: \_\_\_\_\_ (Required)

Owner requests Mortgage Company to protect the interest of the Contractor in handling the loss draft or check.

Owner's insurance company is \_\_\_\_\_ and Owner(s) irrevocably directs the insurer to pay all proceeds due Paul Davis of Omaha and payable under Owner's policy directly to Paul Davis of Omaha. If Owner's name is included on the payment, Owner(s) agree(s) to promptly endorse said payment and forward to additional parties on draft. If Owner(s) receive(s) any funds for work covered by this agreement, and Paul Davis is not listed as a payee, Owner(s) agree(s) Owner(s) will deposit said funds into a joint escrow account. Any draws will be from mortgage company, insurance carrier or from an account in a bank acceptable to Paul Davis of Omaha, for disbursement by a series of draws as follows:

Any changes to the work to be performed, as set forth in the original estimate or supplemental estimates, will be made in a change order agreed to between Contractor and Owner(s). Any work deleted from the original estimate or supplemental estimates will be set forth in a change order and the Owner(s) will be reimbursed (credited) for such work. Owner(s) and Contractor agree that Contractor's overhead and profit is calculated for the entire project and will not be credited back to Owner(s) for any deleted work. All reimbursement (credits) will be issued at the end of the project.

The "TERMS AND CONDITIONS" on the back of this page are a part of this agreement.  
Due to the nature of the work no completion date is guaranteed. No verbal agreements are binding on Contractor.

**THIS CONTRACT CONTAINS AN ARBITRATION PROVISION WHICH MAY BE ENFORCED BY THE PARTIES.**

CITY OF BELLEVUE—EMERGENCY SERVICES PERFORMED BY PAUL DAVIS OF OMAHA

Loss Address	City	State	ZIP
--------------	------	-------	-----

Owner's Name (Printed)	Signature	Date	Last 4 digits SS#
------------------------	-----------	------	-------------------

Owner's Name (Printed)	Signature	Date	Last 4 digits SS#
------------------------	-----------	------	-------------------

Paul Davis Representative (Printed)	Signature	Date	
-------------------------------------	-----------	------	--

X

MIKE BUCKLEY

*Mike Buckley*

7-26-21

## TERMS AND CONDITIONS

1. The repairs or replacement authorized herein relate to the damages specified in the first paragraph of this agreement and do not cover pre-existing deficiencies unless specifically stated.
2. All materials used will be standard stock materials, unless otherwise specified, and will match existing materials based on availability, within reasonable tolerances to color, texture, design, etc. All work will meet or exceed the "Residential Construction Performance Guidelines" as published by the National Association of Home Builders-NBHB. Owner agrees to use this manual as a guideline to resolve work quality disputes.
3. Any work deleted from this agreement must be agreed to by both the Owner and Contractor in writing and the Owner will be reimbursed for such work in an amount equal to the Contractor's projected cost on said work not including overhead and profit.
4. The Contractor warrants all workmanship, excluding roof repairs, covered by this agreement for a period of five (5) years from the date of this agreement and thereafter expires. Warranty work performed by the Contractor does not extend the warranty. The warranty is void if (1) payment is not made in accordance with the terms of this agreement or (2) if a person or firm other than this Contractor performs or re-performs any work within the scope of this Agreement. This warranty is extended to the original Owner only and is not transferable to subsequent owners.

a. Roof Repair Warranties. The Contractor's warranty on roofing is as follows:

- Complete Roof Replacement**—all workmanship for a period of two (2) years from date of this agreement.
  - Entire Slope Repair**—all workmanship for a period of one (1) year from the date of this agreement.
  - Less Than One Entire Slope**—any roof repairs less than one (1) entire slope are not warranted due to the nature of repairs.
- All warranties are null and void if damages are due to acts of nature, natural structural movement, or installation of equipment on roof.

5. Warranty work will not be paid by Contractor when performed by others unless agreed to in advance.
6. All manufactured or consumer products such as roofing materials, appliances, hardware, windows, heating and mechanical systems, fixtures, etc., are warranted pursuant to the manufacturer's warranty and are not separately warranted by the Contractor. If these materials fail, the cost to re-install is the responsibility of the Owner.
7. Owners agree to provide access to the job site as required for the completion of the work. Owner's telephone, electricity, water, and toilet are to be made available to the Contractor's personnel during the course of work.
8. The liability of the Contractor is limited to the specific items set forth in this agreement and does not extend to the following: (a) damage from normal settling or shrinkage of the improvements within tolerances of building standards; (b) damage resulting from any future leaks from roof repairs (c) any cracks, damage or rust to Owner's driveway that may result in the usage of a trash dumpster, heavy equipment and/or delivery vehicles.
9. Regarding draperies, carpet, rugs and other textiles: Contractor cannot be held responsible for certain types of damages including shrinkage, shredding, bleeding, dry rot, weakened fabrics, fading, water stains, manufacturer defects and other such pre-existing conditions; and Owner agrees to hold Contractor harmless if such occur in the process of removing, cleaning or reinstalling such items. All materials used will be standard stock materials, unless otherwise specified, and will match existing materials based on availability, within reasonable tolerances to color, texture, design, etc.
10. The Contractor is not responsible for the theft, disappearance of or damage to jewelry, art objects, silver, gold, antiques or personal items unless these items are removed and inventoried by Contractor personnel and stored in Contractor facilities. Stored items will be returned after payment in full, unless other arrangements are made. Any lost or damaged items deemed to be the Contractor's responsibility will be replaced at the actual cash value of the item.
11. Contractor has no responsibility for additional work or services performed under any agreement between the Owner and the workmen, tradesmen or sub-contractors. No oral agreements between Owner and Contractor are binding under this agreement.
12. Owner agrees that payment is due upon completion and that any payments not made in accordance with the schedule shall be considered delinquent after ten days and agrees to pay interest thereon of 1.25% per month (or the highest amount allowed by state law) until paid. A lien will be placed on property for non-payment. Owner agrees to pay a fee of \$150.00 to cover cost of such filing. Owner also agrees to pay all attorney fees and court costs as incurred for such collection.
13. **IOWA RESIDENTS ONLY:** In accordance with Iowa Code §572.13(1), Persons or companies furnishing labor or materials for the improvement of real property may enforce a lien upon the improved property if they are not paid for their contributions, even if the parties have no direct contractual relationship with the owner. The mechanics' notice and lien registry provides a listing of all persons or companies furnishing labor or materials who have posted a lien or who may post a lien upon the improved property.

A notice of commencement will be filed by the Contractor with the Iowa Mechanic's Notice and Lien Registry (MNLRL) within ten (10) days after work on the Owner's property has commenced. The notice of commencement can be found at [sos.iowa.gov/MNLRL](http://sos.iowa.gov/MNLRL) or by telephone at 1-888-767-8683.

14. **Dispute Resolution.** Any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be resolved through arbitration. The parties shall mutually agree on an arbitrator. If the parties cannot agree on an arbitrator, either party may apply to the District Court in the county where the project is located for sole purpose of appointing an arbitrator under Neb. Rev. Stat. § 25-2604. The arbitration will be governed by the rules of the American Arbitration Association ("AAA"), and for disputes of less than \$25,000, the AAA Expedited Procedures shall apply. Any award rendered by the arbitrator may be entered in any court having jurisdiction thereof. In any dispute resolution proceeding between the parties to this Agreement, the prevailing party will be entitled to recover reasonable attorney fees and costs incurred in such proceeding from the other party.

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16g.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director		Epiphany Ramos, Wastewater & Solid Waste Superintendent		
AGENDA ITEM:		CONSENT AGENDA	<input type="checkbox"/>	SPECIAL PRESENTATION		<input type="checkbox"/>
LIQUOR LICENSE	<input type="checkbox"/>	ORDINANCE	<input type="checkbox"/>	PUBLIC HEARING		<input type="checkbox"/>
RESOLUTION	<input type="checkbox"/>	CURRENT BUSINESS	<input checked="" type="checkbox"/>	OTHER		<input type="checkbox"/>

SUBJECT:

Sarpy Wastewater Agency Connection Study

SYNOPSIS/BACKGROUND:

On February 12, 2021, the City of Bellevue and HDR Engineering Inc. entered into a professional services agreement in an amount not to exceed \$15,300.00, pursuant to the Finance Department's purchasing procedures, for the Sarpy County Wastewater Agency Connection Study Project. Amendment 1 is for additional professional services for final design of the modification of the force main design in an increase in the amount of \$58,600.00 to the original agreement, bringing the total project cost not to exceed \$73,900.00.

FISCAL IMPACT: \$73,900.00 BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES COUNTER-PARTY: HDR Engineering, Inc. INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Professional Services Agreement

CONTRACT EFFECTIVE DATE: 08/03/2021 CONTRACT TERM: To project completion CONTRACT END DATE:

PROJECT NAME: Sewer System Modeling

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: NO

CIP PROJECT NAME: Sewer System Modeling CIP PROJECT NUMBER: WW21(2)

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: CIPWW21(2) ACCOUNT NUMBER: 7000

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the agreement between the City of Bellevue and HDR Engineering, Inc. in an amount not to exceed \$73,900.00 for professional services for the Sarpy Wastewater Agency Connection Study Project.

ATTACHMENTS:

1. Agreement 2. 3. 4. 5. 6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*Epiphany Ramos*  
*Doug Clark*

**AMENDMENT NO. ONE TO AGREEMENT  
FOR  
ENGINEERING SERVICES  
FOR  
SARPY COUNTY WASTEWATER CONNECTION EVALUATION**

**WHEREAS:**

HDR ENGINEERING, INC. ("HDR") entered into an Agreement on February 12, 2021 to perform engineering services for the City of Bellevue, Nebraska ("OWNER");

OWNER desires to amend this Agreement in order for HDR to perform services beyond those previously contemplated;

HDR is willing to amend the agreement and perform the additional engineering services.

NOW, THEREFORE, HDR and OWNER do hereby agree:

The Agreement and the terms and conditions therein shall remain unchanged other than those sections and exhibits listed below;

Section I Scope of Service: ENGINEER will provide Services for the Project, which consist of the Scope of Services as outlined in the attached Exhibit A.

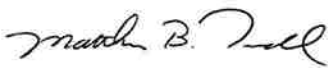
Section IV Period of Service shall be amended to include completion of the final design services as outlined in the attached Exhibit A.

Section V Compensation shall be amended to increase the not to exceed amount by \$58,600 to \$73,900.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

HDR ENGINEERING, INC. ("HDR")

City of Bellevue, Nebraska  
("OWNER")

By:  By: \_\_\_\_\_

Its: Senior Vice President                      Its: Mayor

Date: Jul 21, 2021                      Date: \_\_\_\_\_

**EXHIBIT A**  
**SCOPE OF WORK**  
**SCWWA FORCE MAIN MODIFICATIONS FINAL DESIGN**  
**BELLEVUE, NEBRASKA**

**PART 1.0 PROJECT DESCRIPTION:**

ENGINEER completed a study to develop wastewater flow projections and to evaluate wastewater infrastructure to support future development areas that are located outside of the Sarpy County and Cities Wastewater Agency (SCWWA) jurisdictional boundary but fall within the City of Bellevue extraterritorial jurisdiction (ETJ) in the vicinity of the proposed SCWWA Phase 1A force main alignment. The agreement is to proceed with the final design of the modification of the force main design to allow for the potential City of Bellevue development.

The Task Series 100 scope is the preliminary and final design of the modifications to the SCWWA force mains from 36<sup>th</sup> Street to the connection to the City of Omaha interceptor sewer to accommodate flows from the Bellevue development area, including design of the connections.

The Task Series 200 scope is the preliminary (30 percent) design of a separate force main collection system to serve the City of Bellevue ETJ outside of the SCWWA boundary.

**PART 2.0 SCOPE OF SERVICES TO BE PERFORMED BY ENGINEER ON THE PROJECT:**

**Items of Work**

**Task Series 100:**

1. Finalize flow projections and volumes for each subbasin.
2. Identify points of connection and sizing to serve each subbasin.
3. Refine the hydraulic evaluation of the Agency's force mains to account for the flow contributions from individual subbasin. Identify the locations of force main pipe diameter changes.
4. Modify the force main plans for the pipe size changes.
5. Complete the design of the Bellevue connections.
6. Modify the SCWWA bid documents to incorporate the changes.
7. Modify the permit applications to address the changes.

**Task Series 200:**

1. Develop the proposed force alignment including points of connection for the subbasins.
2. Develop the initial pipe sizing and Omaha interceptor connection conditions.

3. Prepare plan/profile sheets.
4. Identify the pump station(s) locations.
5. Complete the hydraulic analysis.

### **Key Understandings**

#### Task Series 100:

1. OWNER will confirm the flow assumptions for the design period.
2. The changes to plans for serving the Bellevue ETJ will be bid as a bid alternate.
3. The proposed changes will not necessitate additional survey or geotechnical investigation.
4. The plan reviews will be completed as part of the SCWWA review process.
5. SCWWA will be responsible for the bidding the project with the incremental changes for the Bellevue service included as bid alternates.

#### Task Series 200:

1. Flow projections from Task Series 100 will serve as the basis for Task Series 200 flows.
2. OWNER will confirm the flow assumptions for the design period.
3. OWNER will provide anticipated timeframes for developments.
4. The preliminary plans will be based on available Lidar data.
5. Topographic survey and geotechnical investigation are not included in the scope of work.
6. OWNER will contact the City of Omaha about the point of connection to the Omaha interceptor.
7. Permitting is not included in the scope of work.
8. Final design is not included in the scope of work.
9. Meetings will be held virtually or at City or HDR offices.

### **TASK SERIES 100 – MODIFY SCWWA BID DOCUMENTS**

**Objective:** Modify the SCWWA Segment 4 force main plans and specifications to accommodate flows from the proposed Bellevue development area.

#### **HDR Activities**

##### **110 – Team Management and Project Control**

- Resource management and allocation based on Project schedules and activities.
- Production coordination.
- Complete quality control (QC) review of draft and final documents.

##### **120 – Hydraulic Analysis**

- Confirm flow projections.

- Finalize flow projections and volumes for each subbasin.
- Identify connection locations.
- Complete the hydraulic evaluation of the force mains.
- Establish the required pipe sizes.

#### **130 – Plan Modification**

- Develop the details for the future Bellevue connections.
- Modify the plans to include identified adjustments and future Bellevue connections.
- Modify the permit exhibits.

#### **140 – Project Manual Modification**

- Develop alternate bid items.
- Modify bid form.
- Modify the project opinion of probable cost (OPC).

### **TASK SERIES 200 – FORCE MAIN PRELIMINARY DESIGN**

**Objective:** Develop preliminary plans for a force main collection system for the Bellevue ETJ outside of the SCWWA boundary.

**HDR Activities:** **210 – Team Management and Project Control**

- Resource management and allocation based on Project schedules and activities.
- Production coordination.
- Complete quality control (QC) review of draft and final documents.

**220 – Preliminary System Design**

- Develop the conceptual alignment for the force main.
- Identify the points of connection for the subbasins.
- Develop preliminary pipe sizes.
- Complete the hydraulic analysis and finalize the pipe sizes.
- Develop the preliminary plan/profile sheets.
- Develop the initial pump station sizing.
- Develop the initial project OPC.
- Provide a draft copy of the plans to OWNER for review.
- Receive and address review comments.

**230 – Technical Memorandum**

- Develop a technical memorandum that summarizes the system flows, hydraulic analysis, connection locations, OPC, and implementation plan.
- Provide a draft copy of the memorandum to the OWNER for review.

- Receive review and address review comments.
- Finalize memorandum.

**Deliverables:** Preliminary plans  
 Technical memorandum

**PART 3.0 AUTHORIZATION**

Work will not proceed on a task without authorization.

**PART 4.0 OWNER'S RESPONSIBILITIES:**

OWNER will be responsible for the items as identified in the above Scope of Work.

**PART 5.0 PERIODS OF SERVICE:**

Notice to Proceed	July 7, 2021
Task Series 100 Initial Sizing	July 23, 2021
Task Series 100 95 Percent Plan Modifications	November 19, 2021
Task Series 200 Draft Submittal	September 17, 2021

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16h.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Public Works Facility Master Plan

SYNOPSIS/BACKGROUND:

HGM Associates Inc. will perform engineering and architectural services in an amount not to exceed \$31,400.00 for the Public Works Facility Master Plan.

FISCAL IMPACT: \$31,400.00 BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES	COUNTER-PARTY: HGM Associates Inc.	INTERLOCAL AGREEMENT: NO
CONTRACT DESCRIPTION: Professional Services Agreement		
CONTRACT EFFECTIVE DATE: 08/03/2021	CONTRACT TERM: To completion.	CONTRACT END DATE:
PROJECT NAME: Public Works Facility Master Plan		
START DATE:	END DATE:	PAYMENT DATE: INSURANCE REQUIRED: NO
CIP PROJECT NAME:	CIP PROJECT NUMBER:	
STREET DISTRICT NAME (S):	STREET DISTRICT NUMBER (S):	
ACCOUNTING DISTRIBUTION CODE:	ACCOUNT NUMBER: 10-10-6453	

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the agreement between the City of Bellevue and HGM Associates Inc. in an amount not to exceed \$31,400.00 for the Public Works Facility Master Plan Project.

ATTACHMENTS:

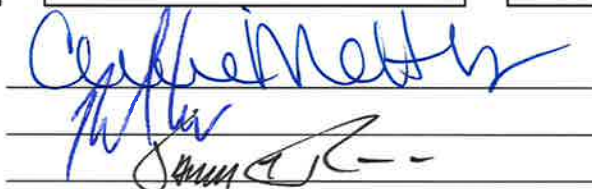
- |              |    |    |
|--------------|----|----|
| 1. Agreement | 2. | 3. |
| 4.           | 5. | 6. |

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:





June 19, 2021

**Doug Clark**  
Director of Public Works  
**City of Bellevue, Nebraska**  
1510 Wall Street  
Bellevue, NE 68005

Subject: Bellevue Public Works Facilities Master Plan - Revised  
Bellevue, Nebraska  
HGM Proposal No. 000721-100

Dear Doug:

On behalf of HGM ASSOCIATES INC. (HGM) we are pleased to submit this letter form agreement for engineering and architectural services for the referenced project. This agreement consists of this letter, the attached Scope of Services (labeled as Exhibit A), the attached General Provisions (labeled as Exhibit B), the HGM Standard Hourly Rate Schedule (labeled as Exhibit C), and the Proposed Project Schedule (labeled as Exhibit D).

HGM will provide Basic Services including preparing a Study of three different site locations and a Master Plan for the Bellevue Public Works Facilities These services are more specifically defined in the attached Scope of Services, Exhibit A. We also can provide Surveying, Preliminary Design, Final Design Documents, assistance during Bidding or Negotiation, and Construction Administration as Additional Services upon your request and receipt of your written authorization.

HGM and ETI will provide these Basic Architectural, Civil, Mechanical and Electrical Engineering services on an hourly basis with a not to exceed ceiling on our fees of \$31,400. Should out of scope work be deemed necessary, HGM shall consider this Additional Services. A scope of services and an estimated fee shall be submitted to Client for signed approval and authorization. All Additional Services will be charged on an hourly basis in accordance with our standard hourly rate schedule (attached).

Reimbursable expenses for the use of outside testing laboratories if needed will be charged on the basis of actual cost, invoiced to HGM. All reimbursable expenses are in addition to the cost for Basic Services defined above.

We will bill you monthly for our services and reimbursable expenses proportionate to the work completed on the project. All fees are due and payable to HGM within 30 days of the invoice date. A service charge of one and one-half percent per month will be added to any amounts outstanding after 30 days.

**Doug Clark**  
**City of Bellevue, Nebraska**  
June 19, 2021

We anticipate that we will be able to begin work on this project within (5) calendar day of receiving your authorization to proceed in the form of your acceptance of this agreement. We estimate that the Master Plan can then be completed within (120) days of authorization to proceed. Refer to attached preliminary schedule for each milestone date. If at any time we are delayed in the performance of these services, we will notify you immediately.

Please note that any information to be provided by you as defined under Client's Responsibilities in the attached Scope of Services will need to be furnished to HGM prior to our beginning work.

**Please indicate your acceptance of this agreement by signing where indicated below and returning one original signed copy to this office OR you may then scan a complete set of this document and email or fax it in its entirety to HGM.** We sincerely appreciate the opportunity to work with you.

Yours very truly,  
HGM ASSOCIATES INC. - CONSULTANT



Kimberly A. Bogatz, AIA LEED AP BD+C  
Project Manager



Terrence L. Smith, P.E.  
President

CC: Dean Dunn, P.E.  
Manager of Engineering Services  
City of Bellevue  
1510 Wall Street  
Bellevue, NE 68005

Acceptance of Proposal:

CITY OF BELLEVUE, NEBRASKA - CLIENT

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name & Title

\_\_\_\_\_  
Date of Acceptance

## SCOPE OF SERVICES

## EXHIBIT A

This is an exhibit attached to and made part of the letter agreement dated June 19, 2021, between: CITY OF BELLEVUE, NEBRASKA (CLIENT) and HGM ASSOCIATES INC. (CONSULTANT).

Project Description: Bellevue Public Works Facilities Master Plan - Revised

The Basic Services to be provided by the CONSULTANT under this agreement are further described as follows:

1. FIELD VERIFICATION / DATA COLLECTION

- A. HGM Architect and Engineering staff to visit up to (3) potential Sites for visual site verification and assessment.
- B. Review of City of Bellevue Planning, Zoning, Code Requirements for existing site.
- C. Conduct one (1) trip by HGM Architect and Engineering staff to visit existing spaces including: Public Works Administration and Engineering-1510 Wall Street, Streets South Shop, Streets North Shop, Streets Southwest Shop, Wastewater- Cedar Island Road, Parks-Goldenrod, and Fleet Maintenance Building.
- D. Seven (7) different department locations for field verification of existing spaces. This includes Public Works Administration and Engineering, Streets, Wastewater, Parks and Rec, Fleet, Building Maintenance and Police Departments.
- E. Conduct one (1) meeting by HGM Architect and Engineering staff with each of the seven (7) departments and their staff to discuss programming needs and wants of each department. Total of seven (7) meetings.
- F. Conduct one (1) meeting by HGM Architect and Engineering staff with Public Works and Engineering to discuss department meetings.

2. PRELIMINARY DESIGN

- A. Develop Schematic Space Floor Plans for each department/facility for Client to review. Plans can be modified up to (4) times, prior to 60% Review. Additional layouts and major changes after 60% review will result in additional services.
- B. Develop Schematic Building Floor Plans (based on preliminary space floor plans) for each of the (3) potential sites.
- C. Develop written feasibility study for each of the (3) potential sites, detailing pros and cons of each site, preliminary site narrative noting recommendations of improvements for each of the (3) sites, preliminary plans showing buildings, exterior pavement, water, sewer, and rough grading.
- D. Develop recommendations of new mechanical, electrical and plumbing systems.
- E. Meet with Client up to (4) times to review progress of Master Plan. Refer to attached schedule for tentative dates.
  - a. 30%- Master Plan Completion Review
  - b. 60%- Master plan Completion Review
  - c. 90%- Master Plan Completion Review
  - d. Final Master Plan Review
- F. Develop Phasing Master Plan.
- G. Develop preliminary Opinion of Probable Cost for site improvements, buildings, mechanical and electrical systems for each of the three (3) sites.

**Deliverables:**

- “Want” vs “need” space matrix based on spaces determined by each of the (7) departments. Matrix shall be used by Client to help determine and provide direction to HGM on what spaces are required as a “need” to include in the new building/buildings.
- Exhibit of Schematic Design of Spaces. The plan shall not be considered final but a diagrammatic representation of space layout showing recommended sizes and space adjacencies.
- Exhibit of Existing Site. The site plan shall not be considered final but a diagrammatic representation of the three (3) site locations. At each of the (3) sites, the plan shall show existing property lines, phasing, and future expansion, new buildings, drives around the building, parking, sidewalks and existing utility locations.
- Final Feasibility Study for each of the three (3) sites.
- Final Master Plan for each of the three (3) sites.
- Final Preliminary Opinion of Probable Cost for each location.

**Note:** The cost analysis included in the Feasibility Study and Report shall be prepared by HGM as a comparative analysis between sites. The cost prepared represents the best judgement as a design professional and is provided for guidance to the Client. The cost analysis provided shall be considered preliminary and is based on current industry standard cost per area, volume, or similar estimating techniques.

**\*NOTE:**

The following items are not included as Basic Services but could be added as additional services:

1. Topo survey of each site.
2. Geotech services for new and/or existing building.
3. Full Architectural design of interior and exterior of each building.
4. Structural design.
5. Full Civil site design.
6. Construction Documents.
7. Bidding Services.
8. Construction Administration Services.

**CLIENT’S RESPONSIBILITIES:**

In order for the CONSULTANT to perform these services, the CLIENT agrees to furnish the following information:

- A. Access to site and throughout existing facilities
- B. Use of existing available drawings and record information.
- C. One main contact person for HGM to work with directly throughout the project.

## GENERAL PROVISIONS

## EXHIBIT B

This is an exhibit attached to and made part of the letter agreement dated June 19, 2021, between: CITY OF BELLEVUE, NEBRASKA (CLIENT) and HGM ASSOCIATES INC. (CONSULTANT). The General Provisions agreed to by CONSULTANT and CLIENT are as follows:

**Ownership of Instruments of Service:** All reports, plans, specifications, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by the CONSULTANT as instruments of service shall remain the property of the CONSULTANT. The CONSULTANT shall retain these records for a period of ten (10) years, during which period they will be made available to the CLIENT at all reasonable times. CONSULTANT will provide CLIENT with a paper copy of the plans, the specifications, and laboratory test reports for information and reference in connection with the project; however, such documents are not intended or represented to be suitable for reuse by CLIENT or others. Any such reuse will be at CLIENT'S sole risk and without liability or legal exposure to CONSULTANT or CONSULTANT'S subconsultants.

**CADD/Electronic Files:** In accepting, and utilizing any drawings, reports and data on any form of electronic media generated by the CONSULTANT, the CLIENT agrees that all such electronic files are instruments of service. The CLIENT agrees to waive all claims against the CONSULTANT resulting in any way from any unauthorized changes to, or reuse of, the electronic files for any projects by anyone other than the CONSULTANT. In the event of a conflict between printed hard copy documents signed and sealed by the CONSULTANT and electronic files, the hard copy documents shall govern.

**Termination or Suspension:** If the CLIENT fails to make payments to the CONSULTANT in accordance with this Agreement, such failure shall be considered substantial nonperformance and cause for termination or, at the CONSULTANT'S option, cause for suspension of performance of services under this Agreement. If the CONSULTANT elects to suspend services, the CONSULTANT shall give seven days' written notice to the CLIENT before suspending services. In the event of a suspension of services, the CONSULTANT shall have no liability to the CLIENT for delay or damage caused the CLIENT because of such suspension of services. Before resuming services, the CONSULTANT shall be paid all sums due prior to suspension and any expenses incurred in the interruption and resumption of the CONSULTANT'S services. The CONSULTANT'S fees for the remaining services and the time schedules shall be equitably adjusted.

If the CLIENT suspends the Project, the CONSULTANT shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the CONSULTANT shall be compensated for expenses incurred in the interruption and resumption of the CONSULTANT'S services. The CONSULTANT'S fees for the remaining services and the time schedules shall be equitably adjusted.

Either party may terminate this Agreement upon not less than seven days' written notice should the other party fail substantially to perform in accordance with the terms of this Agreement through no fault of the party initiating the termination.

In the event of termination not the fault of the CONSULTANT, the CONSULTANT shall be compensated for services performed prior to termination, inclusive of the original scope of work services as well as any additional services requested by Client to bring project to early termination, together with Reimbursable Expenses then due and all Termination Expenses indicated in the next paragraph.

Termination Expenses are in addition to compensation for the CONSULTANT'S services and include expenses directly attributable to termination for which the CONSULTANT is not otherwise compensated.

The CLIENT'S rights to use the CONSULTANT'S Instruments of Service in the event of a termination of this Agreement are set forth in the Ownership of Instruments of Service clause above. If the CLIENT requests copies of the CONSULTANT'S Instruments of Service, the cost of the preparation of those copies shall be considered as a Termination Expense. If the reason for termination is due to the fault of the CONSULTANT, there shall be no cost to the CLIENT to obtain the documents.

**Plan Revisions:** If, after any plans or specifications are completed on any portion thereof, and are approved by the CLIENT and other necessary agencies, the CONSULTANT is required to change plans and specifications because of changes made, authorized, or ordered by the CLIENT, then the CONSULTANT shall receive additional compensation for such changes. Fees for these changes will be computed on an hourly basis and paid with prior authorization and approval.

**Information Furnished by CLIENT:** CLIENT shall be responsible for, and CONSULTANT may rely upon, the accuracy and completeness of all requirements, programs, instructions, reports, data and other information furnished by CLIENT to CONSULTANT pursuant to this Agreement. CONSULTANT may use such requirements, programs, instructions, reports, data, and information in performing or furnishing services under this Agreement.

**Information Furnished by Utility Companies:** The utility locations shown on the CONSULTANT'S instruments of service are from locates or drawings provided to the CONSULTANT by the utility companies. The CONSULTANT makes no guarantee that the utilities shown on the CONSULTANT'S instruments of service comprise all such utilities in the area, either in service or abandoned. The CONSULTANT further does not warrant that the utilities shown on the instruments of service are in the exact location indicated.

**Successors and Assigns:** Both parties agree that, upon execution of this agreement, same shall be binding upon their/its successors, assigns, and legal representatives until terminated by the expiration of agreement or termination by written notice, as provided above.

**Limitation of Liability:** The CLIENT agrees that to the fullest extent permitted by law, the total liability, in the aggregate, of CONSULTANT, CONSULTANT'S officers, directors, partners, employees, agents, and subconsultants, to CLIENT, and anyone claiming by, through, or under CLIENT for any claims, losses, costs, or damages whatsoever arising out of, resulting from or in any way related to this Project or Agreement from any cause or causes, including but not limited to torts, negligence, professional errors or omissions, strict liability, breach of contract, or breach of warranty, shall not exceed the total compensation received by CONSULTANT or \$100,000 whichever is greater.

## GENERAL PROVISIONS

## EXHIBIT B

**Waiver of Consequential Damages:** Notwithstanding anything in this Agreement to the Contrary, it is agreed that CONSULTANT shall not be liable in any event for any special or consequential damages suffered by the CLIENT arising out of the services hereunder. Special or consequential damages as used herein shall include, but not limited to, loss of capital, loss of product, loss of use of any system, or other property, or any other indirect, special or consequential damage, whether arising in contract, tort (including negligence), warranty or strict liability.

**Opinion of Probable Construction Cost:** Opinions of probable construction costs and detailed cost estimates prepared by the CONSULTANT represent his/her best judgment as a design professional familiar with the construction industry. It is recognized, however, that the CONSULTANT has no control over the cost of labor, materials or equipment, over the Contractor's methods of determining bid prices or over competitive bidding or market conditions. Accordingly, the CONSULTANT makes no warranty, express or implied, that the bids or the negotiated cost of the work will not vary from the CONSULTANT's opinion of probable construction cost.

**Construction Phase Services:** (If included under the scope of this Agreement) The CONSULTANT shall provide administration of the Contract between the CLIENT and the Contractor as set forth below and in General Conditions of the Contract for Construction. The CONSULTANT's responsibility to provide Construction Phase Services commences with the award of the Contract for Construction and terminates on the date the CONSULTANT issues the Statement of Final Completion.

The CONSULTANT shall advise and consult with the CLIENT during the Construction Phase Services. The CONSULTANT shall have authority to act on behalf of the CLIENT only to the extent provided in this Agreement or the General Conditions of the Contract for Construction. The CONSULTANT shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, nor shall the CONSULTANT be responsible for the Contractor's failure to perform the Work in accordance with the requirements of the Contract Documents. The CONSULTANT shall be responsible for the CONSULTANT's negligent acts or omissions, but shall not have control over or charge of, and shall not be responsible for, acts or omissions of the Contractor or of any other persons or entities performing portions of the Work.

The CONSULTANT shall visit the site at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the portion of the Work completed, and to determine, in general, if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in substantial compliance with the Contract Documents. However, the CONSULTANT shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. On the basis of the site visits, the CONSULTANT shall keep the CLIENT reasonably informed about the progress and quality of the portion of the Work completed, and report to the CLIENT (1) known deviations from the Contract Documents and from the most recent construction schedule submitted by the Contractor, and (2) defects and deficiencies observed in the Work.

**Jobsite Safety:** That the General Contractor shall be solely responsible for jobsite safety, and that this intent shall be carried out in the CLIENT'S contract with the General Contractor, and that such contract shall indemnify the CONSULTANT. The CONSULTANT, and his agents, shall be named as an additional insured on the General Contractor's policies of general liability insurance.

**Construction Staking:** That the Fees the CONSULTANT receives for the task of construction staking are not commensurate with the potential risk. CLIENT, therefore, agrees to check or require General Contractor to check the location of all construction stakes placed by the CONSULTANT. CLIENT further agrees to limit liability of CONSULTANT for construction staking services such that the total liability of the CONSULTANT shall not exceed the CONSULTANT'S compensation received for the particular service, or \$5,000.00, whichever is greater.

**Hazardous Materials:** The CLIENT agrees that the CONSULTANT's scope of services does not include any services related to the presence of any asbestos, fungi, bacteria, mold or hazardous or toxic materials. Should it become known to the CONSULTANT that such materials may be present on or adjacent to the jobsite, the CONSULTANT may, without liability for any damages, suspend performance under this agreement, until CLIENT takes appropriate action to remove or abate said materials. The CLIENT further agrees, notwithstanding any other provision of this Agreement, to the fullest extent permitted by law, to indemnify and hold harmless the CONSULTANT, its officers, partners, employees and subconsultants (collectively, CONSULTANT) from and against any and all claims, suits, demands, liabilities, losses, damages or costs, including reasonable attorneys' fees and defense costs arising out of or in any way connected with the detection, presence, handling, removal, abatement, or disposal of any asbestos, fungi, bacteria, mold, hazardous or toxic substances, or products or materials that exist on, about or adjacent to the Project site, whether liability arises under breach of contract or warranty, tort, including negligence, strict liability or statutory liability or any other cause of action, except for the sole negligence or willful misconduct of the CONSULTANT.

**Mediation:** Any claims or disputes under this agreement shall be submitted to non-binding mediation.

rev 130722



RATE RANGE SCHEDULE  
EFFECTIVE 12/16/20 - 12/15/2021

Principal Engineer	\$189.00 - 275.00 /hour
Sr. Project Engineer/Project Manager	137.00 - 235.00 /hour
Sr. Project Architect/Project Manager	115.00 - 235.00 /hour
Structural Engineer	137.00 - 223.00 /hour
Project Engineer	106.00 - 158.00 /hour
Project Architect	95.00 - 158.00 /hour
Landscape Architect	100.00 - 147.00 /hour
Senior Design Engineer	92.00 - 150.00 /hour
Design Engineer/Intern Architect	73.00 - 148.00 /hour
Land Surveyor	99.00 - 198.00 /hour
Technician	58.00 - 140.00 /hour
3D Laser Scanner with one surveyor	222.00 - 314.00 /hour
1-Man Survey Crew *	88.00 - 136.00 /hour
2-Man Survey Crew *	132.00 - 303.00 /hour
3-Man Survey Crew *	213.00 - 379.00 /hour
Administrative Assistant	49.00 - 100.00 /hour

\* Survey crews are comprised of surveyors or engineering technicians at hourly rates specified and depending on project complexity, however, 2-man and 3-man crew rates are guaranteed to not exceed crew ranges specified.

EXHIBIT D



PROPOSED-PROJECT SCHEDULE
Bellevue Public Works Buildings- Master Plan
Bellevue, NE
HGM Proposal #0721-100
July 19, 2021

2021

JANUARY

Calendar grid for January 2021 with days of the week and dates.

FEBRUARY

Calendar grid for February 2021 with days of the week and dates.

MARCH

Calendar grid for March 2021 with days of the week and dates.

APRIL

Calendar grid for April 2021 with days of the week and dates.

MAY

Calendar grid for May 2021 with days of the week and dates.

JUNE

Calendar grid for June 2021 with days of the week and dates.

JULY

Calendar grid for July 2021 with days of the week and dates.

AUGUST

Calendar grid for August 2021 with days of the week and dates.

SEPTEMBER

Calendar grid for September 2021 with days of the week and dates.

OCTOBER

Calendar grid for October 2021 with days of the week and dates.

NOVEMBER

Calendar grid for November 2021 with days of the week and dates.

DECEMBER

Calendar grid for December 2021 with days of the week and dates.

2022

JANUARY

Calendar grid for January 2022 with days of the week and dates.

FEBRUARY

Calendar grid for February 2022 with days of the week and dates.

MARCH

Calendar grid for March 2022 with days of the week and dates.

APRIL

Calendar grid for April 2022 with days of the week and dates.

MAY

Calendar grid for May 2022 with days of the week and dates.

JUNE

Calendar grid for June 2022 with days of the week and dates.

JULY

Calendar grid for July 2022 with days of the week and dates.

AUGUST

Calendar grid for August 2022 with days of the week and dates.

SEPTEMBER

Calendar grid for September 2022 with days of the week and dates.

OCTOBER

Calendar grid for October 2022 with days of the week and dates.

NOVEMBER

Calendar grid for November 2022 with days of the week and dates.

DECEMBER

Calendar grid for December 2022 with days of the week and dates.

- Kick-off Meeting ..... Tuesday, August 17, 2021
Field Verification of all (7) locations
(3) weeks total ..... Monday, August 23, 2021
Master Plan 30% Complete.
Review meeting ..... Thursday, September 30, 2021
Master Plan 60% Complete
Review meeting ..... Thursday, October 28, 2021
Master Plan 90% Complete
Review meeting ..... Thursday, December 2, 2021
Master Plan 100% Complete
Review meeting ..... Thursday, December 16, 2021

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16i.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director		Dean Dunn, Manager of Engineering Services	
AGENDA ITEM:		CONSENT AGENDA	<input type="checkbox"/>	SPECIAL PRESENTATION	<input type="checkbox"/>
LIQUOR LICENSE	<input type="checkbox"/>	ORDINANCE	<input type="checkbox"/>	PUBLIC HEARING	<input type="checkbox"/>
RESOLUTION	<input type="checkbox"/>	CURRENT BUSINESS	<input checked="" type="checkbox"/>	OTHER	<input type="checkbox"/>

SUBJECT:

Storm Drainage Improvement Planning

SYNOPSIS/BACKGROUND:

On April 20, 2021, the City Council approved and authorized the Mayor to sign an agreement in an amount not to exceed \$241,757.00 with Jacobs Engineering Group Inc. to perform professional engineering services to provide conceptual planning for seven sites included in the City of Bellevue's storm drainage improvement project. Amendment No. 1 is for additional services for emergency storm sewer system repair near 217 Bellevue Boulevard South and to improve storm drainage issues in the area of 26th and Margo Street, resulting in an increase in the amount of \$80,066.00 to the original agreement, bringing the total project cost not to exceed \$321,823.00.

FISCAL IMPACT: \$321,823.00 BUDGETED FUNDS?: YES GRANT/MATCHING FUNDS?: NO

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?: YES COUNTER-PARTY: Jacobs Engineering Group Inc. INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Professional Engineering Services Agreement - Project

CONTRACT EFFECTIVE DATE: 08/03/2021 CONTRACT TERM: To project completion CONTRACT END DATE:

PROJECT NAME: Storm Drainage Projects

START DATE: END DATE: PAYMENT DATE: INSURANCE REQUIRED: YES

CIP PROJECT NAME: Drainage Improvements CIP PROJECT NUMBER: ST 21(7)

STREET DISTRICT NAME (S): STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: CIPST21(7) ACCOUNT NUMBER: 7010

RECOMMENDATION:

City Council approve and authorize the Mayor to sign the agreement between the City of Bellevue and Jacobs Engineering Group Inc. in an amount not to exceed \$321,823.00 for the Storm Drainage Projects.

ATTACHMENTS:

1. Agreement 2. 3. 4. 5. 6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:

*[Handwritten signatures]*



AMENDMENT NO. 01

THIS CHANGE ORDER IS ISSUED PURSUANT TO THE PROFESSIONAL SERVICES AGREEMENT DATED:

04/21/2021	, which is incorporated herein by this reference, with respect to
Storm Drainage Improvement Conceptual Plan (BPW-210206)	("PROJECT").

Specific Services:

This amendment describes the additional services to be rendered by Jacobs Engineering Group Inc. (Jacobs) to City of Bellevue, Nebraska (CLIENT) for the Storm Drainage Improvement Conceptual Plan project (PROJECT).


Scope of Services:

Refer to Attachment A for the additional scope of services for this PROJECT.

Compensation:

Refer to Attachment B for additional compensation to execute additional scope of services associated with this amendment

Services covered by this Amendment 01 will be performed in accordance with the Provisions of the original Professional Services Agreement, dated 04/21/2021 and any attachments or schedules. The Authorized Representatives designated below are authorized to act with respect to this Amendment.	
For CLIENT: City of Bellevue, NE	For Jacobs Engineering Group Inc.
Name:	Name: Douglas E. Simon
Address:	Address: 222 South 15 <sup>th</sup> Street, Ste. 1408-5
Telephone:	Telephone: 402.609.7511

Accepted for CLIENT by:	Accepted for Jacobs Engineering Group Inc. by:
Name:	Name: 
Title:	Title: Designated Manager
Date:	Date: 7/25/2021

# **Attachment A**

## **SCOPE OF SERVICES**

### **Amendment No. 1 - Storm Drainage Improvement Conceptual Plan**

Jacobs Engineering Group Inc. (JACOBS) agrees to provide the City of Bellevue (CLIENT) Public Works Department services as outlined herein for a project generally described as Storm Drainage Improvement Conceptual Plan Project (PROJECT). The following services shall be provided as Amendment No. 1 to the Professional Services Agreement (AGREEMENT) dated April 20, 2021.

#### **Project Understanding**

This amendment includes additional tasks identified and requested by the CLIENT to be included in the PROJECT. The services include preparing plans and construction costs for the emergency repair of the storm sewer system near 217 Bellevue Boulevard South (BBS), providing construction phase services, and evaluating the potential for conveying the storm runoff south to the existing storm sewer system at the intersection of Dowding Court and BBS. An additional project site near 26<sup>th</sup> and Margo Street will also be evaluated to address drainage issues and includes concept development and detailed design services. Additional Task 1 project administration efforts are included.

The PROJECT will be amended to include the additional scope and budget items under existing Tasks 1 and 2 and additional Tasks 5 and 6. The existing contracted scope of services shall remain in its entirety.

- Task 1 - Project Management
  - Additional efforts project administration
- Task 2 - Conceptual Alternative Analysis
  - Modeling of the storm sewer collection system near 217 BBS to determine system capacity
- Task 5 - Emergency Design and Construction Observation - 217 BBS
- Task 6 - Conceptual Design of 26<sup>th</sup> and Margo Street Drainage

## **ARTICLE 1 - Scope of Services**

JACOBS shall provide professional services to the CLIENT as described in the following tasks.

### **Task 1: Project Management and Field Assessments**

#### **1.1 Project Administration**

JACOBS will facilitate periodic progress meetings as needed and provide monthly progress reports and invoices in a format acceptable to the CLIENT. QC efforts will be incorporated into the budget of individual tasks.

#### **Task 1 Deliverables**

Periodic progress meeting agendas and summaries, invoices, and status reports.

### **Task 2: Conceptual Alternative Analysis**

#### **2.1 Hydrologic and Hydraulic Analyses**

Task 2.1 shall be amended to incorporate the following additional scope of services.

JACOBS will perform preliminary hydrologic and hydraulic analyses (H&H) utilizing XPSWMM for the storm drainage system that commences at Dowding Ct. and discharges to Betz Ditch upstream of Lincoln Road. The model will be developed utilizing available Sarpy County GIS sewer data, as-built information, and GIS contour data. Assumptions based on engineering judgement will be utilized where data may be insufficient. The purpose of this task to better understand system capacity to determine the feasibility of directing storm runoff collected by the existing inlets near 217 BBS south within CLIENT right-of-way to the existing collection system at Dowding Ct. The existing and proposed conditions will be modeled to understand the impacts to the collection system. A technical summary will be provided to document results. No conceptual or final design services of the proposed alternative are included in this effort.

#### **Task 2 Deliverables**

XPSWMM Model

Technical Summary of H&H Analysis

### **Task 5: Emergency Design and Construction Phase Services – 217 BBS**

#### **5.1 Emergency Design Drawings and Costs**

JACOBS will provide evaluation and design to develop construction drawings for the emergency storm sewer repair at 217 BBS. A list of sheets is provided in the Task 5 deliverables. It assumed that City of Omaha Standard Plates will be utilized and the drawings will be developed from best available information. No topographic survey is available and data will need to be field verified by Contractor during construction. It is assumed no specifications will be developed. JACOBS will provide an Opinion of Probable Construction Cost for the proposed improvements.

## Task 5.1 Deliverables

### Construction Plans

- Cover sheet with Sheet Index
- Quantities
- General Notes
- Site Access and Removals
- Storm Sewer Plan and Profile
- Dissipation Basin and Trenching Details
- City of Omaha Standard Plates

### Opinion of Probable Construction Costs

## 5.2 Construction Phase Services

The CLIENT will procure services of a Construction Contractor, and the Construction Contractor will have a separate contract directly with the CLIENT. JACOBS will provide the following pre-construction services and construction observation;

- Address contractor questions during Construction Contractor solicitation period,
- Attend pre-construction meeting with selected Construction Contractor to discuss design and Construction Contractor construction schedule and to review their project approach,,
- Perform part-time construction observation and provide construction management (CM) services,
- Respond to Requests for Information (RFIs), review submittals, and review and recommend approvals for Work Change Directives, Change Proposal Requests, and Change Orders and office engineering services,
- Review Construction Contractor Applications for Payment and provide recommendation to CLIENT,
- Attend substantial completion walk through, prepare punchlist and attend Final Completion Inspection.

### Pre-Construction Conference

JACOBS shall coordinate and conduct a pre-construction meeting with the Construction Contractor and CLIENT to review project approach, communication, coordination, and other procedures and discuss the Construction Contractor's general work plan and requirements for the repairs. JACOBS will record minutes or otherwise document the results of this meeting.

### Construction Document Management

JACOBS will maintain hard-copy and digital records, suitably organized, of relevant documentation. JACOBS will keep the CLIENT advised of the progress of construction. This includes submitting progress reports to the CLIENT. JACOBS will implement procedures for logging and tracking relevant correspondence and documents. JACOBS will assist the CLIENT in monitoring outstanding decisions, approvals, or responses required from the CLIENT.

### Payments to Construction Contractor

JACOBS will receive and review the Construction Contractor's requests for payment. This will include verification of quantities. JACOBS will determine whether the amount requested reflects the progress of the Construction Contractor's work and is in accordance with the construction contract documents. JACOBS shall provide recommendations to the CLIENT as to the acceptability of the requests. JACOBS will advise the CLIENT as to the status of the total amounts requested, paid, and remaining to be paid under the terms of the construction contract documents.

Recommendations by JACOBS to the CLIENT for payment will be based upon JACOBS knowledge, information, and belief from its onsite observations of the work that the work has progressed to the point indicated. Such recommendations do not represent that continuous or detailed examinations have been made JACOBS to ascertain that the Construction Contractor has completed the work in exact accordance with the construction contract documents; that JACOBS has made an examination to ascertain how or for what purpose the Construction Contractor has used the moneys paid; and that title to any of the work, materials or equipment has passed to the CLIENT free and clear of liens, claims, security interests, or encumbrances.

### **Construction Meetings**

JACOBS will conduct construction meetings as needed. JACOBS will establish project-specific agendas, identify a meeting place, and record and distribute meeting minutes within 6 days after the meeting. The CLIENT will be notified of meetings so that they may attend.

For budgeting purposes, it is assumed one (1) construction meeting will be held. Construction progress meetings will be attended by representatives of JACOBS which include JACOBS Construction Manager, Project Manager, and Construction Observer.

### **Utility Coordination**

It is assumed Construction Contractor will utilize Nebraska811 to provide utility locates. Utility coordination with the utilities in the project area including notification of the project, requests for facility information, requests for clarifications, transmittal of drawings, and meetings to discuss the project are not included.

### **Samples and Submittals**

JACOBS will coordinate with the Construction Contractor to obtain shop drawings, samples, and submittals required by the construction contract documents, along with the anticipated dates for submission. JACOBS will follow established procedures and workflows for the review of the Construction Contractor's shop drawings, samples, and other submittals. JACOBS review of shop drawings, samples, and submittals shall be for general conformance with the design concept and general compliance with the requirements of the construction contract documents.

### **Requests for Information (RFIs)**

JACOBS will review the Construction Contractor's RFIs or clarification of the construction contract documents. JACOBS will coordinate, as appropriate, with the CLIENT and issue responses to the Construction Contractor.

### **Change Services**

**Field Orders (FO)s.** JACOBS may authorize minor variations in the work through field orders issued to the Construction Contractor. The changes would not involve an adjustment in the

Construction Contractor's contract price nor time for construction and are not inconsistent with the contract documents.

**Change Proposal Requests (CPR) and Work Change Directives (WCD).** If RFIs or construction changes result in contract time or cost adjustments, JACOBS will review and provide a recommendation for acceptance or rejection based on the review and assist the CLIENT with negotiations of the proposal, as needed.

**Change Orders (CO).** When a number of price or time adjustments have been approved, JACOBS will combine those individual CPRs into a change order and provide that change order to the CLIENT for its action.

### **Claims and Disputes Tracking**

JACOBS will receive, log, and notify the CLIENT about letters and notices from the Construction Contractor concerning claims or disputes between the Construction Contractor and CLIENT pertaining to the acceptability of the work or the interpretation of the requirements of the construction contract documents. JACOBS will review such letters and notices and will discuss them with the Construction Contractor as necessary to understand each such claim or dispute. JACOBS will advise the CLIENT regarding the Construction Contractor's compliance with the contract requirements for such claims and disputes. JACOBS will assist the CLIENT in providing written response to the letters and notices and discussions with the Construction Contractor to resolve claims and disputes. Support services beyond the initial review of the Construction Contractor's claims and disputes are considered outside this scope of services and would constitute a change in the scope and fee of this Amendment.

### **Site Visits**

Members of the JACOBS Design Team will visit the site up to two (2) times to determine if the Work meets the design intent.

### **Task 5.2 Deliverables**

One (1) digital (Word format) and one (1) hard copy of each weekly meeting agenda and meeting summary.

### **Task 5.2 Assumptions:**

The shop drawing review budgets are based on the review of 2 shop drawings and other general submittals (including re-submittals) with a total of 4 hours for review.

The RFI budget is based on a response to an estimated 4 RFIs with an average of 4 hours per RFI.

The Change Services is based on completing 2 FOs with 2 hours per FO, 1 WCDs or CPRs with 4 hours per WCS/CPR, and 1 COs with 4 hours per CO.

For claims and dispute resolution, 4 hours have been assumed.

Standard forms will be used for RFIs, FOs, COs and other Construction Management documentation.

The scope assumes that no soil compaction tests or survey staking will be conducted.

### **5.3 Construction Field Observation**

Task 5.3 includes field observation services conducted by JACOBS on-site representative assigned to the project.

#### **Part Time Field Observation**

JACOBS field observation representative will conduct onsite observations of the Construction Contractor's work for the purposes of determining if the work generally conforms to the construction contract documents and that the integrity of the design concept, as reflected in the construction contract documents, has been implemented by the Construction Contractor.

Should JACOBS discover or believe that work by the Construction Contractor is not in accordance with the construction contract documents, or is otherwise defective, or not conforming to requirements of the contract or applicable rules and regulations, JACOBS will bring this to the attention of the Construction Contractor and CLIENT. JACOBS will thereupon monitor the Construction Contractor's corrective actions and shall advise the CLIENT as to the acceptability of the corrective actions.

Whenever a Construction Contractor notifies JACOBS or CLIENT of unexpected subsurface conditions at the site (e.g., geotechnical or environmental), JACOBS will advise the CLIENT and will review the conditions at the site. JACOBS will work with the CLIENT to determine the appropriate action(s) and will assist the CLIENT in responding to the Construction Contractor.

#### **Substantial and Final Completion Inspections**

JACOBS will participate in substantial and final completion inspections. JACOBS will prepare punch lists of items requiring completion or correction. JACOBS shall make recommendations to the CLIENT regarding acceptance of the work based upon the results of the final inspection. After substantial and final completion requirements have been met, Certificates of Substantial and Final Completions will be issued.

#### **Assumptions:**

For the PROJECT, on-site observation services by the Construction Observer are scheduled for 3 weeks of the anticipated construction period. Part time observation (assumed 4 hours daily) for five days per week is anticipated.

JACOBS scope is based upon the schedule or duration of construction defined in these assumptions.

JACOBS will not be responsible for the means, methods, techniques, sequences or procedures of the Construction Contractor, nor shall JACOBS be responsible for the Construction Contractor's failure to perform in accordance with the contract documents.

### **5.4 Record Drawing Survey**

Task 5.4 includes the survey services conducted by SUBCONSULTANT.

#### **Record Drawing Survey**

JACOBS will utilize a SUBCONSULTANT to complete record drawing survey of structures and ground elevations. These features include, but are not limited to, manhole, inlet, storm sewer and outfall inverts, manhole lid elevations, stream bed and bank points to support the development of record drawings. SUBCONSULTANT shall include a Professional Land

Surveyor licensed in Nebraska, who will coordinate work with CLIENT and Sarpy County land survey staff as needed to meet CLIENT survey standards.

**Task 5.4 Assumptions:**

No right-of-way services included in survey.

**Task 1 Deliverables**

One (1) copy of field survey and notes.

**5.5 Close-Out Services**

Upon completion of the construction work, Task 5.5 includes services conducted by members of the JACOBS Design Team to prepare digital record drawings and provide a final copy of the Record Drawings.

**Record Drawings**

JACOBS will prepare record drawings of the work and transmit completed final electronic files of record drawings to the CLIENT. JACOBS is not responsible for errors or omissions in the information from others that is incorporated into the drawings. Drawings will be submitted as PDFs and AutoCAD files.

**Closeout File and Records**

JACOBS will provide to the CLIENT an organized set of project documents and records.

**Task 5.5 – Deliverables**

The following construction documents will be provided electronically by JACOBS to the CLIENT to retain.

- CCTV - Pre-construction
- CCTV - Post-construction (if determined or required, not currently in scope of services; assumed CLIENT or Contractor will provide post CCTV services)
- Change Orders
- Change Proposal Requests
- Construction Meetings
- Correspondence
- Daily Diary
- Field Orders
- Invoices
- Pay Applications
- Photos
- Project Closeout
- RFI responses
- Schedules
- Submittals
- Weekly Progress Reports
- Work Change Directives
- Record Drawings

## **Task 6: Conceptual Design of 26<sup>th</sup> and Margo Street Drainage**

The 26<sup>th</sup> and Margo Street drainage includes evaluation to support understanding of local drainage issues through the residential area near 26<sup>th</sup> and Margo Street. The focus of this task will be to identify the drainage issues and develop concepts and planning level costs to allow detailed design efforts to proceed.

### **6.1 Site Visit**

JACOBS will visit each of the site and perform an assessment of the potential issues. JACOBS will coordinate with CLIENT staff and property owners as needed for access to site. Detailed stream habitat or geomorphic assessments are not included in this scope of the work. The site visits will include documenting existing site conditions and confirming drainage and stability issues to confirm project objectives. JACOBS will document stormwater connectivity (storm sewers, channels, and other drainage features) to assist with the modeling efforts. No survey will be conducted at this stage, however pertinent measurements will be collected of the existing storm assets (i.e., depth of invert, sewer dimensions).

### **6.2 Modeling and Conceptual Design**

JACOBS will conduct hydrologic and hydraulic (H&H) analyses for the site to assess existing and proposed conditions utilizing data collected from the site visits. It is assumed XPSWMM will be utilized for the evaluation. The model extents are assumed to be from the top of the watershed near 26<sup>th</sup> Street and Mose Ave to the discharge point along the drainage way along Sarpy Avenue. The evaluation will include the areas between Chandler Road to the south to Josephine to the north.

JACOBS will develop up to two (2) conceptual alternatives for the 26<sup>th</sup> and Margo drainage site. JACOBS will prepare Conceptual Alternative figures for each of the alternatives, which will include 11-inch by 17-inch (11x17) plan and profile view figures and a planning level construction cost estimate for each alternative. The plan view figures will include general information regarding the site and proposed improvements such as type and materials for outfall stabilization, grade control, and/or storm sewers. JACOBS will meet with the CLIENT to present the Conceptual Alternatives for the site for input and feedback. Based on the findings from the information gathered from the analyses described above, JACOBS will provide a summary of the basis of design and the recommended Conceptual Alternative for the site. The basis of design will summarize potential utility conflicts or coordination needs, permitting requirements, constructability issues, and additional field investigations for final design.

### **6.3 Utility Coordination**

JACOBS will facilitate the communication with representatives of existing utility owners at the site including notification of the PROJECT, written requests for facility information, and requests for clarifications. No meetings with utilities are included in this scope, however, will be recommended as part of the future design process under separate contract. JACOBS will send existing utility location request directly to the utility companies with copies of the requests to the CLIENT project representative.

## **Task 6 Deliverables**

Connectivity Drainage Map

Conceptual Figures for up to two (2) concepts

Planning level Opinion of Probable Construction Costs

Basis of Design Summary

## **ARTICLE 2 - Schedule**

The existing Agreement shall be amended to change the contract end date to December 31, 2021.

## **ARTICLE 3 - Compensation**

Compensation by CLIENT to JACOBS for the proposed services for Amendment No. 1 described above will be as described in Attachment B.

# Attachment B

## COMPENSATION

### Amendment No. 1 - Storm Drainage Improvement Conceptual Plan

Compensation by City of Bellevue (CLIENT) to Jacobs Engineering Group Inc. (JACOBS) for the proposed services described in Attachment A, Scope of Services for Amendment No. 1 – Storm Drainage Improvement Conceptual Plan will be as follows:

**A. COST REIMBURSABLE-MULTIPLIER (TIME AND EXPENSE)**

For services enumerated in the Scope of Services above, JACOBS Raw Labor Costs multiplied by a factor of 3.0, plus Direct Expenses, plus a service charge of 5 percent of subcontracts and outside services, plus applicable sales, use, value added, business transfer, gross receipts, or other similar taxes.

**B. BUDGET**

The maximum cost for this Amendment No. 1, as defined by services described in the Scope of Services outlined in Attachment A is Eighty Thousand, Sixty-Six dollars (\$80,066), which will be billed on a time and materials basis. Bringing the total contract not to exceed value from Two hundred Forty-One Thousand, Seven Hundred Fifty-Seven dollars (\$241,757) to Three hundred Twenty-One Thousand, Eight Hundred Twenty-Three dollars (\$321,823). JACOBS may utilize the compensation between individual tasks requested by the CLIENT but shall not exceed the maximum amount of \$321,823 unless approved in writing by the CLIENT through a contract amendment to this agreement.

JACOBS is not obligated to incur costs beyond the indicated budgets, as may be adjusted, nor is CLIENT obligated to pay JACOBS beyond these limits. When budget has been increased, JACOBS excess costs expended prior to such increase will be allowable to the same extent as if such costs had been incurred after the approved increase.

**C. DIRECT EXPENSES**

Direct Expenses are those necessary costs and charges incurred for the PROJECT including, but not limited to: (1) the direct costs of transportation and equipment and supplies; (2) JACOBS current standard rate charges for direct use of JACOBS vehicles, laboratory test and analysis, and certain field equipment; and (3) JACOBS standard project charges for computing systems, and special health and safety requirements of OSHA.

Compensation by CLIENT to JACOBS will be for professional services provided on a “time and materials” basis on hourly rates for all labor and direct costs. A summary of labor hours per task related to the Amendment 1 Services and JACOBS’s standard hourly billing rates is included in Table 1 below.

**Table 1**

Schedule of Hourly Rates, 2021\*

Amendment No. 1 - Storm Drainage Improvement Conceptual Plan

Staff Name	Role	Hourly Rate	Task 1 Hours	Task 2 Hours	Task 5 Hours	Task 6 Hours	Total
Nick Sutko	Project Manager	\$204.63	20	4	42	10	76
Emily Holtzclaw	QC Manager/Stream Lead	\$251.40	4	2	2	4	12
Brent Brown	Stream Design SME	\$216.84	0	0	0	2	2
Noma Borde	Designer	\$155.88	4	8	56	84	152
Kiersten Hines	Designer/CAD Support	\$123.06	0	40	46	12	98
Robert Magallon	Construction Observer	\$105.42	0	0	89	0	89
Kent Bienlien	Construction Manager	\$240.75	0	0	46	0	46
Carla Arsenault	Administrative Assistant	\$90.12	0	0	12	0	12
Michael Peterson	Health & Safety Lead	\$197.46	2	0	0	0	2
Ed Meyer	Cost Estimator	\$264.57	0	0	0	4	4
Jared Catron	Contract Administrator	\$93.45	1	0	0	0	1
Total Labor Hours			31	54	293	116	494
Total Labor Costs			\$6,210	\$7,491	\$45,026	\$19,115	\$77,841
Expenses			\$0	\$0	\$250	\$400	\$400
Subconsultant Costs			\$0	\$0	\$1,575	\$0	\$1,575
Total Costs			\$6,210	\$7,491	\$46,851	\$19,515	\$80,066

\*Note: Hourly billing rates apply to all "Time and Materials" contracts, effective July 1, 2021. Labor rates are based on a 3.0 Raw Labor Cost Multiplier and may deviate from the values listed in the table based on individuals actually performing the work and their actual raw labor rate at the time the services are performed.

**Non-Labor Rate Items**

Mileage Rate	Current IRS audit rate at time of service
Other related consumable supplies (field equipment and supplies, etc.)	Actual
Postage, freight	Actual
Travel costs (airfare, hotel, care rental, meals, etc.)	Actual
Subcontractors and Outside Services	Actual + 5 percent

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

\*16j  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: City Clerk	
AGENDA ITEM:	CONSENT AGENDA <input checked="" type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

SUBJECT:

Recommendation to approve Special Fireworks Display

SYNOPSIS/BACKGROUND:

Application was received for a Special Fireworks Application for Midwest Fireworks to provide a special fireworks display for the Bellevue East High School Homecoming on September 10, 2021 (Rain date September 11, 2021), 1401 High School Drive at 10:00 p.m.

FISCAL IMPACT:  BUDGETED FUNDS?:  GRANT/MATCHING FUNDS?:

TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:

IS THIS A CONTRACT?:  COUNTER-PARTY:  INTERLOCAL AGREEMENT:

CONTRACT DESCRIPTION:

CONTRACT EFFECTIVE DATE:  CONTRACT TERM:  CONTRACT END DATE:

PROJECT NAME:

START DATE:  END DATE:  PAYMENT DATE:  INSURANCE REQUIRED:

CIP PROJECT NAME:  CIP PROJECT NUMBER:

STREET DISTRICT NAME (S):  STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE:  ACCOUNT NUMBER:

RECOMMENDATION:

Recommendation to approve a Special Fireworks Application for Midwest Fireworks to provide a special fireworks display for the Bellevue East High School Homecoming on September 10, 2021 (Rain date September 11, 2021), 1401 High School Drive at 10:00 p.m.

ATTACHMENTS:

1.  2.  3.

4.  5.  6.

SIGNATURES:

LEGAL APPROVAL AS TO FORM:

FINANCE APPROVAL AS TO FORM:

ADMINISTRATOR APPROVAL AS TO FORM:





City of Bellevue

Office of the City Clerk

1500 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3007

**SPECIAL FIREWORKS EVENT**  
**APPLICATION**

Application must be filled out completely and returned to the City Clerk, a minimum of 7 day, prior to the City Council Meeting so item can be added to the City Council Agenda.

(Please Print Legibly)

**Special Fireworks Event: Bellevue East Homecoming**

**Date of Event: 9/10/2021**

**Time and Duration of Fireworks Display: following football game**  
**approximately 10:00 duration of 8-10 minutes**

**Name of Contact Person: Jim Sandvold**

**Contact Person E-mail: fireworks@mwfireworks.com**

**Contact Person Phone #: 402-510-7936**

**Distributor License: { x } Yes { } No**

**If so, Name of Distributor: Midwest Fireworks Wholesalers LLC**

**Signature**

**Date**

*Jim Sandvold*

7/28/21

NEBRASKA STATE FIRE MARSHAL  
**Public Firework Display**

**Permit #** 2021-DP-64404786-357

**Receipt #** 64404786

**Date Received** July 26, 2021 03:25 PM

**Sponsoring Organization/Individual**

**Name 1** Bellevue East High School

**Name 2** Jim Sandvold

**Address** 351 Grant

**City** Blair

**Daytime Phone** 402-510-7936

**State** NE

**Zip Code** 68008

**Email** fireworks@mwfireworks.com

**Public Display Operator**

**License #** 21-02/010

**Name** NIELSEN, CHARLES DEAN

**Address 1** 1750 PARK ST

**Address 2**

**City** BLAIR

**Daytime Phone**

**State** NE

**Zip Code** 68008

**Email**

**Location/Dates**

**Display Location** 1401 High School Dr

**Display City** Bellevue

**Display County** Sarpy

**Display Date** September 10, 2021

**Rain Date** September 11, 2021

**Display Time** 10:01 PM

**Rain Time** 10:01 PM

**Public Display** Yes

**Storage Information**

**How Stored** Approved ATF/NSP Bunker

**Distributor(s)**

Midwest Fireworks Wholesalers LLC (2021-RP-59419018-1)

**Mortar/Distances (in feet)/Ground Display**

**Largest Mortar (Inches)** 4.0

**Residential** 450

**Health Care Facilities** N/A

**Penal Facilities** N/A

**Power Lines** N/A

**Phone Lines** N/A

**Ground Display** No **Parking** --

**Electronically Fired?** Yes

**Spectators** 280

**Parking** 280

**Hwys/Streets/Alleys** 280

**Hazardous Materials** 2000

**Trees** 150

**Spectators** --

**Approval**

**Approved By** Christopher Cantrell, SFM

**Date Approved/Issued** July 27, 2021

---

**Fire Chief Signature**

CITY OF BELLEVUE, NEBRASKA  
AGENDA ITEM COVER SHEET

16k.  
08/03/2021

COUNCIL MEETING DATE: 08/03/2021		SUBMITTED BY: Doug Clark, Public Works Director	
AGENDA ITEM:	CONSENT AGENDA <input type="checkbox"/>	SPECIAL PRESENTATION <input type="checkbox"/>	
LIQUOR LICENSE <input type="checkbox"/>	ORDINANCE <input type="checkbox"/>	PUBLIC HEARING <input type="checkbox"/>	
RESOLUTION <input type="checkbox"/>	CURRENT BUSINESS <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>	

**SUBJECT:**

Washington Park Gazebo

**SYNOPSIS/BACKGROUND:**

The existing gazebo located in Washington Park is in need of replacement due to structural integrity. Quotes were requested and Creative Sites LLC has been chosen for the purchase and installation of a new gazebo structure. The new gazebo will be ADA compliant and include lighting and electrical boxes for use during Washington Park events. Public Works is requesting approval to use funds from the City of Bellevue Parks Fund for the purchase and installation of the new gazebo.

FISCAL IMPACT: \$69,836.00      BUDGETED FUNDS?: YES      GRANT/MATCHING FUNDS?: NO

**TRACKING INFORMATION FOR CONTRACTS AND PROJECTS:**

IS THIS A CONTRACT?: YES      COUNTER-PARTY: Creative Sites, LLC      INTERLOCAL AGREEMENT: NO

CONTRACT DESCRIPTION: Washington Park Gazebo

CONTRACT EFFECTIVE DATE: 08/03/2021      CONTRACT TERM: To project completion      CONTRACT END DATE:

PROJECT NAME: Washington Park Gazebo

START DATE:      END DATE:      PAYMENT DATE:      INSURANCE REQUIRED: YES

CIP PROJECT NAME: Washington Park Gazebo      CIP PROJECT NUMBER: BM22(1)

STREET DISTRICT NAME (S):      STREET DISTRICT NUMBER (S):

ACCOUNTING DISTRIBUTION CODE: CIPBM22(1)      ACCOUNT NUMBER: 7040

**RECOMMENDATION:**

Request approval to purchase and install a new gazebo for Washington Park in the amount of \$69,836.00 from Creative Sites, LLC, and to approve the use of funds from the City of Bellevue Parks Fund for the expenditure.

**ATTACHMENTS:**

- |                                |  |                             |
|--------------------------------|--|-----------------------------|
| 1. Contract                    | 2. Steelworx Octagonal Shelter Design Specifications | 3. Creative Sites Quotation |
| 4. Crouch Recreation Quotation | 5.   | 6.                          |

**SIGNATURES:**

LEGAL APPROVAL AS TO FORM: \_\_\_\_\_

FINANCE APPROVAL AS TO FORM: \_\_\_\_\_

ADMINISTRATOR APPROVAL AS TO FORM: \_\_\_\_\_

## CONTRACT

THIS CONTRACT (the "Contract") is made and entered into this 3<sup>rd</sup> day of August , 2021, by and between the City of Bellevue Nebraska, a municipal corporation of the first class and a political subdivision of the State of Nebraska ("City"), and Creative Sites, LLC ("Contractor"). Whenever used in this Contract, the term "Party" shall mean City or Contractor, individually, and the term "Parties" shall mean the City and Contractor, collectively.

WHEREAS, Contractor submitted a bid proposal ("Proposal") to City in response to the solicitation or invitation to perform certain work for certain project(s), (as the work and project(s) are more particularly identified in Paragraph 2 of this Contract); and

WHEREAS, Contractor was selected to perform such work subject to the terms, conditions and other provisions of this Contract.

NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:

1. Contract/Contract Documents. Whenever used in this Contract, the term "Contract Documents" shall mean and include this Contract, and (i) the published notice inviting or soliciting bids or proposals in connection with the Work or Projects; (ii) City's request or solicitation for bids or proposals together with all addenda, drawings, schedules, exhibits, manuals, materials and documents attached or relevant to or referenced in such request or solicitation, including all Instructions, Plans, Specifications, Provisions, General or Special Conditions; (iii) Contractor's Bid or Proposal, together with all addenda, drawings, schedules, exhibits, materials and documents attached or relevant to or referenced in such Bid or Proposal; (iv) all payment, performance, labor, materials, maintenance or other bonds or Contract security; and (v) all written change orders, modifications or supplementary terms, conditions or instructions from City pursuant to paragraph 14(g) of this Contract. All Contract Documents shall be considered to be an integral part of this Contract whether or not attached to this written Contract; provided that in the event there shall be any conflict between this written Contract and any of the other Contract Documents, the provisions of this written Contract shall prevail.

2. Contractor's Work. Except to the extent expressly undertaken by City pursuant to the Contract Documents, (i) Contractor shall perform all site preparation and security, labor, supervision, direction, testing, and other services or work ("Work") necessary or appropriate for completion of the WASHINGTON PARK GAZEBO PROJECT ("Project") in accordance with the requirements of the Contract Documents; (ii) Contractor shall furnish at its sole cost and expense all bonds, barricades, materials, supplies, equipment, tools, power, water, light, heat, utilities, transportation and all other services, facilities (whether permanent or temporary) and resources required for the Work; (iii) except to the extent otherwise expressly stated in the Contract Documents, Contractor shall be responsible for all means, methods, techniques, sequences and procedures, including coordination of all Work. Whenever used in this Contract, the term "Work" shall include all Corrective Work, unless the context otherwise requires. Contractor shall commence the Work within ten (10) days ("Commencement Date") after

receiving a Written Notice to Proceed from City. Contractor shall notify City in writing of the Commencement Date prior to undertaking any work.

3. Quality of Work. Contractor shall perform all Work in a good and workmanlike manner using qualified personnel and any equipment and materials required by the Contract Documents.

4. Site Inspection. Contractor acknowledges that it has inspected the Project site. Contractor waives any claim for additional time, costs, expenses, compensation or other amounts in connection with any condition (known, apparent, or concealed), which it may encounter at the Project site.

5. Contractor's Warranties. All Work is warranted by Contractor to be of highest quality, to be free from any faults or defects and to conform in all respects with the requirements of the Contract Documents.

6. Time of Essence/Liquidated Damages. Time schedules, limits or requirements specified in the Contract Documents are of the essence to this Contract. All Work shall be completed in accordance with the "Quotation", as attached hereto as Exhibit "A" and incorporated herein by this reference, unless (i) extended by City, in its sole discretion, or (ii) prevented (assuming, in all such events, Contractor's use of its best efforts to timely complete such Work) by the act or neglect of City or by an act of God or for other reasons beyond the control of Contractor, in which event time shall be extended for such reasonable time as City may determine. Whenever any Work shall not be so completed, then as liquidated damages and not as a penalty, Contractor shall pay City, within five (5) days of demand, the sum of Five Hundred and no/100ths Dollars (\$500.00) per day for each and every calendar day that the Work shall remain uncompleted.

7. Contractor's Compensation/Retainage. City shall pay the Contractor in current U.S. funds for the Contractor's performance of the Work. All Work, including any unit cost shall be undertaken at and performed in accordance with Contractor's Bid or Proposal. Subject to additions and deductions as provided in the Contract Documents, the aggregate cost of the Work shall not exceed Sixty-Nine Thousand Eight Hundred Thirty-Six Dollars and Zero Cents (\$69,836.00) ("Contract Sum").

City agrees to deliver to Contractor a deposit applicable towards the Coverworx Octagon Shelter cost, in the amount equal to fifty percent (50%) of the Coverworx Octagon Shelter cost. The deposit is due upon Contractor's receipt of the work order. The deposit shall be a non-refundable deposit to Contractor except in the event that the Work fails to be completed due to a material breach by the Contractor under this Contract. Upon the occurrence of such breach, the Deposit shall be promptly returned to the City. The return of the Deposit to City in the event of a material breach shall in no way limit any other rights or remedies available to the City, at law or otherwise, under this Contract.

Upon completion of Work at the Project site, Contractor shall submit an invoice requesting payment ("Application for Payment") based upon the amount of Work actually completed at the Project site, less any deposits required and paid by the City pursuant to this section and Contractor shall set forth in detail the Work performed at the rate specified on Contractor's Bid or Proposal.

Final payment constituting the entire unpaid balance of the Contract Sum shall be made by City to Contractor when the Contract has been fully performed and accepted, including Contractor's responsibility to correct nonconforming Work and to satisfy other requirements, if any, which necessarily survive final payment. Prior to final payment, Contractor shall provide evidence that all employees, subcontractors, material suppliers and other persons or entities have been paid in full for any labor, materials, supplies or equipment used in connection with the Work; such evidence shall consist of receipts, releases, and waivers of liens, claims, security interests, or encumbrances arising out of the Work, to the extent and in such form as may be designated by City. At any time Contractor submits an Application for Payment, it shall constitute a representation by Contractor that all Work is completed as warranted by paragraph 5 of this Contract. Final payment by City shall be paid within thirty (30) days from the date the Application for Payment is received.

8. **Corrective Work.** Whenever discovered prior to the expiration of the Warranty Period, Contractor shall promptly correct any Work ("Corrective Work"), which is found to be substandard, defective or otherwise not in accordance with this Contract whether or not such Work or Corrective Work has been completed, installed or constructed. Contractor shall bear all costs and expense of Corrective Work, including all professional, testing, removal or inspection costs.

9. **Risk of Loss.** Contractor shall bear all risk of loss of or damage to all Work until (i) all Work has been satisfactorily completed and accepted; and (ii) in the case of Corrective Work, until the Corrective Work has been completed to the satisfaction of the City.

10. **Contractor's Indemnity.** Contractor shall defend, indemnify and hold City, its agents and employees harmless from and against any claims, damages (including damages for any personal injury, bodily injury, including death, or property damages), losses and expenses, including any reasonable attorney fees, of any person or entity arising or resulting from or out of (i) Contractor's performance under this Contract; (ii) any breach or default in or any violation or nonperformance of any covenant, term, provision, condition or agreement ("Default") in this Contract to be kept, observed, satisfied or performed by Contractor; (iii) any alleged act, error, omission or negligence of Contractor, its employees, subcontractors, agents, or any other person acting on behalf of Contractor; (iv) any material misrepresentation by Contractor; or (v) Contractor's operations in or about any Project site while Contractor is performing Work on such Project site except to the extent such claims result or arise from or out of, solely and proximately, from City's negligence, unlawful conduct or material breach of this Contract.

11. **Termination for Default.** In addition to any other remedies at law or in equity, City may terminate this Contract whenever Contractor (i) repeatedly refuses to materially comply with any reasonable requirement of City; (ii) fails to timely make any payment required by this Contract; or (iii) fails or refuses to cure any other Default within seven (7) days from written notice from City specifying such Default. Termination shall be effective immediately upon notice from City; provided, however, City may, without prejudice to any of its other rights or remedies under this Contract or otherwise, correct such Default in which event Contractor shall reimburse City for all costs and expenses incurred in undertaking such cure or to collect such reimbursement from Contractor.

12. **Survival of City's Rights.** All indemnity obligations of Contractor under this

Contract and the Contractor's obligations under Paragraphs 5, 8 and 10 of this Contract shall survive the completion of all Work and the expiration or termination of this Contract.

13. Bonds and Insurance. Contractor shall furnish to the Department of Public Works for City at least five days prior to commencing any Work under this Contract a Performance Bond in an amount equal to 100% of the Contract Sum and a 100% Labor and Material Bond and all other Contract security and all policies or certificates of insurance which are required by the Contract Documents.

Contractor will maintain and provide evidence of the following insurance coverages from insurance companies acceptable to the city:

- Commercial General Liability \$1,000,000 per occurrence, \$2,000,000 aggregate, City of Bellevue named as an Additional Insured including completed operations, Waiver of Subrogation in favor of City of Bellevue.
- Commercial Umbrella Liability - \$2,000,000 minimum limit, City of Bellevue named as Additional Insured.
- Builders Risk/Installation Floater – Limit equal to completed value of project. Coverage must apply to City's and all subcontractors' interests in property and project.

14. Miscellaneous.

a. Contractor shall promptly pay all persons or entities that have furnished any services, labor, material, equipment or supplies in connection with any of the Work.

b. Contractor shall secure and pay for all permits, fees, and licenses for execution and completion of the Work.

c. Contractor shall perform all Work in compliance with applicable federal, state and local laws, rules and regulations applicable to such performance. Contractor shall comply at all times with the Fair Employment Practices Act (Nebraska Revised Statutes, Sections 48-1101 *et seq.*). Contractor shall pay the Unemployment Compensation Fund of the State of Nebraska any unemployment contributions and interest due under provisions of the Nebraska Revised Statutes (Sections 48-601 *et seq.*).

d. Contractor shall provide City or its representatives access to all Work (including Work in progress) for inspection or other appropriate purposes during all reasonable times. Contractor shall uncover any Work which has not been inspected at its sole cost and expense unless due to the neglect of City.

e. Contractor shall keep the Project site(s) free from accumulation of rubbish, debris and hazards. Upon completion of Work at each Project site, Contractor shall remove all surplus materials, all tools, equipment, machinery, waste, rubbish and other items not constituting a part of the completed Work.

f. Contractor shall be responsible for all acts, errors, omissions or neglect of Contractor's agents and employees, including Contractor's subcontractors and its agents or employees.

g. City shall have the right to make minor changes in the Work, including Drawings, Plans, and Specifications, at no additional compensation or consideration to Contractor by notice in writing to Contractor. All other changes in Work shall be by written Change Order executed by the Project representative of each Party. City and Contractor each represents that its Project representative is authorized to execute such Change Order and shall be bound by the same; provided, however, that prior approval of the Bellevue City Council shall be required for (i) any Change Order resulting in an adjustment to the Contractor's compensation of more than \$10,000, or (ii) any Change Order or series of Change Orders which in the aggregate increase Contractor's compensation by ten percent (10%) or more of the original compensation.

h. Neither (i) City's payment of any invoice, nor (ii) the presence of City or its representatives on any Project site, nor (iii) the inspection or approval of any Work shall constitute acceptance of such Work as compliant or otherwise being in accordance with the Contract Documents and shall not be construed to waive any right to indemnity or any other right or remedy of City for any Default of Contractor.

i. Contractor may not assign or subcontract all or any portion of the Work, except as specified in the Bid or Proposal, without City's prior written consent, which may be withheld in City's absolute discretion.

j. Contractor shall not assign any moneys due or to become due under this Contract without the prior written consent of City, which may be withheld in City's absolute discretion.

k. Contractor warrants that Contractor has not employed or retained any company or person, other than a bona fide employee working for the Contractor, to solicit or secure this Contract, and that he has not paid or agreed to pay any company or person, fee, commission, percentage, brokerage fee, gifts, or any other consideration contingent upon or resulting from the award or making of this Contract.

l. Contractor shall take reasonable precautions for safety of, and shall provide reasonable protection and warnings to prevent damage, injury or loss to employees, subcontractors and any other persons, such as pedestrians or motorists, who may be present upon or within the vicinity of a Project site while Work is being performed or in progress.

m. Any approval, notice or communication to a Party required or permitted by this Contract shall be sufficient only if made in writing.

(i) Any notice which may be permitted or required to be given pursuant to this Contract shall be delivered personally or shall be sent by United States certified mail, postage prepaid addressed as set forth below:

If to City:

City of Bellevue  
Public Works Department  
Attn: Doug Clark  
1510 Wall Street  
Bellevue, NE 68005  
Fax No.: (402) 293-3173

If to Contractor:

Creative Sites, LLC  
11506 Pierce Street  
Omaha, NE 68144

With a copy to:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Fax No.: \_\_\_\_\_

(ii) Each Party may from time to time change its address for receipt of notices by sending a notice in the manner provided to the others specifying the new address.

(iii) Each notice given by certified mail shall be deemed delivered on the date of delivery as shown on the return receipt, or if delivery is attempted at the last address specified and if the notice is returned, notice shall be deemed delivered on the date the notice was originally sent. Each notice delivered in any other manner shall be deemed delivered as of the time of actual receipt thereof. In the event the Parties utilize "facsimile" transmitted signed documents, the Parties hereby agree to accept and to rely upon such documents as if they bore original signatures. Each Party acknowledges and agrees to provide to the other Party, within 72 hours of transmission, such documents bearing the original signatures.

n. City's Project representative shall be Public Works Director Doug Clark, or his designee.

o. A failure by a Party to enforce any of its rights under this Contract shall not at any time constitute a waiver of such right or any other right, and shall not modify any rights, remedies or obligations of such Party under this Contract or otherwise.

p. The Contract Documents form the entire agreement of the Parties and supersede any prior oral or written agreements of the Parties in connection with the subject matter of this Contract. Neither this Contract, nor any of the Contract Documents, shall be modified or amended except in a writing duly executed by City.

q. Contractor shall comply with: (i) the provisions of Executive Order 11246 entitled "Equal Employment Opportunity," as amended by Executive Order 11375 and as supplemented by Department of Labor regulation (41 C.F.R., Part 60); (ii) the Copeland "Anti-kickback" Act (18 U.S.C. 874), as supplemented in Department of Labor regulations (20 C.F.R., Part 3); and (iii) all applicable provisions of the Regulations of the U.S. Department of Commerce (Part 8 of Subtitle 15 of the C.F.R.) issued pursuant to the Civil Rights Act of 1964 and all applicable federal, state and local laws.

r. The Contractor represents that no gratuities (in the form of entertainment, gifts or otherwise) were offered or given to any officer, agent, employee or representative of the City with a view towards securing a contract or securing favorable treatment with respect to the wording, amending or the making of any determination with respect to the performance of this Agreement.

s. Contractor shall not discriminate against any employee, or applicant for employment, to be employed in the performance of the Work, because of race, color, religion, sex, disability, or national origin, with respect to the hire, tenure, terms, conditions, privileges or employment of such employee or applicant.

t. References to any document or other instrument includes all amendments and replacements thereof and supplements thereto. References to provisions of law shall be construed as references to those provisions as respectively amended, extended, consolidated or reenacted or as their application is modified by other provisions from time to time and shall include any provisions of which they are reenactments (whether with or without modification), any orders, regulations, instruments, or other subordinate legislation made under the relevant statute.

u. Each Party agrees that it has been given the opportunity to thoroughly discuss all aspects of this Contract with an attorney of its choosing and that each Party has carefully read and fully understands all of the provisions of this Contract. Each Party further represents and acknowledges that in executing this Contract it has not relied upon any representation or statement of the other Party or the other Party's officers, directors, employees, agents, council members or attorneys with regard to the subject matter, basis or effect of this Contract outside of the content of this Contract.

v. The provisions of this Contract are intended to be performed in accordance with, and only to the extent permitted by, all applicable requirements of law. If any provision of this Contract or the application of the Contract to any person or circumstance shall, for any reason and to any extent, be held invalid or unenforceable, neither the remainder of this Contract nor the application of this Contract or such provision to any other person or circumstance or other instruments referred to in this Contract or affected provision shall be affected thereby but, rather, the same shall be enforced to the fullest extent permitted by law. In the event that any provision of this Contract, or the application thereof, is held by any court of competent jurisdiction to be illegal or unenforceable, the Parties shall attempt in good faith to agree upon an equitable adjustment in order to overcome to the greatest extent possible the effect of such illegality or unenforceability.

w. The failure of any Party to insist upon the strict observance and performance of the terms, provisions or conditions of this Contract shall not be deemed a waiver of other obligations hereunder, nor shall it be considered a future or continuing waiver of the same terms, provisions or conditions.

x. This Contract may be executed in one or more counterparts, each of which shall be deemed to be an original and all of which together shall constitute one and the same instrument.

y. If there occurs a conflict between or among this Contract, the Specifications and General Conditions, the Bid Schedules and a part hereof or any Addenda, the prevailing provisions, as between the Parties, shall be: first, those contained in this Contract; second, those contained in the applicable Specifications and General Conditions and Bid Schedules to the extent not inconsistent with this Contract; and third, those continued in any applicable Addenda to the extent not inconsistent with this Contract or such Specifications and General Provisions and Bid Schedules. Thereafter, if further interpretation is needed, the Parties acknowledge Contractor having bid for this Contract via the Bid Documents prepared by City Engineer, City of Bellevue.

aa. Contractor shall not be entitled to terminate this Contract or suspend any of the Work for any reason whatsoever, including any breach of this Contract by City.

bb. E-Verify The Contractor is required and hereby agrees to use a federal immigration verification system to determine the work eligibility status of new employees physically performing services within the State of Nebraska. A federal immigration verification system means the electronic verification of the work authorization program authorized by the Illegal Immigration Reform and Immigrant Responsibility Act of 1996, 8 U.S.C. 1324a, known as the E-Verify Program, or an equivalent federal program designated by the United States Department

of Homeland Security or other federal agency authorized to verify the work eligibility status of a newly hired employee.

If the Contractor is an individual or sole proprietorship, the following applies:

1. The Contractor must complete the United States Citizenship Attestation Form, available on the Department of Administrative Services website at [www.das.state.ne.us](http://www.das.state.ne.us)
2. If the Contractor indicates on such attestation form that he or she is a qualified alien, the Contractor agrees to provide the US Citizenship and Immigration Services documentation required to verify the Contractor's lawful presence in the United States using the Systematic Alien Verification for Entitlements (SAVE) Program.
3. The Contractor understands and agrees that lawful presence in the United States is required and the Contractor may be disqualified or the contract terminated if such lawful presence cannot be verified as required by Neb. Rev. Stat. §4-108.

IN WITNESS THEREOF, the parties have duly authorized the execution and delivery of this Contract.

CITY OF BELLEVUE, NEBRASKA

ATTEST:

BY: \_\_\_\_\_  
Mayor

BY: \_\_\_\_\_  
City Clerk

ATTEST:

\_\_\_\_\_  
BY: \_\_\_\_\_

\_\_\_\_\_

TITLE: \_\_\_\_\_

"EXHIBIT A"

Quotation

Creative Sites LLC  
11506 Pierce Street  
Omaha, Ne 68144  
402-614-4606

July 20, 2021

Customer: City of Bellevue  
8201 S 42<sup>nd</sup> Street  
Bellevue, Ne 68147

**Coverwork:**

1 ea. Octagon Shelter 8' Eave, 4:12 Roof Pitch All Steel	\$ 29,630.00
1 ea. Engineered Drawings	\$ 850.00
Freight	\$ 5,410.00
Vented Roof	\$ 3,046.00
Add for Electrical Boxes and One Light	\$ 600.00

**Shelter Installation:**

Dirtwork	\$ 1,000.00
Footings	\$ 3,600.00
Erection	\$ 14,500.00
Pour 5" Concrete Pad 1,600sf @ \$7sf	<u>\$ 11,200.00</u>

Project Total \$ 69,836.00

- \*\*Delivery is 12- 16 weeks ARO.
- \*\*50% deposit required for shelter required with order.
- \*\*Sales tax is not included,
- \*\*Net 30 after project is complete for balance.

Julie Kutifek



Accepted By



## Model: Steelworx Octagonal Shelter w/ Vented Top, 32' Model # OC-32-SW-VT

**Manufacturing Mission:** To provide all prefabricated components and installation instructions for a 32' octagonal (measured from eave to eave) free standing bolt together, tubular steel constructed shelter kit.

**Design Criteria:** Structure is typically designed for a 25 lb live load and a 90 mph wind load capacity, but can be designed based on specific site requirements upon request. All structural members are ASTM A-500 U.S. grade B steel. Welded connection plates shall be ASTM A-36 hot rolled steel. All fabrication performed to latest AISC standards by AWS Certified welders. All framing connections are done using A325 grade bolts within concealed access openings from above and will later be concealed by the roofing. All roof framing shall be flush against the roof decking to eliminate the possibility of bird nesting.

**Tubular Steel Columns and Beams:** Standard column dimension shall be 6" x 6" x 3/16" tubular steel welded to 5/8" base plates for surface mounting. Main support beams are 7" x 5" x 3/16" and purlins are 5" x 3" x 1/8". Steel sizes are preliminary and may change due to ongoing review and final engineering.

**Roofing:** 24 Ga. pre-cut steel Multi-Rib panels with Kynar 500 finish in a variety of colors with white underside. Standard roof slope is a 4/12 pitch with a eave height of 8'-0". Attached to structural framing with exposed self tapping screws painted to match roof color. Matching 24 Ga. trim included.

**Frame Finish:** All steel framework will receive a corrosion protective TGIC Polyester powder coat, electro-statically applied and cured at 400°F. A large selection of standard colors are available.

**Foundation:** All columns need to be anchored to concrete footings (footing design provided separately). Columns can be surface mounted to footings with anchor bolts at or below finish slab elevation or they can be embedded directly into the footing without base plates upon request. Anchor bolts and bracing templates are included. Optional base plate covers are available at an additional cost.

**Hardware:** All structural hardware and roofing fasteners shall be provided.

**Warranty:** 10 years against manufacturer defects.

**Not Included:** Concrete work of any kind, unloading of product and installation.

### Additional Options:

- Flexibility of Design  
Such as: Height and Pitch
- Additional Engineering
- Variety of Colors
- Decorative Railings, Lattice, Braces, Trim, etc.
- Cupolas and Rooftop Accs.
- Column Style Variations
- Provision for Electrical
- Lexan Wind Screens
- Tongue & Groove Roof Decking
- Asphalt Shingles, Standing Seam, Cedar Shake, or Clay Tile Roofing
- Composite Finished Ceiling
- Solar Panels & Solar Lighting
- Site Furnishings and Accs.

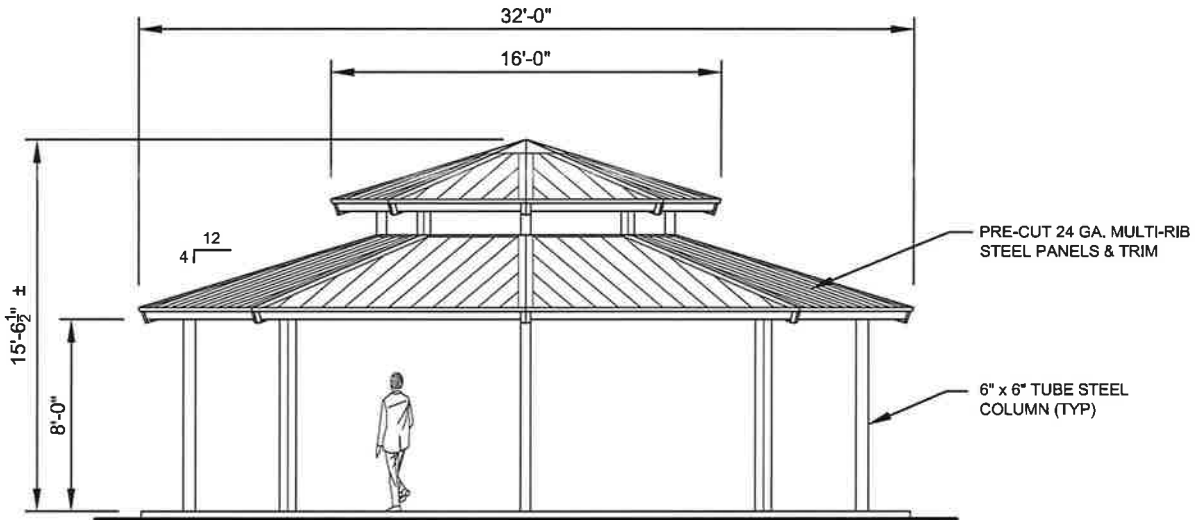


11800 East 9 Mile Road  
Warren, MI 48089  
Office: (586) 486-1088  
Fax: (586) 754-9130  
Toll Free: (800) 657-6118  
Email: info@coverworx.com  
www.CoverWorx.com

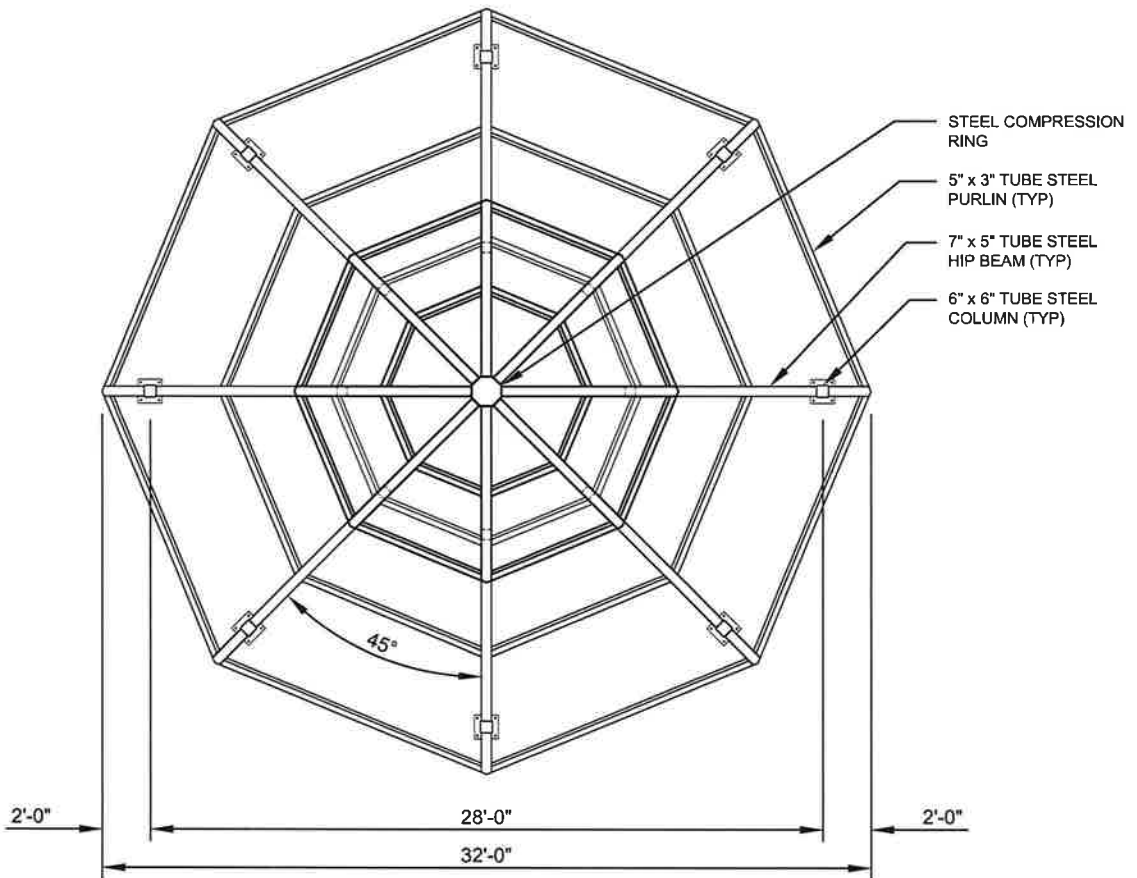
Steelworx Octagonal Shelter w/ Vented Top - 32'

Model: OC-32-SW-VT

DESIGN SPECIFICATIONS



**ELEVATION**  
SCALE: NTS



**FRAMING PLAN**  
SCALE: NTS



11800 East 9 Mile Road  
Warren, MI 48089  
Office: (586) 486-1088  
Fax: (586) 754-9130  
Toll Free: (800) 657-6118  
Email: info@coverworx.com  
www.CoverWorx.com

**Steelworx Octagonal Shelter w/ Vented Top - 32'**

**Model: OC-32-SW-VT**

**DESIGN SPECIFICATIONS**

Quotation

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11506 Pierce Street  
Omaha, Ne 68144  
402-614-4606

July 20, 2021

Customer: City of Bellevue  
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**Coverworx:**

1 ea. Octagon Shelter 8' Eave, 4:12 Roof Pitch All Steel	\$ 29,630.00
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Add for Electrical Boxes and One Light	\$ 600.00

**Shelter Installation:**

Dirtwork	\$ 1,000.00
Footings	\$ 3,600.00
Erection	\$ 14,500.00
Pour 5" Concrete Pad 1,600sf @ \$7sf	<u>\$ 11,200.00</u>

Project Total \$ 69,836.00

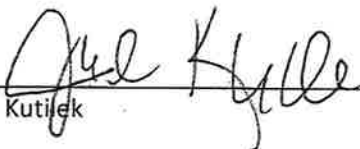
\*\*Delivery is 12- 16 weeks ARO.

\*\*50% deposit required for shelter required with order.

\*\*Sales tax is not included,

\*\*Net 30 after project is complete for balance.

Julie Kutilek



Accepted By





1309 S 204th St #330  
 Elkhorn, NE 68022  
 Office (402) 496-2669 Toll Free (800) 747-7528  
 Fax (402) 496-2018  
 www.crouchrec.com

**Quotation**

eric@crouchrec.com · nicole@crouchrec.com · julie@crouchrec.com · dan@crouchrec.com · bob@crouchrec.com

**Project:** Washington Park **April 22, 2021**  
**Bill To:** City of Bellevue **Ship To:** Dostals Construction  
13680 S 220th St  
Gretna, NE 68028  
**Contact:** Tracy Niemier **Contact:**  
**Phone:** 402-515-6250 **Phone:**  
**E-mail:** Tracy.Niemier@bellevue.net

Est. Shipping

Terms - Net 30

Qty	Model #	Description	Total
		<b><u>Poligon</u></b>	
1	GCO2-32MR	32' Carmel Shelter with 7.5' Clearance	\$30,510.00
		MultiRib Roof	\$9,910.00
		Anchor Bolts	\$605.00
5		Electrical Access	\$350.00
5		Electrical Cutouts	\$250.00
		2018 IBC	
		25 lb Snow Load, 115 mph Wind Load	
		Engineering	\$500.00
		Freight	\$1,200.00
		Colors: Evergreen Roof with Surrey Beige Frame	
		<b><u>Installation</u></b>	
		Dirt work	\$1,000.00
		Footings	\$3,800.00
		Erection	\$15,750.00
		Pour 5" Concrete Pad 1,600 SF	\$12,000.00
		(80 SF Figured for a Connection Walk)	
		- No private locates and no sprinkler repair	

**Subtotal:** \$75,875.00  
**Sales Tax:** Exempt  
**Total:** \$75,875.00

Signed By: *Julie Conradson*  
 Crouch Recreation

Accepted By: \_\_\_\_\_ Date: \_\_\_\_\_

SERVICE CHARGES OF 3% OF THE TOTAL BILL WILL BE CHARGED ON ALL PAST DUE INVOICES

PLEASE INITIAL FOR ACKNOWLEDGEMENT \_\_\_\_\_

If applicable, please mail a copy of your tax exempt certificate and/or credit application.

QUOTES ARE VALID FOR 30 DAYS

Thank you for the opportunity to provide this quotation.

July 29th, 2021

### **Administration**

- Bi-weekly Agenda meeting.
- Meeting with Bellevue University regarding operational issues and future developments.
- Budget task force meetings for 2022.(multiple)
- Bellevue Community Foundation event meeting for AHP.
- Waste Water Agency meeting. (multiple)
- Ortega's Auto Repair on South 13<sup>th</sup> Street to discuss operations.
- Meeting with Historical Society.
- CEAB Negotiations.(multiple)
- Attended former Mayor Ryan's funeral.
- S&P Rating call with D.A. Davidson, S&P Global Rating, Rich Severson and Mayor Hike.
- BPMA negotiations.
- C.I.P review with Planning and Finance.
- Meeting with Olde Towne developer.
- Attended Pre-App meeting for 54<sup>th</sup> and Hwy 370 development.
- Meeting with Legal and P&I to discuss ordinances and city codes.
- Meeting with Twin Creek developer – economic development projects.
- Meeting with MUD, Public Works and Community Development to review water infrastructure.
- Met with Concerned citizen from Greg Road.
- Meeting with Beardmore to discuss projects.
- Assisted HR with interview for open position in HR.
- NRD B Cycle Event.
- Code Enforcement appeal hearing on 2618 Margo
- Discussion on Oakhurst sign and repairs.
- Review of CDL licenses.
- Ft Crook Road redevelopment meetings.
- Meeting with developer for track.
- Employee Appreciation picnic.
- Meeting with Heartland Marketing.
- Meeting with Councilwoman Welch.
- Meeting with Councilman McCaw.

### **Community Development**

#### **Planning**

Attended meetings on Master Park Plan.

Met with staff and HDR on Fort Crook Road improvements.

Helped coordinate and attended the B Cycle kick off event.

Held a pre-application meeting with a developer on a commercial/residential project.

CITY OF BELLEVUE  
ADMINISTRATION REPORT

Met with a large business on relocating to Bellevue.

**Permits and Inspections**

Performed 828 Inspections

Issued 20new permits for single family dwellings

**Code Enforcement**

Notices Issued -222

Red Tags –24

Clean ups – 20

Calls – 1,082

Towed Vehicles –2

Tree Removals – 0

**Communications**

Updating the Website and Social Media Pages with all the ongoing summer activities. There have been a lot of updates with regards to storm cleanup, recreation, pools and road construction over the last month.

Staff worked through the weekend to keep Bellevue residents informed of the City of Bellevue's response to the large wind storm that came through the area on July 9/10th.

Continuing to work with the City of Bellevue and the Bellevue Community Foundation to plan for the Bellevue Rocks! Festival in August.

Helped host and promote the kickoff event for the City's first Heartland Bike Share (B cycle) location at the Twin Creek Trailhead on July 13th.

Worked with the Employee Appreciation Committee to coordinate and host the City's Employee Ice Cream and Gift Card Giveaway event.

**Finance**

**(See Attached)**

**City Clerk**

- Citizen Communication – Topic for Consideration Forms received by Clerk's Office (Month of July - No Forms for Consideration were received).
- Continue to work on putting fillable applications and forms on website to make it

more user friendly when applying for licenses and/or permits.

- Codification Project Update –The next group of ordinances have been sent to American Publishing for the 2<sup>nd</sup> update to the City Codes.
- Fireworks - All firework stands were taken down and cleaned up to meet city requirements and bond payments have been reimbursed to organizations. The 2021 Statement of Fireworks Profits & Expenses Form has been sent to all organizations to complete and is due in our office by September 30<sup>th</sup>.
- Board of Equalization – Liens have been recorded on unpaid properties presented at the Board of Equalization meeting on July 20<sup>th</sup>.
- Class “C” Liquor License renewals have been published as required.
- Lane Mile report has been updated and returned to NDOT showing the last 2 annexations.

### **Public Works**

#### Engineering

Reviewing Priority Project for the City of Bellevue

- a. Working with Vrana and City Legal Department to Address Century Link’s Delays in 36<sup>th</sup> Street Project
- b. Addressing Looking Glass Splash Pad Punch List
- c. Negotiating Parks Study Contract with Lamp Rynearson
- d. Reviewing Margo Street Drainage Issues
- e. Assisting with Fort Crook Road Study

#### Facilities

- a. Repairing Wastewater Line out of Gilbert Pool
- b. Monitoring HVAC System Up Grade for 1500 Wall Street
- c. Preparing to Replace Gazebo at Washington Park

#### Fleet Services

- a. Working to Complete Police Vehicle Buildout
- b. Performing Routine Maintenance on All City Vehicles and Equipment

#### Parks

- a. Mowing Season is in Full Swing, Maintaining Parks
- b. Cleaning Parks of Tree Debris
- c. Managing Extreme Shortage of Lifeguards to Keep Pools Open Under Difficult Conditions

## Streets

- a. City Wide Street Repair
- b. Completed CIP and Budget
- c. Completing Clean-up from Storm

## Wastewater

- a. Working On Proposals for Sarpy County Wastewater and City of Bellevue Interlocal Agreement for South of the Ridge Development in Bellevue ETJ
- b. Training new Employee for the Department
- c. Completing Repairs from Storm

## Library

- The Bellevue Public Library has added a new collection to its “library of things” with 93 different sets of craft stamps. Persons who enjoy scrapbooking or crafting can check out the sets, which have various themes, to help with their projects. In addition, the library has put its tabletop games collection back out (following a lessening of pandemic restrictions) for checkout by patrons. The library had received several inquiries regarding the games as an activity that families can enjoy together and across several age levels.
- Teens participating in the Summer Library Program have had two special creative outlets for their talents. Currently, the library has on display entries from the Tube Art Animals Contest. Teens were asked to transform simple cardboard tubing into a colorful and fanciful animal. Many of the entries also include appropriate dioramic settings for the animals. A grand prize and two runners-up will be chosen. Teens are also participating in the second “Nailed It” contest with participants following a basic recipe to produce their version of the model. Photos of their entries will be shared online for judging.
- In July, the Children’s Department held two sessions of “Poop & Paws,” a virtual wildlife field trip provided by the State Museum of the University of Nebraska-Lincoln. In addition, in their Kids in the Kitchen program for Grades K-6, they did “Fudgy One-Bowl Brownies” (in June they made “Bakers Bread in a Bag”). Other activities have included a virtual pet show via Zoom; Coloring with Cops; Storytimes in the Park; Preschool Tails and Tales; Maker Lab for Grades K-6 (Whale Tail String Art, Mini Taxidermy Animal Canvases, and Self-Propelled Flutterbys); Stitch Camp (Latch Hook Ladybugs and Juggling Chickens); and Choose Your Own Adventure lunch and book club. The SLPs for both age groups conclude July 31.
- The Bellevue Public Library recently received a donation of the original watercolor artwork of the dragon mural that is on a wall in the Children’s Department. Jackie Miller, former youth services librarian at the Bellevue Public Library, commissioned the mural for the Children’s area, and it was completed in 1978. Ms. Miller, who recently retired after 40 plus years as a librarian, was in Bellevue on a visit from North Carolina.
- The Bellevue Public Library Foundation is currently selling travel mugs created by staff through the LIS project’s laser cutter. The mugs, in a variety of colors, sell for \$8.50 and feature an image of books and “The Bellevue Public Library” logo. All proceeds will go to the Foundation to help support programs and services at the library.

## **Police**

- 07/01 – Kiwanis Meeting (presenter)
- 07/06 – City Council Meeting
- 07/07 – Beyond Big Cities meeting – Institute for Innovative Prosecution
- 07/12 – Law Enforcement Traffic Safety Advisory Council meeting (presenter)
- 07/14 – Heartland Bike Share
- 07/15 – SWAT Board meeting
- 07/16 – Meeting with Lt. Col. Cheatham and incoming Lt. Col. Maher
- 07/19 – 55<sup>th</sup> Security Forces – Changing of the Guard Ceremony
- 07/20 – City Council Meeting
  - BPOA Meeting
  - Meeting with Council Bluffs Police Chief Tim Carmody
- 07/21 – Employee Appreciation event
  - BPOA Meeting
- 07/22 – Meeting with County Attn. Bonnie Moore
- 07/23 – Meeting with UNO Criminal Justice Professor – Dr. Justin Nix
- 07/28 – Meeting with Heartland Family Services
  - Meeting with Homeland Security / Emergency Management – Shawn Key

## **Fire**

**(See Attached)**

1. Month-end/Year-end financials

June 2021 YTD numbers reflecting favorable results. Full year is expected to track budget or a little better.

<b>City of Bellevue</b>									
<b>Statement of Revenues and Expenditures All Funds</b>									
<b>June 2021</b>									
<b>All Funds</b>									
<b>In Thousands of Dollars</b>									
	Year to Date - Oct-20 to Jun-21				Full Year				% of Total Forecast
	Actuals	Budget	Fost vs Bud - Fav / (Unf)		9 + 3* Forecast	Budget	Fost vs Bud - Fav / (Unf)		
			Amount	%			Amount	%	
<b>Revenues</b>									
Property Taxes	\$ 18,951	\$ 18,352	\$ 599	3.3%	\$ 29,225	\$ 28,716	\$ 509	1.8%	29.1%
Sales Taxes	11,197	9,563	1,634	17.1%	14,759	12,751	2,008	15.7%	14.7%
Occupational/Business Taxes	1,311	1,863	(552)	(29.6%)	1,406	2,221	(815)	(36.7%)	1.4%
State Aid/Payments	7,510	4,648	2,862	61.6%	10,358	8,223	2,135	26.0%	10.3%
Fees, Permits and Licenses	14,835	13,711	1,124	8.2%	19,415	18,311	1,104	6.0%	19.3%
Grants and Other Cost Sharing	5,520	502	5,018	999.6%	9,951	7,702	2,249	29.2%	9.9%
All Other Including Bond Proceeds	7,893	6,134	1,759	28.7%	14,182	20,220	(6,038)	(29.9%)	14.1%
Transfers (Revenue)	1,168	1,168	-	-	1,168	1,168	-	-	1.2%
<b>Total Revenue</b>	<b>68,385</b>	<b>55,941</b>	<b>12,444</b>	<b>22.2%</b>	<b>100,484</b>	<b>99,312</b>	<b>1,152</b>	<b>1.2%</b>	<b>100.0%</b>
<b>Expenditures</b>									
Total Salaries & Wages	14,772	17,853	3,081	17.3%	20,557	23,498	2,941	12.5%	23.7%
Total Fringe Benefits	6,013	6,633	620	9.3%	8,677	9,308	631	6.8%	10.0%
Total Personnel	20,785	24,486	3,701	15.1%	29,234	32,806	3,572	10.9%	33.7%
Department Expenditures	15,378	17,397	2,021	11.6%	23,401	23,358	(43)	(0.2%)	27.0%
Total Operational	36,161	41,883	5,722	15.1%	52,635	56,164	3,529	6.3%	60.7%
Capital Expenditures	5,084	-	(5,084)	(6.7%)	17,352	25,480	8,108	31.8%	20.0%
All Other Including Bond Payments	13,599	12,745	(854)	(6.7%)	15,548	14,520	(1,028)	(7.1%)	17.9%
Transfers (Expenditures)	1,168	1,218	50	4.1%	1,168	1,168	-	-	1.4%
<b>Total Expenditures</b>	<b>56,012</b>	<b>55,846</b>	<b>(166)</b>	<b>(0.3%)</b>	<b>86,703</b>	<b>97,312</b>	<b>10,609</b>	<b>10.9%</b>	<b>100.0%</b>
<b>Net Revenues / (Expenditures)</b>	<b>\$ 12,373</b>	<b>\$ 96</b>	<b>\$ 12,278</b>	<b>nm</b>	<b>\$ 13,781</b>	<b>\$ 2,000</b>	<b>\$ 11,761</b>	<b>588.1%</b>	

\* 9 months of actuals plus 3 months of forecast.

2. Debt

Better than planned (lower outstanding debt). Manageable.

**City of Bellevue**  
**2021-22 Annual Budget**  
**Bonded Indebtedness**

	Total Debt	Total Debt to Valuation	Highway Allocation Bonds	Wastewater Bonds	Net GO Debt	G.O. Debt to Valuation
<b>Beginning Bonded Indebtedness at 10-01-20</b>	<b>\$ 78,905,000</b>	1.80%	\$ 7,095,000	\$ 2,175,000	\$ 69,635,000	1.59%
<b>Principal Payments During Year</b>	<b>(12,630,000)</b>		\$ (435,000)	\$ (250,000)	\$ (11,945,000)	
<b>New Debt Issued</b>	<b>12,370,000</b>		\$ 5,850,000	\$ -	\$ 6,520,000	
<b>Ending Bonded Indebtedness at 09-30-21</b>	<b>78,645,000</b>	1.72%	\$ 12,510,000	\$ 1,925,000	\$ 64,210,000	1.40%
<b>Principal Payments During Year</b>	<b>(6,880,000)</b>		\$ (435,000)	\$ (255,000)	\$ (6,190,000)	
<b>New Debt To Be Issued</b>	<b>10,260,000</b>		\$ 6,260,000	\$ -	\$ 4,000,000	
<b>Ending Bonded Indebtedness at 09-30-22</b>	<b>\$ 82,025,000</b>	1.79%	\$ 18,335,000	\$ 1,670,000	\$ 62,020,000	1.35%
Valuation: \$4,579,120,000						
<b>Budgeted Cash Balances (unrestricted) at 09-30-22</b>	<b>25,685,036</b>		\$ 12,751,276	\$ 5,840,100	\$ 7,093,659	
<b>Cash / Debt Principal at 09-30-22</b>			70%	350%	11%	
<b>Cash Balances / FYE2022 Debt Service</b>			21.8	20.1	2.0	
<b>Debt Service Coverage Ratio</b>				1.8		

3. Budget Summary (Increase to Budget due to \$4.2 million ARPA Restricted Funds and lower capital spending)

**City of Bellevue  
Fund Balance Cash Roll-Forward  
2021-22 Annual Budget**

	Total
<b>Fund Balance (Cash) at 09-30-20</b>	<b>\$ 21,777,792.83</b>
	-
Forecast Revenues	\$ 100,463,977.07
Forecast Expenditures	\$ 86,702,846.65
Forecast Net increase / (decrease)	<u>\$ 13,761,130.42</u>
<b>Forecasted Fund Balance (Cash) at 09-30-21</b>	<b>\$ 35,538,923.25</b>
	-
Budgeted Revenues	\$ 103,688,527.24
Budgeted Expenditures	\$ 107,438,527.24
Budgeted Net increase / (decrease)	<u>\$ (3,750,000.00)</u>
<b>Budgeted Fund Balance (Cash) at 09-30-22</b>	<b><u><u>\$ 31,788,923.25</u></u></b>

4. Finance Activities (other than regular A/R, A/P and accounting)

2021-2022 budget is anticipated to use some of the cash reserves built up over the past two years to replenish resources, adequately staff departments and perform needed infrastructure improvements, including street projects. Internal meetings have been held with department heads, administration and the Budget Task Force to create clear and agreed-upon direction of the planned spending. 1st Reading of the FYE2022 Budget will be August 3<sup>rd</sup>.



# City of Bellevue Fire Department

211 West 22<sup>nd</sup> • Bellevue, Nebraska 68005 • (402) 293-3153

## Bellevue Fire Department Council Report

Report Date 7/27/2021

### A. General Items:

- QA/QI
- Working on revising EMS SOP's
- Placing one full time paramedic on ALS Probation this week
- Community mental health advisory board meeting 8-11
- Preparing for Rock the River
- Coordinating coverage for Sarpy County Fair August 6-8
- Coordinating coverage for EMS standby at police officer testing 8-7
- Checking out all City generators for readiness after the storm.
- Testing the new phone voicemail system this week.

### B. Training:

- FAE III (fire apparatus engineer) training
- RIT ( rapid intervention team) procedure review
- Will be holding preceptor training for 3 paramedics who will be new preceptors on 8-2
- 

### C. Inspections:

- Under ground tank inspection Speedy Gas N Shop 12701 S 28<sup>th</sup>
- Fire alarm plan review 3702 370<sup>th</sup> Plaza.
- Fire alarm plan review Calvary Christian Church 10100 Cedar Island Rd.
- Fire Alarm plan review Los Solesitos Day Care 4001 Harrison St.
- Fire alarm plan review 1805 Lloyd St. Lloyd Street apartments.
- Plan review Rocket Car Wash 3410 Samson Way.
- Final inspection Chocolate Abeille 555 Cornhusker Rd. # 210.
- Under ground tank inspection Bellevue Public Schools Transportation 2824 Arboretum Dr.
- Day care inspection St. James 1501 Franklin St.
- Under ground inspection 2500 BMC Dr.
- Plan review town homes 2001 & 2005 Franklin St.
- Reviewed U.L. pump test results.
- Final building inspection Dollar Tree 4008 Twin Creek Drive.





# City of Bellevue

## Fire Department

211 West 22<sup>nd</sup> • Bellevue, Nebraska 68005 • (402) 293-3153

### D. Calls: July 13<sup>th</sup> through July 26<sup>th</sup>

Fire – 63

Rescue - 194

### E. Ambulance Billing

June 1-30, 2021

\$ 216,205.00 has been billed out to insurance companies (279 insurance claims)  
<\$ 97,292.25> approximate amount we will have to write off due to mandatory  
adjustments/write-offs  
(45% of \$216205.00 )  
=====

**\$ 118,912.75** is the anticipated, approximate net revenue from these insurance billings

#### Deposited into Bank:

**\$ 93,704.30** deposited into the bank June 1-30, 2021

6,907.69 additional revenue in Credit/Debit card payments were received June 1-30, 2021.

**\$ 100,611.99 TOTAL** June 1-30, 2021 rescue fee revenue

#### Statement Billing:

387 statements were mailed to patients for unpaid account balances

These statements totaled \$ 214,387.53

This is money owed the City from patients who have balances on their accounts after their insurance has paid **OR** patients who are self-pay.



# City of Bellevue Fire Department

211 West 22<sup>nd</sup> • Bellevue, Nebraska 68005 • (402) 293-3153

## F. Manpower Report Staffing

Staffing Report from 6/28/2021 through 7/4/2021

Monday	AM	T21	3-Person	No Bat. 2
Monday	PM	E1	3-Person	
Tuesday	AM	E1, E31, & E41	3-Person	No EMS Sup.
Tuesday	PM	E1	3-Person	
Wednesday	AM	E1, T21, & E31	3-Person	No Bat. 2
Wednesday	PM	Full		No Bat. 2
Thursday	AM	E1, T21, & E41	3-Person	
Thursday	PM	Full		
Friday	AM	E1, E31 & E41	3-Person	No EMS Sup. 1000-1800/ No Bat. 2
Friday	PM	E1 & E31	3-Person	No Bat. 2
Saturday	AM	E1, T21, E31 & E41	3-Person	
Saturday	PM	E1, T21, E31 & E41	3-Person	
Sunday	AM	E1, T21, E31 & E41	3-Person	No EMS Sup./ No Bat. 2
Sunday	PM	E1, T21, E31 & E41	3-Person	No Bat. 2

Staffing Report from 7/5/2021 through 7/11/2021

Monday	AM	E1, T21, E31 & E41	3-Person	
Monday	PM	E1, E31 & E41	3-Person	
Tuesday	AM	E1, T21, & E41	3-Person	
Tuesday	PM	Full		
Wednesday	AM	E1, T21, & E31	3-Person	
Wednesday	PM	Full		
Thursday	AM	E1, E31 & E41	3-Person	
Thursday	PM	E41	3-Person	
Friday	AM	E1, T21 & E41	3-Person	
Friday	PM	T21, E31 & E41	3-Person	
Saturday	AM	E1, E31 & E41	3-Person	
Saturday	PM	T21, E31 & 41	3-Person	
Sunday	AM	E1, T21 & E31	3-Person	No EMS Sup./ No Bat. 2
Sunday	PM	E1, E31 & E41	3 Person	





# City of Bellevue Fire Department

211 West 22<sup>nd</sup> • Bellevue, Nebraska 68005 • (402) 293-3153

## Staffing Report from 7/12/2021 through 7/18/2021

Monday	AM	E1 & E41	3-Person	
Monday	PM	E1	3-Person	
Tuesday	AM	E31 & E41	3-Person	
Tuesday	PM	Full		
Wednesday	AM	Full		
Wednesday	PM	Full		
Thursday	AM	E1, E31 & E41	3 Person	
Thursday	PM	E1, E31 & E41	3 Person	
Friday	AM	E31	3 Person	T21 OOS for training
Friday	PM	T21 & E31	3-Person	
Saturday	AM	T21, E31 & E41	3-Person	No Bat. 2
Saturday	PM	E41	3-Person	No Bat. 2
Sunday	AM	E1, E31 & E41	3-Person	
Sunday	PM	Full		

## Staffing Report from 7/19/2021 through 7/25/2021

Monday	AM	Full		T21 OOS Training
Monday	PM	Full		
Tuesday	AM	E1, & E41	3-Person	T21 OOS Training
Tuesday	PM	E41	3-Person	
Wednesday	AM	Full		T21 OOS Training/ No Bat. 2
Wednesday	PM	Full		No Bat. 2
Thursday	AM	E1 & E31	3-Person	T21 OOS Training/ No Bat. 2
Thursday	PM	E1, T21, E31 & E41	3-Person	No Bat. 2
Friday	AM	Full		T21 OOS Training
Friday	PM	E31	3-Person	
Saturday	AM	E1, T21, E31 & E41	3-Person	No EMS Sup./ No Bat. 2
Saturday	PM	E1, T21, E31 & E41	3-Person	No Bat. 2
Sunday	AM	E1, T21, E31 & E41	3-Person	No EMS Sup./ No Bat. 2
Sunday	PM	Full		