

MCCOOK CITY COUNCIL

REGULAR MEETING

Monday, March 20, 2023
5:30 PM - City Council Chambers

Roll Call.

Excuse Absences.

Open Meetings Act Announcement.

Invocation - McCook Ministerial Association - Kyle Dellevoet, McCook Christian Church.

Pledge of Allegiance.

Call to Order.

Items.

1. Announcements & Recognitions.

2. Consent Agenda.

**The Consent Agenda is approved on one motion. Any item listed on the Consent Agenda may, by the request of any single Council member or public in attendance, be considered as a separate item under the Regular Agenda.*

A. Approve the minutes of the March 6, 2023 regular City Council meeting.

B. Approve the application for a Special Designated Liquor License submitted by Ambriz Ventures, LLC, Liquor License #CK-124450, for a Anniversary Reception at Lewis Motor Sports, 401 N. Hwy. 83, on April 1, 2023 from 12:00 P.M. to 10:00 P.M.

C. Approve and application from Viaero Fiber Networks LLC to occupy city right-of-way for the purpose of installing new fiber optic cable, conduit, and ground level vaults from West 11th Street to 500' east of East 11th Street.

D. Approve the Interlocal Agreement between the City of McCook, Hitchcock County, and Hayes County for the use of the NCIC (National Crime Information Center) services and costs associated therewith.

E. Receive and file letter from Karen K. Barrett, Tax Specialist for the Nebraska Department of Revenue, as a reminder that McCook's local sales and use tax rate will increase from 1.5% to 2% on April 1, 2023.

3. Regular Agenda.

A. Approve the issuance of an RFP for comprehensive plan, zoning regulations, and subdivision regulations consulting services.

B. Update regarding the swimming pool, ballpark, and park projects and matters.

- C. Ordinance No. 2023-3064 providing for the amendment of Chapter 38: Fee Schedule - Appendix E, Water Department Rates and Fees.
 - 1. Chairperson asks Clerk to read Ordinance by title.
 - 2. Consider approval of Ordinance No. 2023-3064 upon its second of three readings.
 - D. Ordinance No. 2023-3065 providing for the amendment of Chapter 38: Appendix D, Sewer Department Rates and Fees.
 - 1. Chairperson asks Clerk to read Ordinance by title.
 - 2. Consider approval of Ordinance No. 2023-3065 upon its second of three readings.
 - E. Council Comments.
- Adjournment.

**CITY MANAGER'S REPORT
MARCH 20, 2023 CITY COUNCIL MEETING**

ITEM: 2.A.

Approve the minutes of the February March 6, 2023 regular City Council meeting.

BACKGROUND:

Receive and approve the minutes.

**FISCAL
IMPACT:** None.

APPROVALS:



Lea Ann Doak, City Clerk

March 13, 2023

McCook City Council
March 6, 2023
5:30 P.M. Central

A MEETING OF THE MAYOR AND COUNCIL OF THE CITY OF MCCOOK, NEBRASKA convened in open, regular, and public session at 5:30 o'clock P.M. in the City Council Chambers.

Present: Mayor Taylor, Councilmembers Calvin, Weedin, Muehlenkamp, Rambali.

Absent: None.

City Officials present: City Manager Schneider, City Attorney Mustion, City Clerk Doak, Assistant City Manager Koetter, Library Director Crocker, Utilities Director Fawver, Fire Chief Harpham, Building Inspector Mooney, Public Works Director Potthoff, Water Superintendent Riggs, Senior Services Director Siegfried, and Police Chief Smith.

Notice of the meeting was given in advance thereof by publication in the McCook Daily Gazette on March 2, 2023, the designated method of giving notice, a copy of the proof of publication being attached to these minutes. Advance notice of the meeting was also given to the Mayor and members of the City Council and a copy of the Acknowledgement of Receipt of such notice is attached to these minutes. Availability of the agenda was communicated in the advance notice to the Mayor and Council. All proceedings hereafter shown were taken while the meeting was open to the attendance of the public.

Mayor Taylor announced that a copy of the Open Meetings Act was posted by the entrance to the Council Chambers and available for public review. Invocation was provided by Jeff Donelan, pastor at the McCook Evangelical Free Church. Following the Pledge of Allegiance to the flag of the United States of America, Mayor Taylor called the meeting to order.

1. Announcements & Recognitions.

City Manager Schneider announced that a meeting of the Parks Advisory Board is scheduled for March 16, at noon at the Heritage Senior Center.

2. Consent Agenda.

Councilmember Weedin requested that Item H be removed from the Consent Agenda and placed on the Regular Agenda.

Motion to approve the remaining consent agenda. This motion, made by Calvin and seconded by Weedin, passed.

Taylor: YEA, Calvin: YEA, Weedin: YEA, Muehlenkamp: YEA, Rambali: YEA
YEA: 5, NAY: 0

- 2.A. Approve the minutes of the February 20, 2023 regular City Council meeting.
- 2.B. Offer a contract to HOA Solutions, Inc., with a bid of \$231,751.00, as the lowest responsible bidder for SCADA Equipment Procurement and authorize the Mayor to execute the necessary paperwork to award the contract.
- 2.C. Approve Bid Specifications and Documents for one (1) new 4-wheel drive Airport Rescue and Firefighting (ARFF) Vehicle and set the date to receive bids as March 28, 2023 at 2:30 P.M.
- 2.D. Award the bid for the 2023 Armor Coating Project to Topkote Inc. of Yankton, South Dakota in the amount of \$4.78 per gallon, that being the lowest best bid.
- 2.E. Reappoint Nate Schneider, City Manager, as board member and Linda Taylor as alternate representative on the REWARD Board of Directors.
- 2.F. Recommend approval to the Nebraska Liquor Control Commission the Application for Manager submitted by Heritage Hills Golf Course, 600 Clubhouse Drive, which holds License #IB-010450, the applicant being Justin J. West.
- 2.G. Approve the application for a Special Designated Liquor License submitted by Uppa Crik Hops LLC/Uppa Crik Tap Room, Liquor License #CKG-123586, for a wedding reception to be held at the Red Willow County Fairgrounds - Community Building, 1412 West 5th Street, on April 15, 2023 from 6:00 P.M. to 12:00 A.M.
- 2.I. Approve Resolution No. 2023-03 acquiring temporary and permanent Stormwater Easements from John Walters for the purpose of constructing and maintaining surface and subsurface storm sewer drainage and authorize the Mayor to sign.
- 2.J. Receive and file letter from Karen K. Barrett, Tax Specialist for the Nebraska Department of Revenue, as a reminder that McCook's local sales and use tax rate will increase from 1.5% to 2% on April 1, 2023.

3. Regular Agenda.

- 2.H. Receive and file information regarding ACE, the Public Alliance for Community Energy, distribution of \$10,760.00 to the City as its share of \$200,000 being distributed to 76 Nebraska member communities of the not-for-profit, community-owned natural gas supplier.

Councilmember Weedin noted that ACE is celebrating it's 25th anniversary this year and encouraged all to choose a gas provider during this year's Choice Gas Selection period, April 6 - 26, 2023.

I move to receive and file information regarding ACE, the Public Alliance for Community Energy, distribution of \$10,760.00 to the City as its share of \$200,000.00 being distributed to 76 Nebraska member community of the not-for-profit, community-owned natural gas supplier. This motion, made

by Weedin and seconded by Calvin, passed.

Taylor: YEA, Calvin: YEA, Weedin: YEA, Muehlenkamp: YEA, Rambali: YEA

YEA: 5, NAY: 0

3.A. Update regarding the swimming pool, ballpark, and park projects and matters.

City Manager Schneider gave an update regarding the swimming pool, ballpark, and park projects and matters.

The CMAR selection committee has met to conduct interviews of the four firms that submitted proposals, their recommendation to the Council is to be considered in a following agenda item; staff met with Paul Grieger with D.A. Davidson, Mike Rogers with Gilmore & Bell, and Austin McKillip with Cline Williams, regarding the proposed recreation bonds, the ordinance for consideration of the swimming pool bond will be brought to the Council in May or June, with a separate bond ordinance to be presented at a later date for the ballpark complex; Austin McKillip with Cline Williams, the City's attorney preparing the agreement for transfer of the completed Ballpark Complex to the City, will be meeting with the City, the College Foundation, College, and the Benjamin's in mid-March; the RAISE grant application for planning has been submitted; and the Parks Advisory Board meeting scheduled for March 16 will include discussion regarding and all-inclusive playground proposed for Kelley Park.

Dale Cotton spoke in support of saving the swimming pool bathhouse and rocket slide, Rose Weskamp suggested preserving the rocket slide, Dottie Parks and Jamie Mockry supported the removal of the rocket slide.

3.B. Approve the selection of Carrothers Construction Company, L.L.C. to serve as the construction manager for the McCook Municipal Swimming Pool project.

Motion to approve the selection of Carrothers Construction Company, L.L.C. to serve as the construction manager for the McCook Municipal Swimming Pool project. This motion, made by Calvin and seconded by Weedin, passed.

Taylor: YEA, Calvin: YEA, Weedin: YEA, Muehlenkamp: YEA, Rambali: YEA

YEA: 5, NAY: 0

3.C. Discussion regarding setting a time to hold a special city council meeting whereat a tour of the City of McCook's various departments will occur.

A special meeting was tentatively scheduled for April 28, 2023 at 7:30 P.M. to conduct a tour of the City's various departments.

3.D. Ordinance No. 2023-3061 approving the voluntary annexation of a tract of land located in the S1/2 of the SE1/4 of Section 24, Township 3 North, Range 30 West of the 6th P.M., Red Willow County, Nebraska, said tract of land included in the parcel to be referred to as Heritage Pointe Addition No. 3.

Mayor Taylor asked the Clerk to read Ordinance No. 2023-3061 by title.

AN ORDINANCE EXTENDING AND INCREASING THE CORPORATE LIMITS OF THE CITY OF MCCOOK, COUNTY OF RED WILLOW, STATE OF NEBRASKA, BY ANNEXING THERETO A CERTAIN TRACT OF LAND CONTIGUOUS TO AND NOT EMBRACED WITHIN THE PRESENT LIMITS OF THE CITY OF MCCOOK, NEBRASKA; REPEALING ALL OTHER ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE IN FORCE.

Ordinance No. 2023-3061 has been read by title and I move to approve upon its third and final reading. This motion, made by Calvin and seconded by Rambali, passed.

Taylor: YEA, Calvin: YEA, Weedon: YEA, Muehlenkamp: YEA, Rambali: YEA
YEA: 5, NAY: 0

Mayor Taylor stated for the record that Ordinance No. 2023-3061 is declared lawfully passed and adopted upon publication as required by law.

3.E. Ordinance No. 2023-3062 amending the City of McCook Code of Ordinances, pertaining to Contractor's License - Sections 150.400 - 150.412.

Mayor Taylor asked the Clerk to read Ordinance No. 2023-3062 by title.

AN ORDINANCE PROVIDING FOR THE AMENDMENT OF THE CITY OF MCCOOK CODE OF ORDINANCES, PERTAINING TO CONTRACTOR'S LICENSE, REPEALING CURRENT SECTIONS 150.400- 150.412 AND INSERTING SECTIONS 150.400 - 150.414; TO REPEAL CONFLICTING ORDINANCES AND SECTIONS; AND TO PROVIDE AN EFFECTIVE DATE..

Ordinance No. 2023-3062 has been read by title and I move to approve upon its third and final reading. This motion, made by Weedon and seconded by Muehlenkamp, passed.

Taylor: YEA, Calvin: YEA, Weedon: YEA, Muehlenkamp: YEA, Rambali: YEA
YEA: 5, NAY: 0

Mayor Taylor stated for the record that Ordinance No. 2023-3062 is declared lawfully passed and adopted upon publication as required by law.

3.F. Ordinance No. 2023-3063 providing for an amendment of Chapter 38: Fee Schedule - Appendix M, Building Regulation Fees (Contractor's License); of the City of McCook Code of Ordinances.

Mayor Taylor asked the Clerk to read Ordinance No. 2023-3063 by title.

AN ORDINANCE OF THE CITY OF MCCOOK, NEBRASKA AMENDING CHAPTER 38: FEE SCHEDULE, APPENDIX M: BUILDING REGULATION AND ZONING APPLICATION FEES, OF THE MUNICIPAL CODE OF THE CITY OF MCCOOK, NEBRASKA; TO PROVIDE FOR THE REPEAL OF ANY OTHER CONFLICTING ORDINANCES; AND PROVIDING A TIME

AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE ENFORCED.

Ordinance No. 2023-3063 has been read by title and I move to approve upon its third and final reading. This motion, made by Rambali and seconded by Muehlenkamp, passed.
Taylor: YEA, Calvin: YEA, Weedon: YEA, Muehlenkamp: YEA, Rambali: YEA
YEA: 5, NAY: 0

Mayor Taylor stated for the record that Ordinance No. 2023-3063 is declared lawfully passed and adopted upon publication as required by law.

3.G. Ordinance No. 2023-3064 providing for the amendment of Chapter 38: Fee Schedule - Appendix E, Water Department Rates and Fees.

Mayor Taylor asked the Clerk to read Ordinance No. 2023-3064 by title.

AN ORDINANCE PROVIDING FOR THE AMENDMENT OF CHAPTER 38: FEE SCHEDULE - APPENDIX E , WATER DEPARTMENT RATES AND FEES; OF THE CITY OF MCCOOK CODE OF ORDINANCES; PROVIDING FOR A RATE TO BE CHARGED FOR WATER BY THE MCCOOK WATER DEPARTMENT; PROVIDING FOR THE REPEAL OF ORDINANCE NO. 2022-3055 AND ANY AND ALL ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING FOR A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE IN FORCE.

Ordinance No. 2023-3064 has been introduced, read by title, and I move to approve upon its first reading. This motion, made by Calvin and seconded by Weedon. Discussion occurred.

Utilities Director Fawver stated that based on the recommendation of the city's financial advisory, the presented ordinance includes a 6% rate increase. The rate increase provides funds to cover inflation, equipment, and current and future capital improvements. Mr. Fawver reviewed the proposed current and long-term infrastructure projects.

Rose Weskamp commented regarding her water concerns; Jamie Mockry and Dottie Park commented on her concerns.

Councilmember Calvin called for the question. The motion on the floor to approve Ordinance No. 2023-3064 on its first reading was considered, passed.

Taylor: YEA, Calvin: YEA, Weedon: YEA, Muehlenkamp: YEA, Rambali: YEA
YEA: 5, NAY: 0

3.H. Ordinance No. 2023-3065 providing for the amendment of Chapter 38: Appendix D, Sewer Department Rates and Fees.

Mayor Taylor asked the Clerk to read Ordinance No. 2023-3065 by title.

AN ORDINANCE PROVIDING FOR THE AMENDMENT OF CHAPTER 38: FEE SCHEDULE - APPENDIX D, SEWER DEPARTMENT RATES AND FEES, OF THE CITY OF MCCOOK CODE OF ORDINANCES; PROVIDING FOR THE REPEAL OF ORDINANCE NO. 2022-3037 AND ANY AND ALL ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE ENFORCED.

Utilities Director Fawver stated that based on the recommendation of the city's financial advisory, the presented ordinance includes a 6% rate increase. The increase will generate additional revenue for future needs and prepare the Wastewater Department for large capital expenditures. The staff is currently working with Miller and Associates on much needed upgrades to the current treatment facility.

Ordinance No. 2023-3065 has been introduced, read by title, and I move to approve upon its first reading. This motion, made by Muehlenkamp and seconded by Weedon, passed.
Taylor: YEA, Calvin: YEA, Weedon: YEA, Muehlenkamp: YEA, Rambali: YEA
YEA: 5, NAY: 0

3.I. Council Comments.

Mayor Taylor thanked a staff for all that they do in maintaining and operating the city, they do a wonderful job for all of us.

Adjournment.

There being no further business to come before the Council, Mayor Taylor declared the meeting adjourned at 6:45 P.M.

Linda Taylor, Ex-Officio Mayor
and President of the Council

ATTEST:

Lea Ann Doak, City Clerk-Treasurer

**CITY MANAGER'S REPORT
FEBRUARY 20, 2023 CITY COUNCIL MEETING**

ITEM: 2.B.

Approve the application for a Special Designated Liquor License submitted by Ambriz Ventures, LLC, Liquor License #CK-124450, for a Anniversary Reception at Lewis Motor Sports, 401 N. Hwy. 83, on April 1, 2023 from 12:00 P.M. to 10:00 P.M.

BACKGROUND:

Ambriz Ventures will be catering this event. They are making application to allow them to serve alcohol at this temporary location. Approval of the City Council is required with all applications.

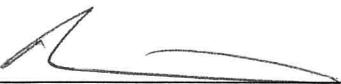
**FISCAL
IMPACT:** None.

APPROVALS:



Lea Ann Doak, City Clerk

March 13, 2023



Nathan A. Schneider, City Manager

March 13, 2023

**Special Designated License
Local Recommendation (Form 200)**

Applications must be entered on the portal after local approval – no exceptions
Late applications are non-refundable and will be rejected

Ambriz Ventures, LLC

Retail Liquor License Name or *Non-Profit Organization (*Must include Form #201 as Page 2)

312 Norris Ave., McCook, NE 69001

Retail Liquor License Address or Non-Profit Business Address

CK #124450

Retail License Number or Non-Profit Federal ID #

Consecutive Dates only 04-01-23
Event Date(s):

Event Start Time(s): 12p

Event End Time(s): 10p

Alternate Date:

Alternate Location Building & Address:

Event Building Name: Lewis Motor Sports

Event Street Address/City: 401 N. Hwy 83, McCook, NE 69001

Indoor area to be licensed in length & width: 80 X 53

Outdoor area to be licensed in length & width: ___ X ___ (Diagram Form #109 must be attached)

Type of Event: Anniversary Reception Estimate # of attendees: 200

Type of alcohol to be served: Beer Wine Distilled Spirits
(If not marked, you will not be able to serve this type of alcohol)

Event Contact Name: Andrew Ambriz Event Contact Phone Number: 402-922-0774

Event Contact Email: andrew@sehnerts.com

*Signature Authorized Representative: Andrew Ambriz Printed Name Andrew Ambriz

I declare that I am the authorized representative of the above named license applicant and that the statements made on this application are true to the best of my knowledge and belief. I also consent to an investigation of my background including all records of every kind including police records. I agree to waive any rights or causes of action against the Nebraska Liquor Control Commission, the Nebraska State Patrol or any other individual releasing said information to the Liquor Control Commission or the Nebraska State Patrol. I further declare that the license applied for will not be used by any other person, group, organization or corporation for profit or not for profit and that the event will be supervised by persons directly responsible to the holder of this Special Designated License.

*Retail licensee – Must be signed by a member listed on permanent license

*Non-Profit Organization – Must be signed by a Corporate Officer

Local Governing Body completes below:

The local governing body for the City/Village of _____ **OR** County of _____ approves the issuance of a Special Designated License as requested above. (Only one should be written above)

Local Governing Body Authorized Signature

Date

CITY MANAGER'S REPORT
March 20, 2023 CITY COUNCIL MEETING

ITEM: 2.C.

RECOMMENDATION:

Approve an application from Viaero Fiber Networks LLC to occupy city right-of-way for the purpose of installing new fiber optic cable, conduit, and ground level vaults from west of W. 11th Street to 500' East of E. 11th Street.

BACKGROUND:

Viaero Fiber Networks LLC, of Fort Morgan Co. is seeking permission to occupy City utility right-of-way to install 9,425 feet of fiber optic cable & conduit and 15 ground level handholes. See attached Google Earth Route.

The construction will Start 150' west of W. 11th and end 500' East of E. 11th. Most of the route will occupy the south side of East & West C. Street. The project will also include the installation of 15-30"x48"x36" Communication handholes. The handholes will be installed at ground level and material around excavation will be returned to safe and adequate condition meeting City standards.

FISCAL IMPACT:(None) Viaero Fiber Networks LLC will provide the required \$2,500 performance deposit prior to construction.

APPROVALS:



Pat Fawver Utilities Dir.

March 20, 2023



Kyle Potthoff, Public Works Dir.

March 20, 2023



Nate Schneider, City Manager

March 20, 2023



P.O. BOX 1059 • 505 WEST C • McCook, NE 69001-1059 • PHONE (308) 345-2022 • FAX (308) 345-1461

APPLICATION TO OCCUPY RIGHT-OF-WAY

APPLICANT NAME: Viaero Fiber Networks, LLC DATE: 02/01/2023
ADDRESS: 17372 Hwy 34, Fort Morgan, CO 80701 PHONE: 970-768-5057
FAX: _____ START DATE: 03/01/2023 FINISH DATE: 12/31/2023

A CASH BOND IS REQUIRED FOR ALL RIGHT-OF-WAY ENCROACHMENTS

Type: (circle) Over-Cross <u>Under-Cross</u> <u>Occupy</u> Miscellaneous	With a: (circle) Water Line Sewer Line Gas Line Telephone Line (Underground Aerial)	Tree Trimming/Removal Grading <u>Other</u> <i>Fiber Optic</i> Electric Line (Underground Aerial)
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Location: Beginning 143' feet (East ~~West~~ North South) of Intersection W 11th St & Hwy 34
and ending (East ~~West~~ North South) 470' feet of Intersection
E 11th Street & E C Street

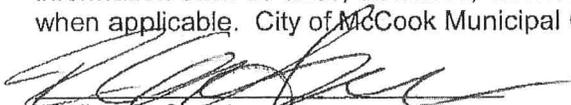
Requirements: The applicant agrees to complete this work in accordance with the terms and conditions of the City of McCook. Any permit issued **will be cancelled** if the work specified **is not completed within the term listed on the permit** or within any **additional length of time granted**. Request for an extension of time to complete the work must be made in writing. Any extension granted will be acknowledged in writing by the City of McCook. **The Applicant may cancel the permit with written notification** at any time prior to beginning work on right-of-way.

Performance Guarantee: (Make Payable to City of McCook)

Amount: \$ _____ Check No. _____ Or FID No. _____

This guarantee is for the faithful compliance by the Applicant to the terms of the permit. It is understood that should the Applicant fail to perform the work as set forth in the permit, the City of McCook will have the right to keep the performance guarantee as liquidated damages for its necessary supervisory and inspection expenses and to initiate such legal proceedings as are necessary to secure either performance of the work in compliance with the terms of the permit or the restoration of the right-of-way to its previous condition prior to the activities of the Applicant.

NOTE: Please provide a location plan for over-cross or under-cross of location to occupy City of McCook right-of-way. When your project requires engineering plans, please submit four sets of plans, no larger than 18"x24". The engineering plans shall show the general features of the work to be completed and all information such as sizes, distances, dimensions, sleeves, cuts and fills, erosion control measures, etc., when applicable. City of McCook Municipal Code §94.34.


Applicant's Signature

Recommended By _____

Date _____

Director of Public Works Approval _____

VIAERO FIBER NETWORKS, LLC CONSTRUCTION PLANS McCOOK RETAIL TO McCOOK EAST CITY OF McCOOK, NE

CONSTRUCTION NOTES:

1. CONTRACTOR MUST HAVE A COPY OF THE APPROVED PERMIT FROM THE APPROPRIATE AGENCIES ON THE JOBSITE AT ALL TIMES.
2. ALL WORK IS TO BE IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION IN THE WORK ZONE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. CONTRACTOR MUST OBTAIN LOCATES AND POTHOLE ALL UTILITIES ALONG THE PLANNED RUNNING LINE PRIOR TO CONSTRUCTION.
5. THE UTILITY SIZE AND EXACT LOCATION CROSSING THE PROPOSED RUNNING LINE SHALL BE DETERMINED DURING THE POTHOLE PROCESS AND NOTED ON THE CONSTRUCTION DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION AND AVOIDING ALL CONFLICTS WITH EXISTING UTILITIES.
7. ALL CABLE IS TO BE PLACED AT THE VIAERO STANDARD MINIMUM DEPTH OF 48".
8. ANY DISTURBED LANDSCAPING IS TO BE REPLACED TO EQUAL OR BETTER THAN THAT WHICH EXISTED PRIOR TO WORK.
9. ALL WORK IS TO BE PROPERLY BACKFILLED PRIOR TO END OF WORKDAY. NO OPEN TRENCHES ARE ALLOWED OVERNIGHT.
10. NO CONSTRUCTION ON PRIVATE PROPERTY IS TO COMMENCE UNTIL EASEMENT IS GRANTED IN WRITING BY VIAERO.
11. IN AREAS WHERE PROPOSED WORK IS IN CLOSE PROXIMITY TO EXISTING RIGHTS-OF-WAYS AND/OR PROPERTY LINES, CONTRACTOR IS RESPONSIBLE FOR LOCATING SAID LINES AND AVOIDING ENCROACHMENT ONTO UNAUTHORIZED PROPERTY.
12. THESE PLANS ARE PRESENTED IN A PERFORMANCE SPECIFICATION FORMAT. BIDDING CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.
13. CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.

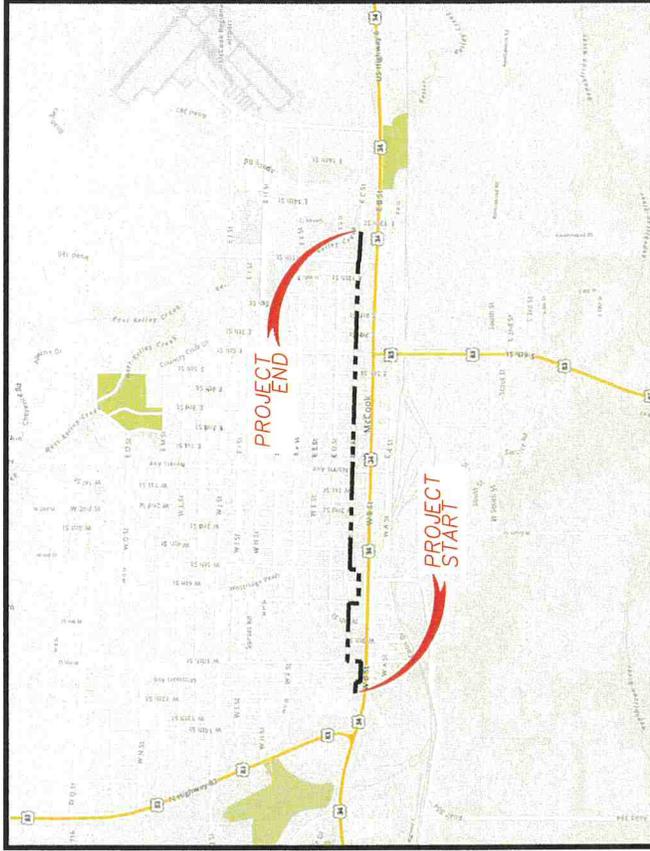
CONTACT INFORMATION:

VIAERO FIBER NETWORKS, LLC
 PH: 970-467-3142
 RON CHRISTENSEN
 RON.CHRISTENSEN@VIAERO.COM

GENERAL NOTES:

1. RUNNING LINE PLAN COLOR INDICATES:
 VICINITY MAP: BLACK = FOR ROUTE ONLY
 PLAN SHEETS: RED = DIRECTIONAL BORE
 PLAN SHEETS: GREEN = PLOW
 PLAN SHEETS: ORANGE = TRENCH
 PLAN SHEETS: GREY = PERMITTED BY OTHERS OR SEPARATELY

SCOPE OF WORK:
 THIS PROJECT IS PROPOSED TO CONSTRUCT CONDUITS UNDERGROUND WITHIN THE CITY OF MCCOOK RIGHT-OF-WAY. PLEASE REFERENCE THE PROJECT MAP FOR CLARITY. THIS PROJECT IS APPROXIMATELY 9551 IN LENGTH.



Project Map
NOT TO SCALE

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (Ø) - 1.25" SDR-11	9430	
FT	VIAERO FIBER	10475	
EA	VIAERO 30"X48"X24"Z0K-HH	15	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (Ø) 1.25" SDR-11	9425	
FT	TRENCH (Ø) 1.25" SDR-11	5	
FT	PLACE VIAERO FIBER	10475	
EA	VIAERO 30"X48"X38"Z0K SP HH	15	
SQ FT	CUT & RESTORE CONCRETE	700	

PROJECT APPROVAL SIGN-OFFS:

DATE: _____
 CITY OF MCCOOK, NEBRASKA
 DATE: _____
 VIAERO FIBER NETWORKS, LLC

WORK PLAN INDEX	
SHEET	DRAWING NAME
01	COVER SHEET
02-17	PROJECT SHEET
18	PROJECT NOTES
19	PROJECT DETAILS

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED - CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT - PERMITTED BY OTHERS
- CONDUIT - FLOW / TRENCH
- CONDUIT - DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF PAVEMENT
- FENCE - EXISTING
- FENCE - EXISTING
- RAILROAD - EXISTING
- RAILROAD - EXISTING
- UNDERGROUND ELECTRIC - EXISTING
- TELEPHONE - EXISTING
- STORM SEWER - EXISTING
- STORM SEWER - EXISTING
- STEAM - EXISTING
- WATER - EXISTING
- BUILDING

DRAWN BY: B. MUESEN
 CHECKED BY: J. MUESEN
 APPROVED BY:



1001 W. 10th Ave.
 Fort McCook, CO 80701

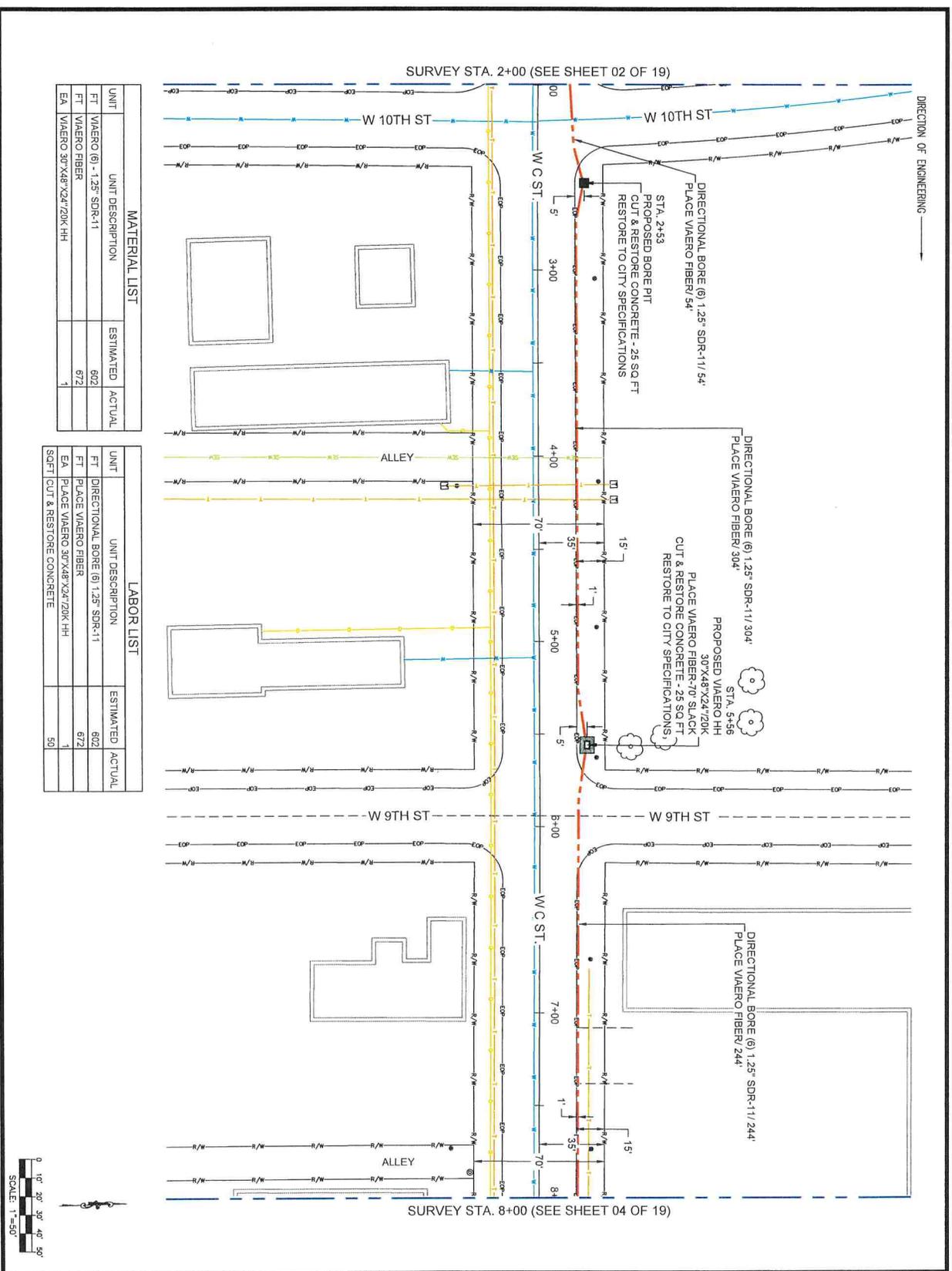
PH: 970-467-3142
 WWW.VIAERO.COM



PROJECT ADDRESS: MCCOOK RETAIL TO MCCOOK EAST
 CITY OF MCCOOK, NEBRASKA

TITLE: PROJECT SHEET

DATE PLOTTED: 11/18/2021	SCALE: NONE
DATE PRINTED: 11/18/2021	DATE: 01
DATE: 01/09/2023	DATE: 01/09/19



MATERIAL LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VAERO (6) - 1.25" SDR-11	602	
EA	VAERO 30"X48"X24"ZOK HH	1	

LABOR LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (6) 1.25" SDR-11	602	
EA	PLACE VAERO FIBER	672	
EA	PLACE VAERO 30"X48"X24"ZOK HH	1	
EA	CUT & RESTORE CONCRETE	50	



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED - CROSS BOX
- PROPOSED VAERO MANHOLE
- PROPOSED VAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINE TYPES

- DIRECTIONAL BORE BY OTHERS
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF SIDEWALK
- FENCE-DISTING
- EXISTING DUCT-DISTING
- GAS-DISTING
- UNDERGROUND ELECTRIC-DISTING
- TELEPHONE-DISTING
- SANITARY SEWER-DISTING
- STEAM-DISTING
- WATER-DISTING
- BOUNDARY

Drawn by: B. KLEBER
Checked by: J. WUSORAVE
Approved by:

PROJECT SHEET

TITLE: MCCOOK RENEWAL TO MCCOOK EAST
 CITY OF MCCOOK, ILLINOIS

DATE: 1/11/2021
SCALE: 1" = 50'

03

SHEET 03 OF 19

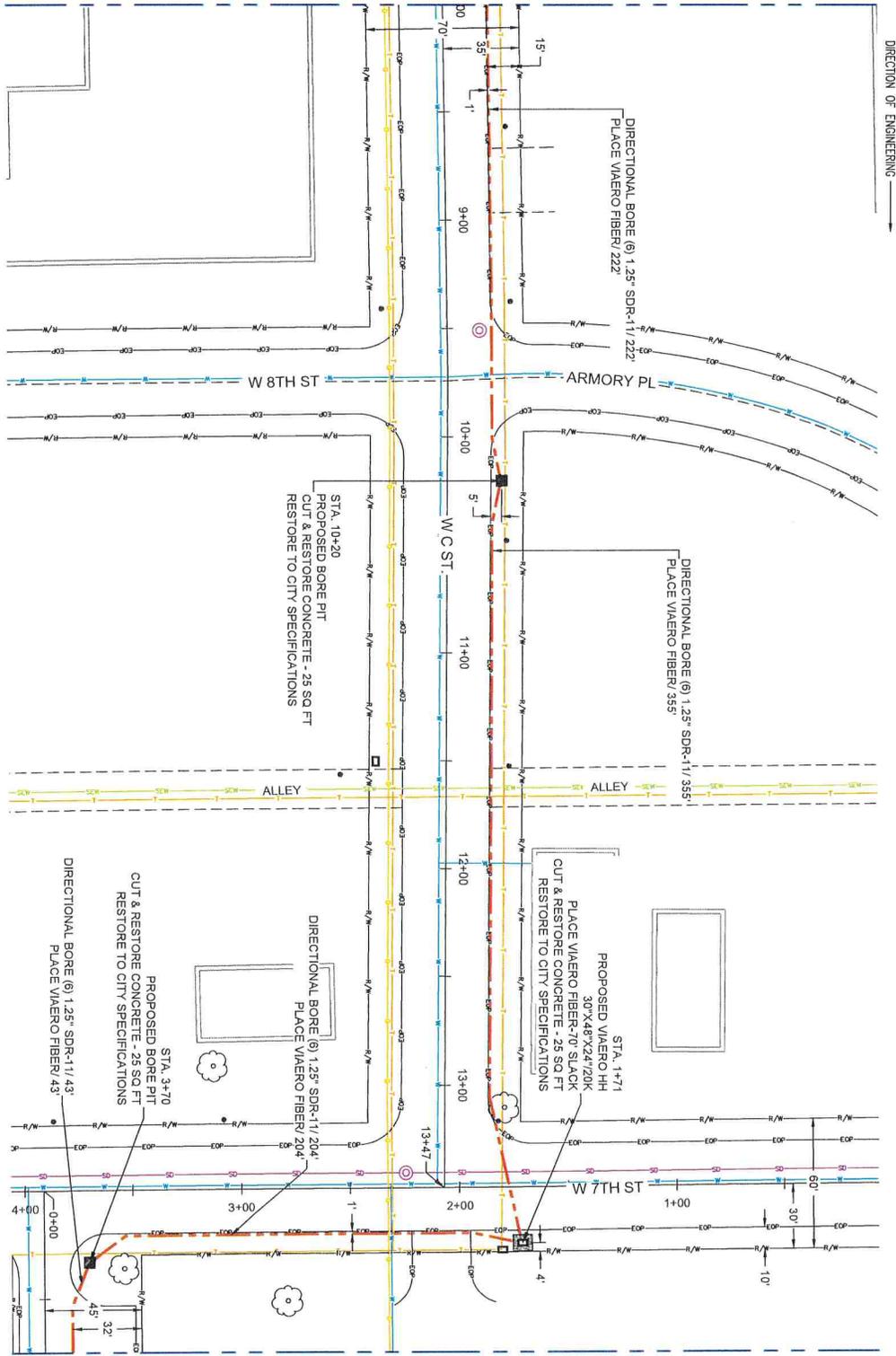
VIAERO
Fiber Networks, LLC

1224 N. Point Ave.
P.O. Box 100
Mccook, IL 60110

Nebraska 811

1-800-485-4142
www.w811.com

SURVEY STA. 8+00 (SEE SHEET 03 OF 19)



SURVEY STA. 0+75 (SEE SHEET 05 OF 19)

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (6) 1.25" SDR-11	824	
FT	VIAERO FIBER	894	
EA	VIAERO 30"X48"X24"20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (6) 1.25" SDR-11	824	
FT	PLACE VIAERO FIBER	894	
EA	PLACE VIAERO 30"X48"X24"20K HH	1	
SCFT	CUT & RESTORE CONCRETE	75	



LEGEND

- STREET SIGN
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ UTILITY VALVE
- ⊕ UTILITY POLE
- ⊕ UTILITY MANHOLE
- ⊕ UTILITY HANDHOLE
- ⊕ ELECTRICAL/UTILITY CABINET
- ⊕ TELEPHONE PED - CROSS BOX
- ⊕ PROPOSED VIAERO MANHOLE
- ⊕ PROPOSED VIAERO HANDHOLE
- ⊕ STORM INLET
- ⊕ STORM GRATE
- ⊕ CULVERT
- ⊕ TREE

LINETYPES

- POINT ACQUIRED BY OTHERS
- CONDUIT (FROM REVISION)
- CONDUIT - DIRECTIONAL BORE
- 80% OF - NEW
- 100% OF - NEW
- EDGE OF SYSTEM
- EDGE OF SYSTEM
- TRANCE - EXISTING
- SAND BOX - EXISTING
- SAND BOX - NEW
- UNDERGROUND ELECTRIC - EXISTING
- UNDERGROUND ELECTRIC - NEW
- SANITARY SEWER - EXISTING
- SANITARY SEWER - NEW
- WATER - EXISTING
- WATER - NEW
- SOILS

OWNER: B. KLEBER

DESIGNED BY: J. MANSURVIE

APPROVED BY:

PROJECT SHEET

TITLE: PROJECT SHEET

FILE NAME: 111912021

DATE DRAWN: 11/19/2021

DATE REVISION:

SCALE: 1" = 50'

SCALE: 1" = 50'

DATE: 10/17/2021

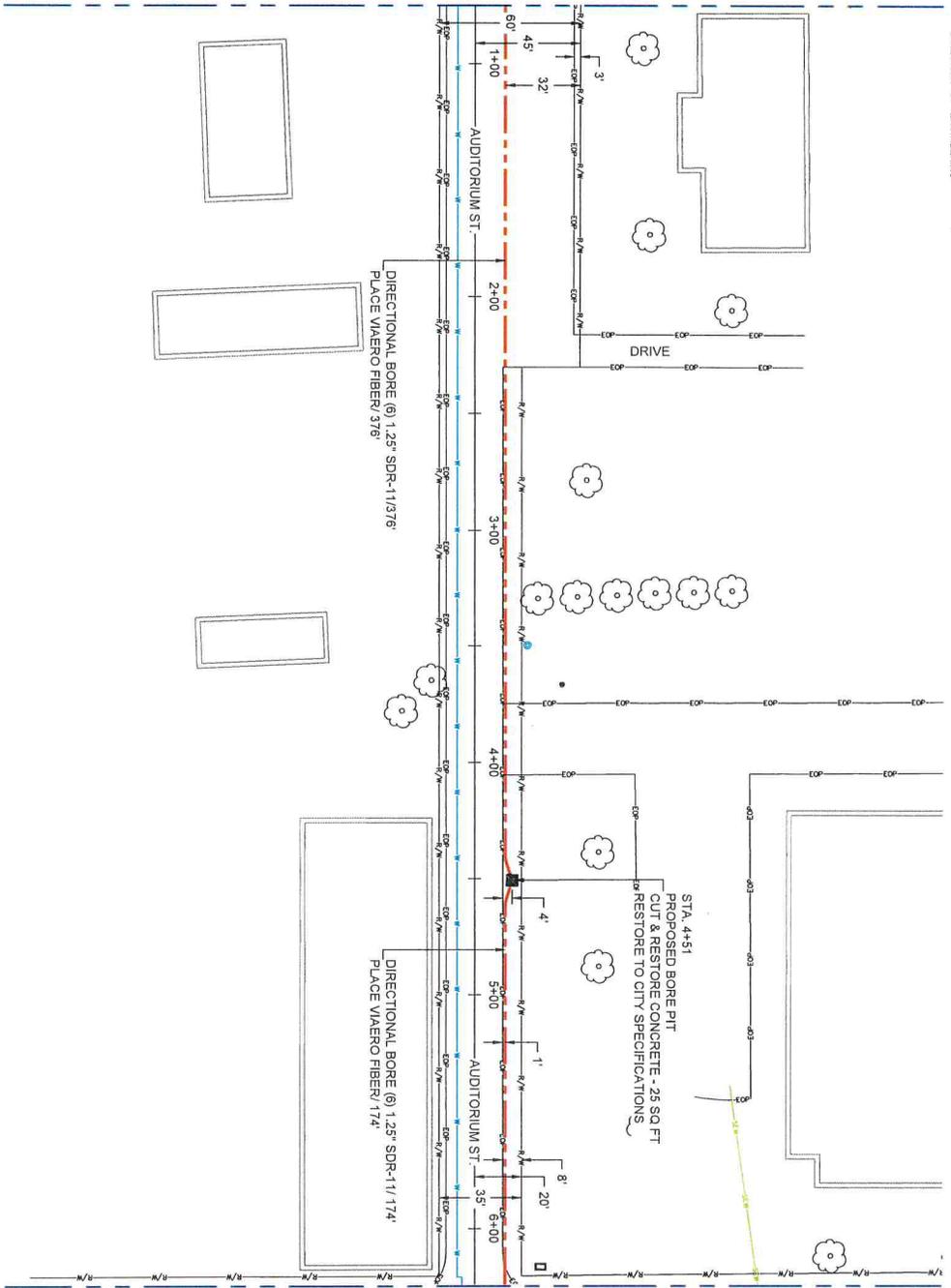
SHEET: 04 OF 19

1221 N. 9th Ave. | P.O. Box 467-242
 Fort Wayne, IN 46707 | 317.432.2000

NETTRASTAR 811
 MACKCOCK RETAIL TO MACKCOCK EAST
 CITY OF MACKCOCK, NEBRASKA

SURVEY STA. 0+75 (SEE SHEET 04 OF 19)

DIRECTION OF ENGINEERING →



SURVEY STA. 6+24 (SEE SHEET 06 OF 19)

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (6) - 1.25" SDR-11	550	
FT	VIAERO FIBER	550	

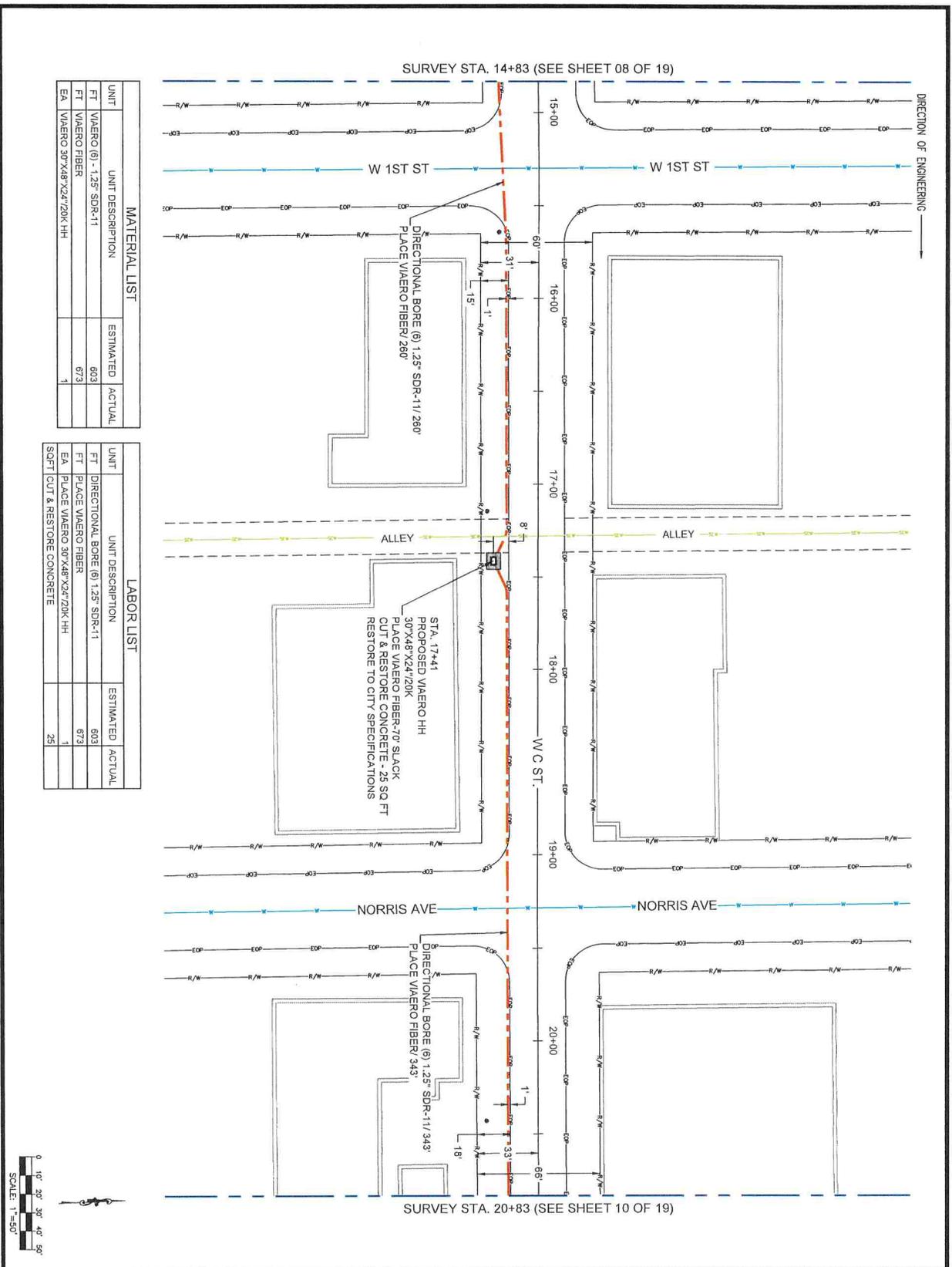
LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (6) 1.25" SDR-11	550	
FT	PLACE VIAERO FIBER	550	
SQFT	CUT & RESTORE CONCRETE	25	



LEGEND

- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - UTILITY VALVE
 - UTILITY POLE
 - UTILITY MANHOLE
 - UTILITY HANDHOLE
 - ELECTRICAL/UTILITY CABINET
 - TELEPHONE PED - CROSS BOX
 - PROPOSED VIAERO MANHOLE
 - PROPOSED VIAERO HANDHOLE
 - STORM INLET
 - STORM GRATE
 - CULVERT
 - TREE
 - CUT-RESTORE
- LINE TYPES**
- CONDUIT - REPAIRED BY OTHERS
 - CONDUIT - DIRECTIONAL BORE
 - BORE - IN-BORE
 - BORE - DE-BORE
 - EDGE OF ASPHALT
 - EDGE OF SIDEWALK
 - FENCE - EXISTING
 - RAILROAD TRACK - EXISTING
 - GAS - EXISTING
 - UNDERGROUND ELECTRIC - EXISTING
 - TELEPHONE - EXISTING
 - STORM - EXISTING
 - WATER - EXISTING
 - BOUNDARY

<p>VIAERO Fiber Networks, LLC</p> <p>1224 W. Park Ave. P.O. Box 467-342 Fort Wayne, IN 46701 www.viaero.com</p>	<p>Nebraska 811</p> <p>811 SERVICE MACCOCK HETPAL TO MACCOCK EAST CITY OF MACCOCK, NEBRASKA</p>	<p>PROJECT SHEET</p> <p>DATE: 11/19/2021</p> <p>SCALE: 1" = 50'</p> <p>05</p> <p>DATE: 1/21/2022</p> <p>SHEET: 05 OF 18</p>
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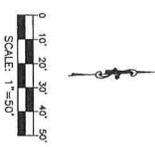


MATERIAL LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (9) - 1.25" SDR-11	603	
FT	VIAERO FIBER	673	
EA	VIAERO 30"X48"X24"ZOK HH	1	

LABOR LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (9) 1.25" SDR-11	603	
FT	PLACE VIAERO FIBER	673	
EA	PLACE VIAERO 30"X48"X24"ZOK HH	1	
SQFT	CUT & RESTORE CONCRETE	25	



LEGEND

- STREET SIGN
- ⊕— FIRE HYDRANT
- ⊙— WATER METER
- ⊙— UTILITY VALVE
- ⊙— UTILITY POLE
- ⊙— UTILITY MANHOLE
- ⊙— UTILITY HANDHOLE
- ⊙— ELECTRICAL/UTILITY CABINET
- ⊙— TELEPHONE PED - CROSS BOX
- ⊙— PROPOSED VIAERO MANHOLE
- ⊙— PROPOSED VIAERO HANDHOLE
- ⊙— STORM INLET
- ⊙— STORM GRATE
- ⊙— CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-REPAIR BY OTHERS
- CONDUIT-DIRECTIONAL BORE
- BORE-DR-NEW
- BORE-DR-EXISTING
- EDGE OF ASPHALT
- EDGE OF SIDEWALK
- FENCE-EXISTING
- FENCE-NEW
- RAILROAD TRACKS
- DIS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- SANITARY SEWER-EXISTING
- WATER-EXISTING
- SOLID

DATE: 1/21/2023

SHEET: 09 OF 19

09

VIAERO
Fiber Networks, LLC

1221 N. 9th Ave.
Ft. Belknap, ND 58001
WWW.VIAERO.COM

Nebraska 811

FOR ADDRESS: MACCOCK RETAIL TO MACCOCK EAST
CITY OF MACCOCK, NEBRASKA

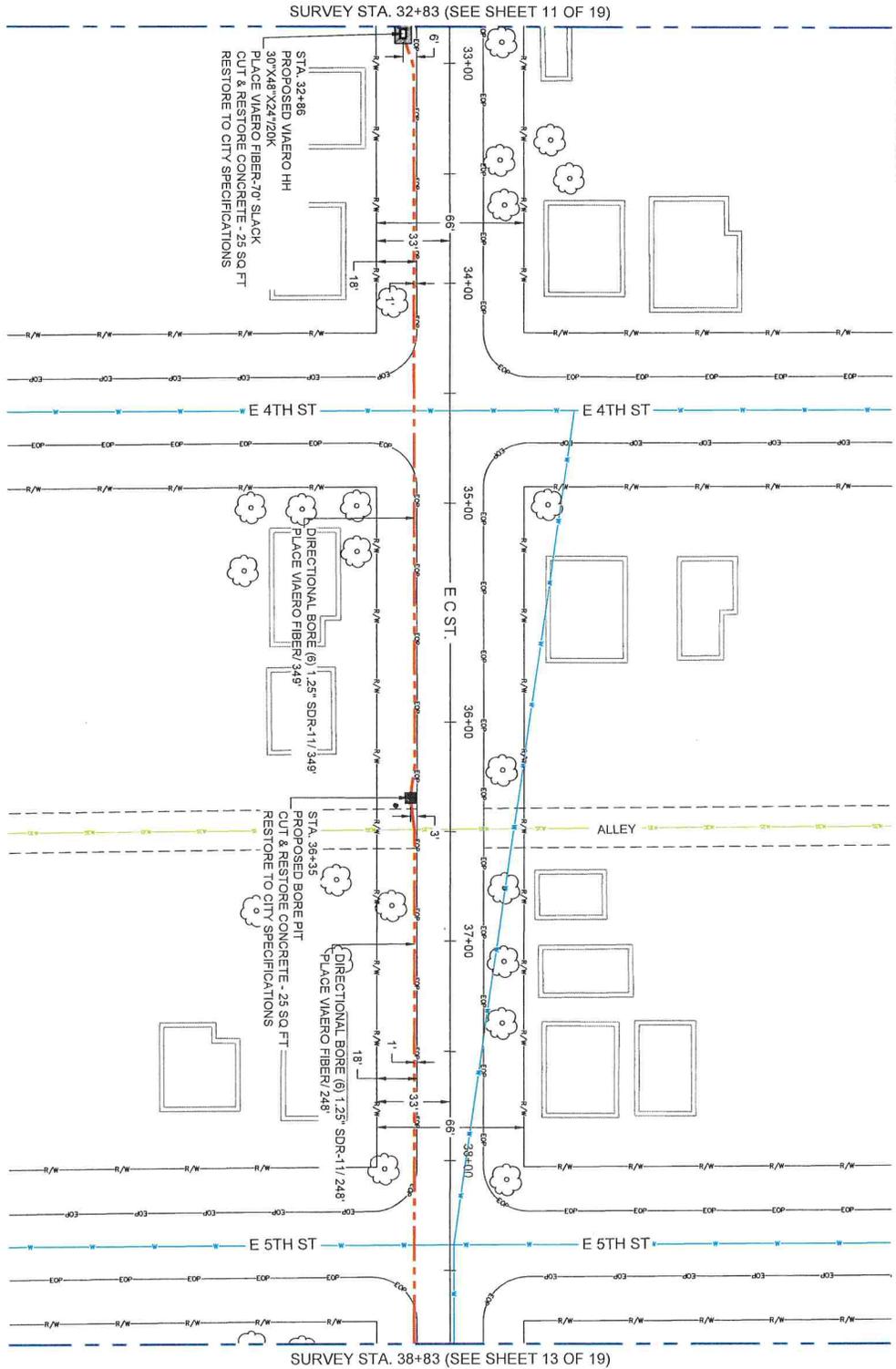
PROJECT SHEET

TITLE:

DATE: 1/11/2023

SCALE: 1"=50'

DIRECTION OF ENGINEERING →



SURVEY STA. 32+83 (SEE SHEET 11 OF 19)

SURVEY STA. 38+83 (SEE SHEET 13 OF 19)

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (Ø) - 1.25" SDR-11	597	
FT	VIAERO FIBER	687	
EA	VIAERO 30'x48'x24'x20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (Ø) 1.25" SDR-11	597	
FT	PLACE VIAERO FIBER	687	
EA	PLACE VIAERO 30'x48'x24'x20K HH	1	
SQFT	CUT & RESTORE CONCRETE	50	



LEGEND

- STREET SIGN
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ UTILITY VALVE
- ⊕ UTILITY POLE
- ⊕ UTILITY MANHOLE
- ⊕ UTILITY HANDHOLE
- ⊕ ELECTRICAL/UTILITY CABINET
- ⊕ TELEPHONE PED - CROSS BOX
- ⊕ PROPOSED VIAERO MANHOLE
- ⊕ PROPOSED VIAERO HANDHOLE
- ⊕ STORM INLET
- ⊕ STORM GRATE
- ⊕ CULVERT
- ⊕ TREE
- ⊕ OUT-RESTORE

LINE TYPES

- CONDUIT - FINISHED BY OTHERS
- CONDUIT - DIRECTIONAL BORE
- 80% - 95% - ANY
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- EDGE OF SIDEWALK
- FENCE - EXISTING
- GROUND - EXISTING
- ROAD - EXISTING
- ROAD - PROPOSED
- UNDERGROUND ELECTRIC - EXISTING
- TELEPHONE - EXISTING
- STEEL - EXISTING
- STEEL - EXISTING
- WATER - EXISTING
- BUILDING

VIAERO
Fiber Networks, LLC

1221 N. Dodge Ave.
P.O. Box 462-3142
Fort Wayne, IN 46701
www.viaero.com

McCook 811

1221 N. Dodge Ave.
P.O. Box 462-3142
Fort Wayne, IN 46701
www.mccoek.com

PROJECT SHEET

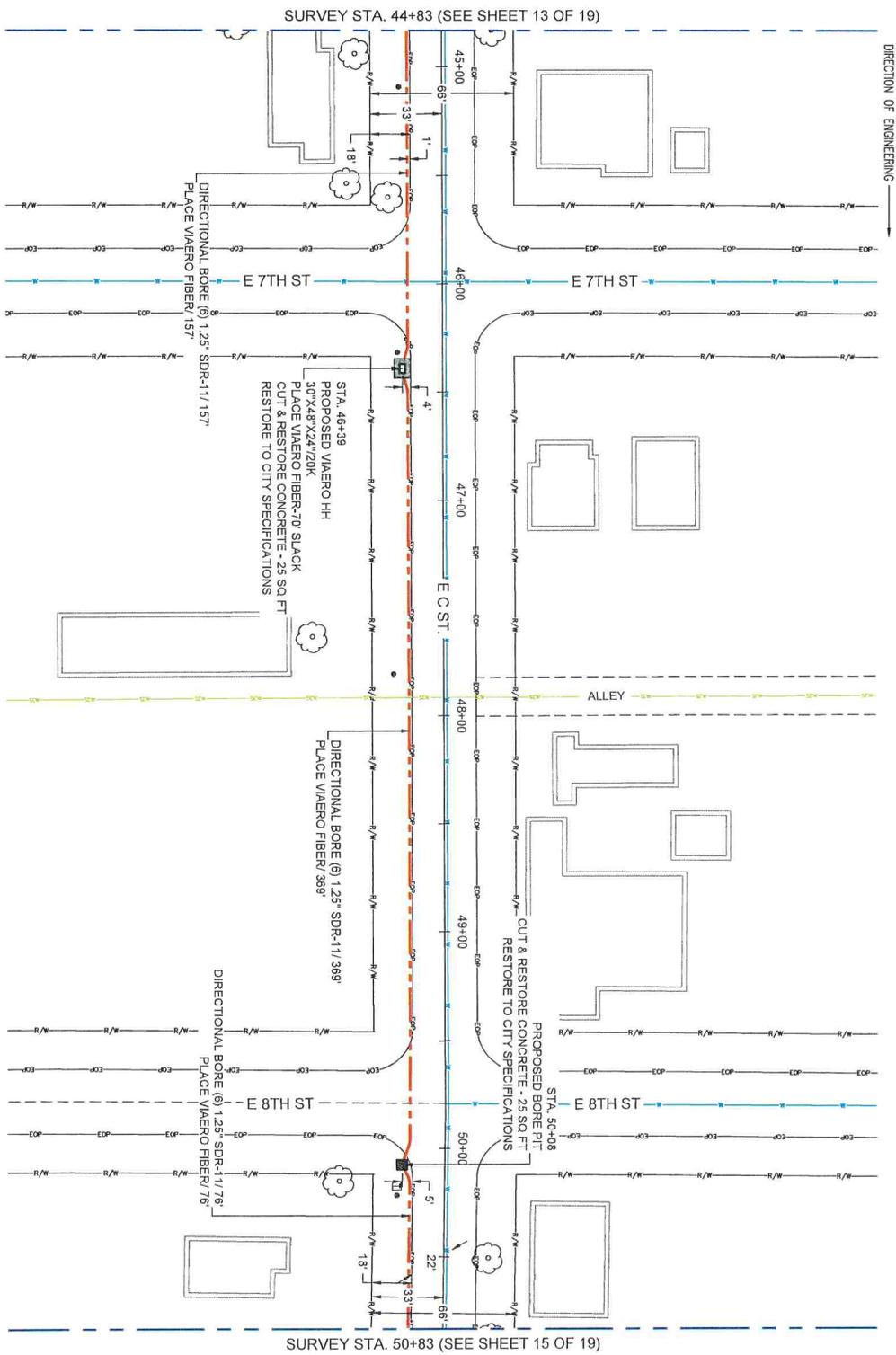
TITLE: _____

DATE: 11/19/2023

SCALE: 1" = 50'

DATE: 11/19/2023

SCALE: 12.00' = 19'



MATERIAL LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (6) - 1.25 SDR-11	601	
FT	VIAERO FIBER	671	
EA	VIAERO 30'x48'x24'x20K HH	1	

LABOR LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (6) 1.25" SDR-11	601	
EA	PLACE VIAERO FIBER	671	
EA	PLACE VIAERO 30'x48'x24'x20K HH	1	
SOFT	CUT & RESTORE CONCRETE	50	



LEGEND

- STREET SIGN
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ UTILITY VALVE
- ⊕ UTILITY POLE
- ⊕ UTILITY MANHOLE
- ⊕ UTILITY HANDHOLE
- ⊕ ELECTRICAL/UTILITY CABINET
- ⊕ TELEPHONE PED - CROSS BOX
- ⊕ PROPOSED VIAERO MANHOLE
- ⊕ PROPOSED VIAERO HANDHOLE
- ⊕ STORM INLET
- ⊕ STORM GRATE
- ⊕ CULVERT
- ⊕ TREE
- ⊕ OUT-RESTORE

LINE TYPES

- CONDUIT-RESTORED BY OTHERS
- CONDUIT-DIRECTIONAL BORE
- BORE-1\"/>

DATE: 11/15/2021
SCALE: 1" = 50'
SHEET: 14 OF 19

VIAERO
 Fiber Networks, LLC

1201 W. Park Ave. P.O. Box 452342
 Des Moines, IA 50321
 WWW.VIAERO.COM

Midwest
Keltrast 811

PROJECT SHEET

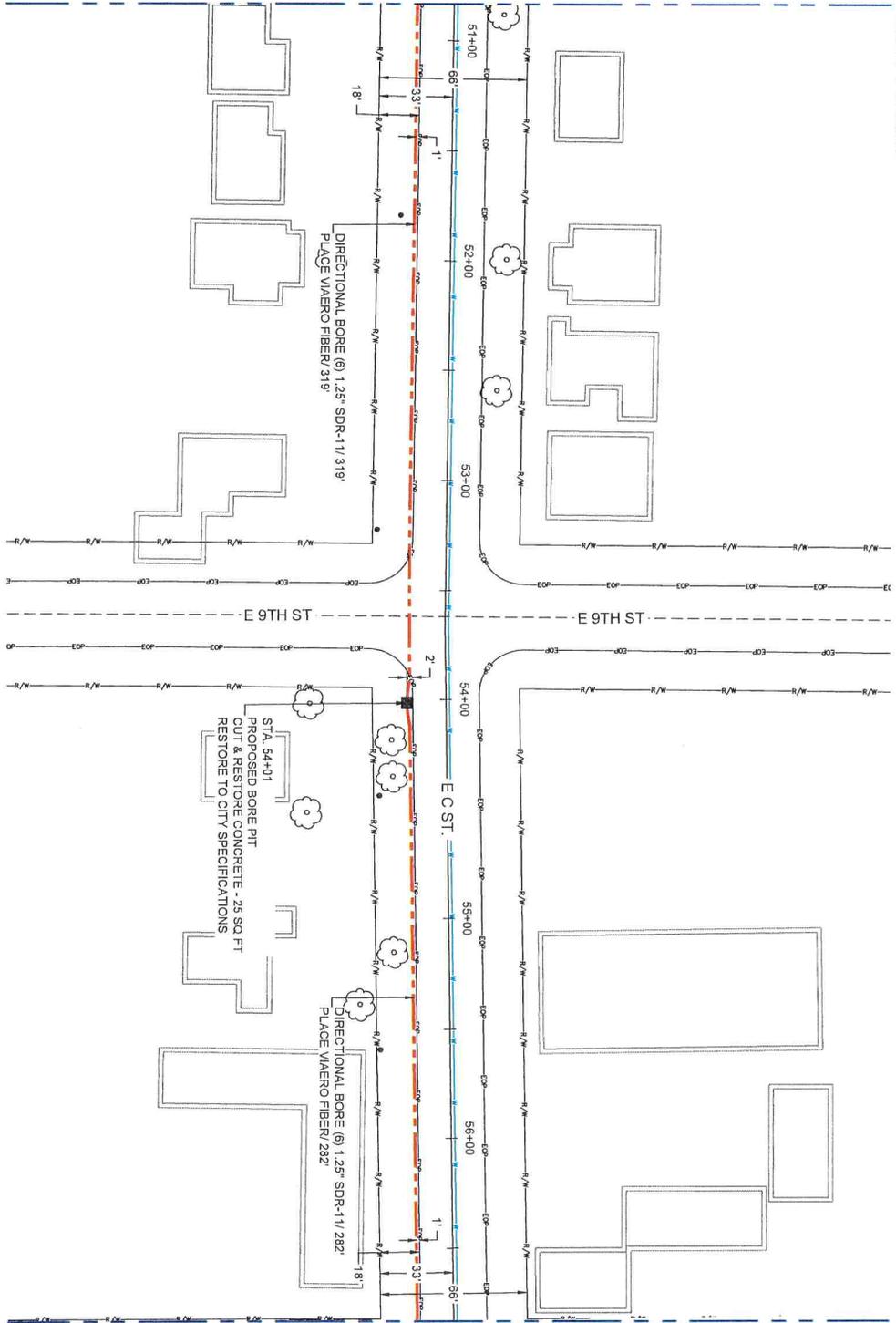
TITLE: MADCOCK RETAIL TO MADCOCK EAST
 CITY OF MADCOCK, NEBRASKA

DATE: 11/15/2021
SCALE: 1" = 50'
SHEET: 14 OF 19

DATE: 11/15/2021
SCALE: 1" = 50'
SHEET: 14 OF 19

SURVEY STA. 50+83 (SEE SHEET 14 OF 19)

DIRECTION OF ENGINEERING →



SURVEY STA. 56+83 (SEE SHEET 16 OF 19)

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (6) - 1.25\"/>		

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (6) 1.25\"/>		
FT	PLACE VIAERO FIBER	601	
SAFT	CUT & RESTORE CONCRETE	25	



LEGEND

- STREET SIGN
- ⊕ FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- ⊗ UTILITY POLE
- ⊙ UTILITY MANHOLE
- ⊙ UTILITY HANDHOLE
- ⊙ ELECTRICAL/UTILITY CABINET
- ⊙ TELEPHONE PED - CROSS BOX
- ⊙ PROPOSED VIAERO MANHOLE
- ⊙ PROPOSED VIAERO HANDHOLE
- ⊙ STORM INLET
- ⊙ STORM GRATE
- ⊙ CULVERT
- TREE
- OUT-RESTORE

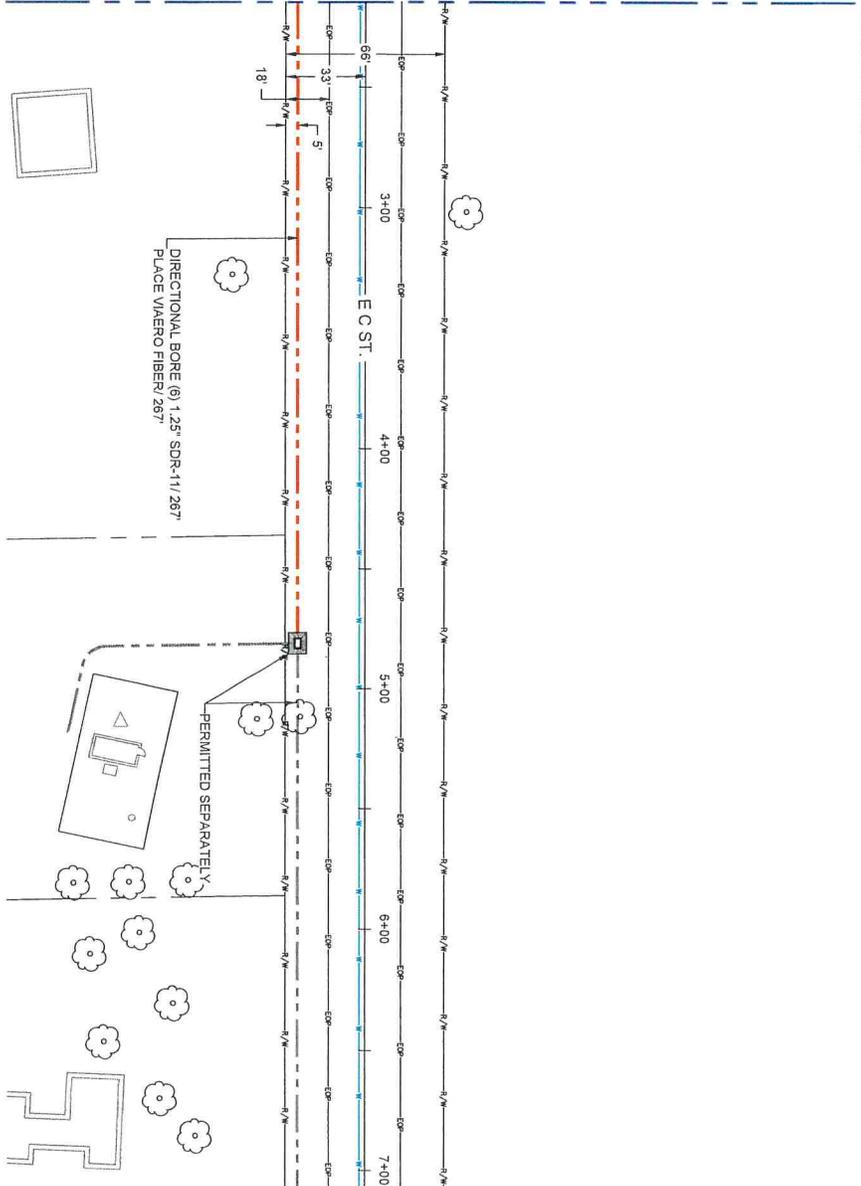
LINE TYPES

- CONDUIT - FURNISHED BY OTHERS
- CONDUIT - FURNISHED BY VIERO
- CONDUIT - EXISTING
- ROOST-OF-ANY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- FENCE-EXISTING
- GATED PILE-EXISTING
- RAILROAD-EXISTING
- INTERMEDIARY ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- SIGN - SPAN-EXISTING
- SIGN - POST-EXISTING
- SIGN - EXISTING
- WATER-EXISTING
- BUILDING

<p>VIAERO Fiber Networks, LLC</p> <p>1201 W. Park Ave. PO Box 209, 683 242 Web: www.viaero.com</p>	<p>DATE: 11/19/2021</p> <p>SCALE: 1" = 50'</p> <p>DATE: 11/19/2021</p> <p>SCALE: 1" = 50'</p>	<p>PROJECT SHEET</p> <p>15</p>
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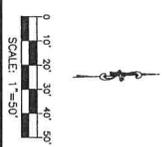
DIRECTION OF ENGINEERING →

SURVEY STA. 2+14 (SEE SHEET 16 OF 19)



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (Ø) - 1.25 SDR-11	267	
FT	VIAERO FIBER	267	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (Ø 1.25 SDR-11	267	
FT	PLACE VIAERO FIBER	267	



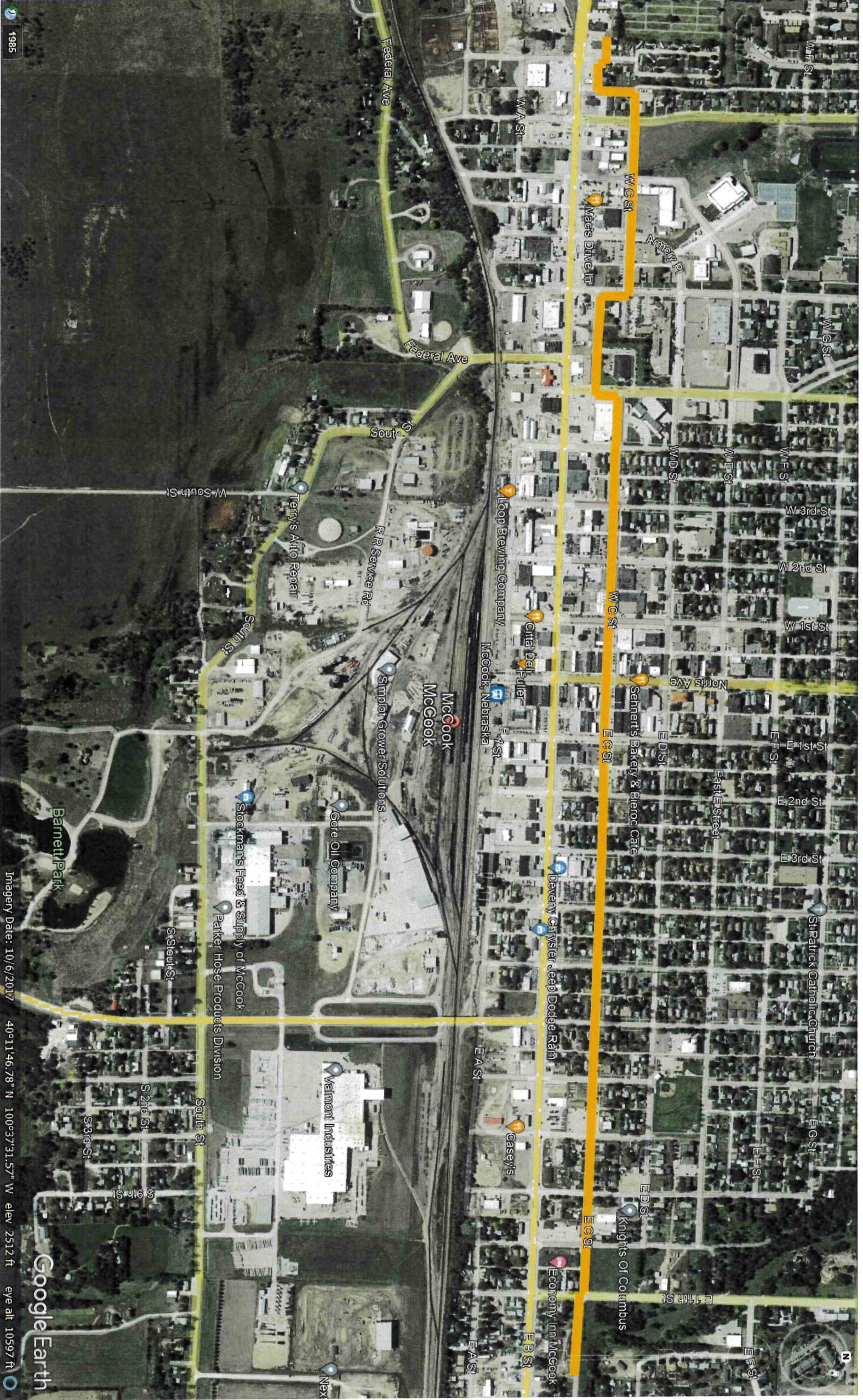
LEGEND

- STREET SIGN
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ UTILITY VALVE
- ⊕ UTILITY POLE
- ⊕ UTILITY MANHOLE
- ⊕ UTILITY HANDHOLE
- ⊕ ELECTRICAL/UTILITY CABINET
- ⊕ TELEPHONE PED - CROSS BOX
- ⊕ PROPOSED VIAERO MANHOLE
- ⊕ PROPOSED VIAERO HANDHOLE
- ⊕ STORM INLET
- ⊕ STORM GRATE
- ⊕ CULVERT
- ⊕ TREE
- ⊕ CUT-RESTORE

LINE TYPES

- CONDUIT - PERMITTED BY OTHERS
- CONDUIT - (FIBER / METAL)
- FIBER OPTIC - (FIBER) - (METAL)
- ROOT-OF-PAVEMENT
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF GRAVEL
- EDGE-EXISTING
- GROUND BALL-EXISTING
- RAILROAD-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SEWER-EXISTING
- WATER-EXISTING
- BUILDING

<p>VIAERO Fiber Networks, LLC</p> <p>701 N. Park Ave. 2nd Fl. 3rd Unit Omaha, NE 68102 www.viaero.com</p>	<p>DESIGNED BY: S. ALSEBACH</p> <p>CHECKED BY: J. MALSORAVE</p> <p>APPROVED BY:</p>	<p>DATE: 1/19/2023</p> <p>SCALE: 1" = 50'</p> <p>SHEET: 17 OF 19</p>	<p>Nebraska 811</p> <p>PROJECT SHEET</p> <p>17</p>
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CITY MANAGER'S REPORT
MARCH 20, 2023 CITY COUNCIL MEETING.

ITEM: 2.D.

RECOMMENDATION:

Approve the Interlocal Agreement between the City of McCook, Hitchcock County and Hayes County for the use of the National Crime Information Center services and costs associated therewith.

BACKGROUND:

The City of McCook Police Department owns and utilizes a National Crime Information Center (NCIC) terminal to access the NCIC system. The NCIC system is a computerized database that provides information about crimes and criminals. This information assists authorized agencies in criminal justice to apprehend fugitives, locate missing persons, locate and return stolen property, as well as protect law enforcement officers encountering the individuals described in the system. Data contained in NCIC is provided by the FBI, federal, state, local and foreign criminal justice agencies, and authorized courts.

The Hitchcock County Sheriff's Office and the Hayes County Sheriff's Office do not currently have access to the NCIC database. Both Sheriff's offices are willing to share in the cost of maintaining an NCIC terminal. It costs McCook approximately \$5,376.00 per year.

APPROVALS:



Nate Schneider, City Manager

March 14, 2023

INTERLOCAL AGREEMENT

The Agreement is made and entered into by and between the City of McCook, Nebraska ("McCook"), the County of Hitchcock, Nebraska ("Hitchcock County") and the County of Hayes, Nebraska ("Hayes County").

WHEREAS, the City of McCook Police Department owns and utilizes a National Crime Information Center (NCIC) terminal to access the NCIC system.

WHEREAS, the NCIC system is a computerized database that provides information about crimes and criminals. This information assists authorized agencies in criminal justice apprehend fugitives, locate missing persons, locate and return stolen property, as well as protect law enforcement officers encountering the individuals described in the system. Data contained in NCIC is provided by the FBI, federal, state, local and foreign criminal justice agencies, and authorized courts.

WHEREAS, the Hitchcock County Sheriff's Office and the Hayes County Sheriff's Office do not currently have access to the NCIC database.

WHEREAS, it would benefit Hitchcock County and Hayes County for its law enforcement agencies to have access to the NCIC system.

WHEREAS, McCook is willing to share access to the NCIC system with Hitchcock County and Hayes County in exchange for Hitchcock County and Hayes County sharing equally in the network services charges associated with maintaining the NCIC terminal located at the McCook Police Department.

THEREFORE, the parties agree as follows:

1. The McCook Police Department will input data into the NCIC system communicated to it by the Hitchcock County Sheriff's Office and the Hayes County Sheriff's Office. Likewise, the McCook Police Department will relay relevant information from the NCIC system to the sheriffs' offices of Hitchcock and Hayes Counties.
2. McCook, Hitchcock County and Hayes County shall each be responsible for 1/3 of the network service charges (currently \$5,376.00 per year) administered by the State of Nebraska Department of Administrative Services. McCook shall invoice Hitchcock County and Hayes County on the 1st day of January for their 1/3 share of the expenses for the prior year. The 2023 costs of the NCIC terminal shall be prorated from the date this Agreement is fully executed by all parties. All invoices shall become due upon receipt.
3. The parties shall have the right to terminate this contract at any time, upon presentation of a 60-day notice given to all parties. The costs of the NCIC terminal for the year of termination shall be prorated to the date of termination and shall be paid within 30 days of the date of termination.

City of McCook

By: _____

Mayor

Dated: _____, 2023.

Attest:

Paul Nichols, Chairman of Board of Commissioners
Hitchcock County, Nebraska

Dated: _____, 2023.

Attest:

Jeffrey Unger, Chairman of Board of Commissioners
Hayes County, Nebraska

Dated: _____, 2023.

Attest:

CITY MANAGER'S REPORT
MARCH 20, 2023 CITY COUNCIL MEETING

ITEM: 2.E.

Receive and file letter from Karen K. Barrett, Tax Specialist for the Nebraska Department of Revenue, as a reminder that McCook's local sales and use tax rate will increase from 1.5% to 2% on April 1, 2023.

BACKGROUND:

Attached is a copy of the letter received from Ms. Barrett. They do not mail written notices to each retailer notifying them of the increase and encourage the City to provide reminders of this rate change at the local level. They will issue a news release around March 8 that will be posted on their website regarding the increase. At that time, staff will forward the news release to the newspaper, local radio stations, post on the City's website and facebook page.

They also encourage all retailers to sign up for their free "Subscribe to notifications" service. Registering for this free service on their website, "revenue.nebraska.gov" will provide them with a notification whenever a change occurs in any of the tax programs that they have selected.

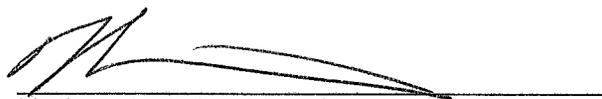
FISCAL
IMPACT: None.

APPROVALS:



Lea Ann Doak, City Clerk-Treasurer

March 14, 2023



Nathan A. Schneider, City Manager

March 14, 2023

NEBRASKA

Good Life. Great Service.

DEPARTMENT OF REVENUE



Jim Pillen, Governor

FOR IMMEDIATE RELEASE

FOR INFORMATION, CONTACT:
Glen White, Tax Commissioner - Interim
402-471-5913

Changes in Local Sales and Use Tax Rates Effective April 1, 2023.

Interim Tax Commissioner Glen White announced that beginning on **April 1, 2023** the following changes in local sales and use tax rates will be effective.

Halsey will start a sales and use tax rate of 0.5%.

Hallam will start a sales and use tax rate of 1%.

Emerson and **Wynot** will each start a sales and use tax rate of 1.5%.

Ewing and **St. Paul** will each increase their rate to 1.5%.

Genoa, **McCook** and **North Platte** will each increase their rate to 2%.

These changes are on the Nebraska Department of Revenue's website at revenue.nebraska.gov under the Sales and Use Tax link.

###

NEBRASKA

Good Life. Great Service.

February 9, 2023

DEPARTMENT OF REVENUE
Lea Ann Doak
City Clerk
PO Box 1059
McCook, NE 69001-1059

Dear City Clerk:

This letter is sent as a reminder that McCook's local sales and use tax rate will increase from 1.5% to 2% on April 1, 2023.

This Department does NOT mail written notices to each retailer; however, we want to make you aware that this information has been posted on our website on December 2, 2022 under the sales and use tax link. We encourage you to provide reminders of this rate change at the local level. This will be beneficial to ensure the correct collection of your new sales and use tax rate. You are welcome to use information from our website to assist you.

Additionally, we encourage you to sign up for, and encourage others that are involved with taxes, to sign up for our free "Subscribe to Notifications" service. Registering for this free service on our website, "revenue.nebraska.gov" will provide you with a notification whenever a change occurs in any of the tax programs that you select.

I have also sent letters to local and national tax services regarding this change. Additionally, your County Treasurer has also been notified and a copy of that letter is enclosed.

If you have additional questions, please contact me at karen.barrett@nebraska.gov or call me at (402) 471-5980.

For the Tax Commissioner

Sincerely,


Karen K. Barrett
Tax Specialist
Policy Section

KKB
Enclosure

CITY MANAGER'S REPORT
MARCH 20, 2023 MCCOOK CITY COUNCIL MEETING

3.A.

ITEM _____ Approve the issuance of an RFP for comprehensive plan, zoning regulations, and subdivision regulations consulting services.

BACKGROUND:

In 2013, the City of McCook adopted its current version of the City's Comprehensive Plan. The current Comprehensive Plan was designed for use through 2023. It is time to update our Plan to determine McCook's development trajectory for the next 10 years. In addition the Comprehensive Plan, McCook's Zoning Regulations and Subdivision Regulations need to be updated to reflect our communities' current reality. Both the Zoning Regulations and the Subdivision Regulations were updated in 2013, as well.

City of McCook staff have prepared an RFP for the City Council's consideration. The RFP invites qualified firms to submit a proposal for the provision of professional services to update McCook's Comprehensive Plan, Zoning Code, and Subdivision Regulations. It is our hope that the updates will assure McCook addresses our current land use and development needs while keeping an eye on the future.

APPROVALS:



Nathan A. Schneider, City Manager

March 14, 2023



Lea Ann Doak, City Clerk

March 14, 2023

CITY OF MCCOOK, NEBRASKA

**REQUEST FOR
PROPOSALS (RFP)**

**COMPREHENSIVE PLAN,
ZONING ORDINANCE, AND
SUBDIVISION REGULATION UPDATES**

March 20, 2023

REQUEST FOR PROPOSALS

I. INTRODUCTION

The City of McCook, Nebraska ("McCook") invites qualified firms to submit a proposal for the provision of professional services to update the McCook Comprehensive Plan, Zoning Code, and the McCook Subdivision Regulations to conform to meet current conditions, and to address the changing status of McCook as a City of the First Class under Nebraska statutes.

PURPOSE

Through this Request for Proposals (RFP), the City of McCook (hereinafter referred to as "the City") is seeking proposals from highly qualified planning individuals and consultant teams (hereinafter referred to in the singular as "consultant") to update our City-wide Comprehensive Plan. This process will engage City Staff, Planning Commission, City Council members, and Advisory Bodies, as well as representatives from State, County, and other entities affected. In addition to updating the Comprehensive Plan, last adopted in 2013, this activity will also include updating existing Zoning Codes and Subdivision Regulations.

COMPREHENSIVE PLAN

Our most recent engagement with the community at large has been through the planning of new recreational facilities. This process has shown that residents desire to promote opportunities and growth in our community. City Staff want to encourage positive growth in an organized fashion, while simultaneously lending benefits to the residents' values. During the planning process, the community noted that McCook needs to be progressive in all facets of its services and amenities offered. McCook residents desire more amenities, better transportation, improved infrastructure, and new housing developments. In 2022, a housing study was completed that found there was a need for approximately 200 new residential units.

The Comprehensive Plan update should provide guidance on critical topics such as increasingly complex development proposals and infrastructure limitations. It is important for future development to incur incrementally to effectively manage additional growth while protecting community assets, maintaining economic mobility, ensuring secure housing opportunities, providing for resilient infrastructure, and allowing for a predictable land-use approval process.

The ideal consulting team will have demonstrated experience working with developing rural communities that desire smart growth while leaving the small-town charm intact, and who can lead a highly participatory and collaborative engagement process to identify a clear vision and action plan for the future. This process will assist the City Planning Commission, City staff, the City Council, Red Willow County, and McCook's Advisory committees to gauge the direction toward which citizens and other stakeholders within the community would like to see the City move. The Planning Commission is ready to champion the challenging dialogues that need to occur around critical value tradeoffs, State and County coordination, and policy options.

The updated Comprehensive Plan will provide vision and policies that will guide the City's approach to future land use and will incorporate a variety of subject-specific plans currently underway or recently adopted.

ZONING AND SUBDIVISION CODE

As we update our future Comprehensive Plan it is also particularly important for us to update and better organize our zoning code to assure it corresponds with McCook's current and future growth and use patterns. Our last updates to McCook's zoning plan were accomplished in 2013. We believe an update is necessary in order to address inconsistencies and omissions found in our current code. The definitions included in our zoning regulations need to be cross referenced with each section of the zoning regulations to assure there is no ambiguity.

Our subdivision regulations are in need of improvements as well. The city's platting process has changed, requiring an update to the subdivision regulations. Additionally, a complete review of our regulations are needed to properly promote development.

PROPOSALS

All Proposals will be time-stamped upon receipt and any Proposals received after the time specified above will be returned unopened. In bold lettering, mark the sealed envelope with the following words: "**City of McCook, NE, Comprehensive Plan, Zoning, and Subdivision Update.**" Faxed or emailed copies will not be accepted. All complete Proposals become the property of McCook and must be provided without cost to McCook. Except as otherwise provided for herein, Proposals which are incomplete or which are not in conformance with the law, may be rejected as nonresponsive.

Right to Reject - McCook reserves the right to accept or reject any or all Proposals, negotiate with any Submitter, alter the scope of work, award multiple Contracts to more than one Submitter, to waive any informalities and irregularities in the submission process, to extend the date for submittal of Proposals, to request additional information from any or all Submitters, to supplement, amend or otherwise modify the RFP prior to the closing date and time, to cancel this request with or without the substitution of another RFP, to re-solicit or cancel the procurement process, and to select a Proposal that is considered to be in the best interest of McCook.

Proposals Not Returned - Proposals shall not be returned unless a written request to withdraw is received prior to 4:30 PM, CST, on March 31, 2023. Any Proposal will be deemed to be valid for a period of up to 90 days following the closing date of the RFP. Timely Proposals received shall be subject to applicable laws and regulations governing public disclosure. Providing a Proposal indicates acceptance by the Submitter of the conditions contained in this RFP, and the intent to enter into a Contract with McCook. Proposals will not be opened publicly.

Proprietary Information - Information that is considered by a Submitter to be proprietary may still be subject to release as a component of a public records request subject to review by the City Attorney. Proprietary information should be clearly marked as "confidential" or "proprietary" on each page on which such information appears. Submitters should not expect McCook to seek confidentiality protection for any claimed privileged or proprietary information in the written Proposal just because the material is marked "confidential" or "proprietary." Any information that the Submitter believes to be exempt from disclosure under the Public Records Act (Neb. Rev. Stat. 84-712 et seq.) must be capable of being separated or redacted from the Proposal and should be clearly and specifically marked.

McCook Not Obligated - This RFP does not obligate McCook to enter into a Contract or pay any costs incurred in the preparation of a Proposal pursuant to this RFP or incurred in subsequent negotiations. It is the intention of McCook to negotiate a Contract with the Submitter it deems most beneficial to McCook. During the Proposal evaluation process, McCook may request additional information or clarification from Submitters.

Certification of No Fee Paid - By making a submission pursuant to this RFP, the Submitter certifies that no fee or commission, or any other thing of value, has been paid or agreed to be paid to any employee, agent, representative, or elected or appointed official of McCook in order to procure the Contract described in this RFP. The Submitter also certifies that the financial information in its Proposal has been arrived at independently and without consultation, communication, or agreement with McCook, or other Submitters, to restrict competition as to any matter relating to this RFP.

Submitters' Duties to Review RFP - Submitters shall thoroughly examine and become familiar with this RFP, the Proposal forms, and all related documents comprising this RFP and any written Addendum thereto. Each Submitter shall judge for itself all conditions and circumstances within this solicitation having relationship to its respective Response.

Providing a Proposal constitutes an acknowledgment that the Submitter has thoroughly examined and is familiar with this RFP and all Addendums which may be issued. The failure or neglect of a Submitter to receive or examine any RFP documents or Addendum shall in no way relieve Submitter from any obligation with respect to the Proposal or the obligations that result from submitting a successful Proposal. No claim based upon lack of knowledge or understanding of this RFP or its contents shall be allowed. The provisions and terms of the Contract may be revised or adjusted by McCook prior to final execution.

Equal Employment Opportunity — McCook is an Equal Employment Opportunity (EEO) organization, which does not discriminate on the basis of race, religion, color, sex, age, marital status, national origin, or disability. The successful Submitter will be required to comply with all federal, state, and local laws and regulations.

Non-Discrimination, E-Verify Requirement, Indemnification

Equal Opportunity

In the performance of this Contract, the selected individual or firm shall not discriminate against any employee, or applicant for employment, on the basis of race, color, religion, sex, disability, marital status, national origin or age.

Compliance with Laws

The selected individual or firm shall perform their respective services in accordance with all applicable laws and regulations enacted and promulgated by the United States, the State of Nebraska, or any political subdivision thereof which govern the conduct of the contractors or subcontractors during the performance of their obligations under this Contract, and they shall be deemed to be included in this Contract as though written out in full in this Contract.

E-Verify

The selected individual or firm shall be required to use a federal immigration verification system to determine the work eligibility status of new employees physically performing services within the State of Nebraska. A federal immigration verification system means the electronic verification of the work authorization program authorized by the Illegal Immigration Reform and Immigrant Responsibility Act of 1996, 8 U.S.C. 1324a, known as the E-Verify Program, or an equivalent federal program designated by the United States Department of Homeland Security or other federal agency authorized to verify the work eligibility status of a newly hired employee.

Disadvantaged Business Enterprise (DBE) Eligibility — DBE firms are encouraged to submit a Proposal.

Questions, Inquiries and Contact with McCook Staff — McCook is committed to providing all interested parties with accurate and consistent information in order to ensure that no Submitter obtains an undue competitive advantage. To this end, from the date of this RFP through award of the Contract, McCook contact is: Lea Ann Doak, City Clerk.

All questions from Submitters must be submitted electronically, to McCook by March 27, 2023. It will be the sole responsibility of the Submitter to ensure questions are submitted in a timely manner. Answers to questions will be posted on McCook's website by April 3, 2023.

If it becomes necessary to revise any part of this RFP, an Addendum to the RFP will be provided electronically by posting the same to all Submitters. All Addendums issued during the time of bidding will be incorporated into any resulting Contract. It shall be the Submitter's responsibility to monitor the Addendums that may be issued under and as a part of this RFP. Copies of this RFP, and any Addendum issued shall be available for viewing at the following link: cityofmccook.com.

Any Addendums so issued are to be considered a part of this RFP document. Therefore, receipt of all Addendums issued during this RFP must be acknowledged on the Signature Page included with your Proposal.

Disclaimer — It is the responsibility of each Submitter to investigate and be satisfied as to the facts and conditions prior to submitting a Proposal. McCook makes no representation or warranties and accepts no responsibility for the accuracy or completeness of any information supplied. Submitters are responsible for obtaining their own independent financial, legal, accounting, and technical advice on all Proposal matters. Any failure to become fully knowledgeable shall be at the Submitter's sole risk. McCook assumes no responsibility for any interpretations made by Submitters on the basis of information provided in this RFP or through any other source.

COMMUNITY PROFILE

Location

The City of McCook is located in the west-central portion of Red Willow County, at the junction of Highway's 6/34 and 83. The Highway 6/34 and Burlington Northern Santa Fe Railroad Corridors bisect McCook from east to west, with the majority of industrial land uses located south of the Railroad Corridor.

McCook is located in southwest Nebraska, 13 miles north of the Kansas State Line. Interstate 70 is estimated to be 78 miles south, in Kansas, while Interstate 80 is approximately 67 miles north of McCook. These transportation networks provide reliable access to area communities as well as to major metropolitan cities including Denver, Lincoln, Omaha and Kansas City. This geographic setting directly links McCook with trading centers in the Midwest and points beyond.

History

Initial settlement along the Republican River started in the early 1870s. The settlement of "Fairview" began in 1877, but it was the arrival of the Burlington & Missouri River Railroad, in 1881, that started development of a new boom town whose name was changed to McCook. The Town was platted in May of 1882, with early history accounts stating over 100 residential and commercial buildings had either begun or completed construction.

The location of McCook was important to the Railroad Company, as it designated McCook as the "division point," or the half-way point, between the Missouri River and the City of Denver, Colorado. The new town, in a span of just eight years, would grow to a Community of 2,346 people, as per the 1890 Census. Rapid growth continued over the next three decades, as the 1920 Census estimated 4,304 persons in McCook. The City reached its peak population in 1980 with 8,404 persons.

Demographics

According to the 2020 U.S. Census, the City of McCook is home to 7,446 residents. Of the approximately 3,184 households in McCook, the median household income is \$51,711.

Challenges

McCook has experienced a population decrease over the past 40 years. McCook is located approximately 67 miles away from Interstate 80, which serves as Nebraska's sole east-west transcontinental freeway. The lack of proximity to Interstate 80 isolates McCook from vehicular traffic. Additionally, McCook's economy relies heavily on the success of the local agricultural industry. The lack of diversification creates the potential for economic hardship during severe weather events and/or challenging agricultural markets. The City also lacks sufficient housing for its residents per a 2022 Housing Study. Specifically, the study found that by 2027, the City's estimated housing unit target demand is 187 housing units, including 111 owner and 76 rental units, at an estimated cost of \$46.9 million. Per the study, an estimated 119 acres of land should be designated for new residential development. Identifying buildable land is complicated by the fact that McCook is bordered to the south by the Republican River, which creates flood plain concerns. Additionally, the east side of McCook is home to the Ben Nelson Regional Airport which gives rise to zoning restrictions. The west side of McCook was the former home to a landfill that was closed in 1996, limiting development along the Hwy 6/34 and 83 intersection.

Form of Government

The City has adopted the city manager form of government. Linda Taylor serves as Mayor, and Nate Schneider serves as City Manager. Regular City Council meetings are held on the first and third Monday of each month. The McCook City Planning Commission meets on the second Monday of each month. Changes or additional meetings are announced in advance.

SCOPE OF WORK

McCook is requesting interested and qualified firms to submit a proposal, together with a proposed cost of the work, to develop updates of the Comprehensive Plan, Zoning Code, and Subdivision Regulations, to modernize the Plan, Code, and Regulations to meet modern and changed conditions, and to serve as the required Comprehensive Plan, Zoning Code, and Subdivision Regulations proper for a City of the First Class under Nebraska law. The firm chosen will work primarily with the City Manager, who will serve as the point of contact throughout the project and will be responsible for coordinating and implementing the proposed updates to the Comprehensive Plan, Zoning Code, and Subdivision Regulations, pursuant to legislative requirements. Meetings with City staff, the City Attorney, the Planning Commission, and McCook elected officials will be critical. A public engagement component will be necessary, in addition to hearings before the Planning Commission and City Council.

A full review and rewrite of the McCook Comprehensive Plan, Zoning Code, and Subdivision Regulations are needed. The current regulations can be found on the City's website. A copy of the City's current Comprehensive Plan can be requested from the City Clerk.

Expectations

The City of McCook and its leadership expects the updated Comprehensive Plan to provide Citywide guidance for decision-makers regarding the physical development, redevelopment, conservation, and management of land and resources within the City's boundaries. The plan will reflect the unique historic, economic, and cultural character of McCook. It will provide a clear process, objectives, and policies that will assist with managing population growth, increased tourism, and economic resiliency. We expect far reaching community participation throughout the update process, as this is critical to the Plan's adoption and future execution, ensuring the Plan will reflect the desired vision for the community.

Services

The City is particularly interested in consultants that can offer advanced planning techniques that integrate stakeholder engagement to accomplish the following:

An inclusive and participatory community engagement process. A number of non-profits, community leaders, and other stakeholders have expressed interest in providing support to the comprehensive plan through a steering committee and/or working groups. The Planning Commission, City Council and City staff also expect to be intensely engaged, providing necessary leadership and context. Many individuals in the community have substantial facilitation and public process design experience and are willing to support the efforts of the consultant. In addition to standard community meetings, the City would like to use a variety of engagement best practices which may include the following: a project website, online engagement, community-based engagement, focus groups, working groups, community learning events, discussion-oriented meetings, etc.

Innovation approach to community profiles. Communicating trends and building an understanding of where the community is headed is of critical importance. However, long narratives in comprehensive plans are rarely read. The city is interested in a consultant who can approach communication and education more dynamically, and utilize methods such as visual language, infographics, blogs, webinars, and learning events.

A GIS land use suitability analysis. The pace, complexity, and type of development currently underway, in addition to the need to plan for infrastructure and natural resource protection, necessitates a refreshed approach. The City desires a thorough suitability analysis to inform the development of a future land use plan.

Integration of existing plans and studies. Numerous plans and studies already exist, or are in the process of being created, and the City desires that this Comprehensive Plan will not only be in

concert with the other plans and studies, but take on its role as the King Plan of all other Plans, please refer to them in appropriate context, and integrate them into the appendix of the final product. These plans include, but are not limited to:

- 1) 2013 McCook Comprehensive Plan: This collaborative community visioning project was the last designed comprehensive plan.
- 2) Health and Wellness Studies: A summary of the health and wellness of our community and an action plan to address several top health concerns will be helpful to better understand McCook. The Community Hospital has taken the lead in examining the health and welfare of our community. The Community Hospital is working on a comprehensive plan to address McCook's needs.
- 3) Housing Needs Assessment and Strategic Plan.
- 4) Airport master plans and overlay districts. Currently, a new airport master plan is being constructed.

Because these will be legal documents adopted by the McCook City Council as official codes of the City of McCook, the final products will have to be approved as to form and legality by the City Attorney. It is expected that the firm selected will work closely with the City Manager and City Attorney as the codes are drafted and have drafts reviewed by both the City Manager and City Attorney as work progresses.

PROJECT GOALS

1. Engage the community in a robust and meaningful public dialogue.
 - a. Engage the community in a participatory process that identifies shared values, gains, agreement on goals for the future, and outlines a clear strategy for action.
 - b. Develop an understanding of, and discuss implications of, critical value trade-offs that the community is facing as it grows and changes.
2. Create a framework for guiding and aligning government decision-making around land use, transportation, recreation, economic development, heritage protection, and ecological management.
 - a. Identify shared vision and community goals.
 - b. Develop strategies to manage community and natural assets more efficiently for the longterm benefit of the community.
 - c. Develop a strategy for an efficient transportation network and guide for investments.

- d. Agree on a clear policy direction for future land use including a future land use plan and necessary regulatory update.
 - e. Identify a strategy for future capital investments.
3. Build capacity for regional collaboration.
 - a. Enhance collaboration between governments and quasi-government organizations (fire, economic development, towns, water, sewer, storm water, etc.).
 - b. Identify how to adaptively manage for future uncertainties.

DELIVERABLES

The selected firm will prepare any proposed Comprehensive Plan, Zoning Code, and Subdivision Regulation updates in a format agreed upon by McCook. Throughout the course of identifying proposed updates, the firm will provide draft versions at various stages throughout the project period. The specific deliverables will be subject to further discussion, such as a proposed timeline, meetings with stakeholders, and public engagement.

SUBMITTAL REQUIREMENTS

McCook is requesting the following information for the submittal of the proposal:

1. Firm information: Name, address, phone number, e-mail for primary contact, the number of professional staff members and list of their specialties of who will be assigned to work on the project, including years of experience in their respective specialty fields, and a Summary of the proposal.
2. Availability: A brief statement as to the availability of the key personnel responsible for the project and where the various aspects of work would be performed.
3. Time Frame: Statement on anticipated time frame based on the scope of work as listed in this RFP. Report on prior experience in delivering services within the prescribed time frame.
4. State of Qualifications: Provides a summary of the firm's overall background, capabilities, experiences and qualifications. Site any experience with working with codes in small to mid-sized university communities is preferred.
5. Understanding of the Project: Provides an overview of the consulting firm's understanding and approach that will be utilized for this project, including critical issues that will need to be addressed in order to successfully complete this project.

6. Examples of Work: Provide complete or partial examples of work similar in nature to this project.
7. References: Provide 3 references that can speak to the firm's ability to perform the scope of work as listed in the RFP.
8. Cost Proposal: Provide cost for completion of the scope of work as listed in this RFP.
9. Submission Packet: The entire response needs to be submitted in a sealed envelope marked "City of McCook, NE, Comprehensive Plan, Zoning, and Subdivision Update" on the front.
- 10. Deadline: Responses to this RFP are due no later than 4:30 p.m. on April 11, 2023 and need to be sent or delivered to:**

The City of McCook
Attention: Lea Ann Doak, City Clerk
505 West "C" Street
PO Box 1059
McCook, NE 69001-1059

Questions regarding the RFP may be addressed to: ldoak@cityofmccook.com

SELECTION PROCESS

A selection committee will review all proposals. In evaluating proposals, the committee will consider all factors in response to the proposals, including: price, consultant qualifications and experience especially working with other Cities of the First Class, project team, response to this request, schedule for completion, and references.

The committee will interview the three (3) highest-ranking submitters, in order of qualifications. Travel expenses and costs related to the interview will be the responsibility of the firm. The City is not obligated to accept the lowest priced proposal, but will make an award in the best interest of the project. Following the evaluation and interviews, the City of McCook will enter into contract negotiations with the most highly qualified firm.

ATTACHMENT A

SIGNATURE PAGE

The following signature page shall be utilized by each Submitter and appended to the end of its submittal:

"The undersigned Submitter, having examined the Request for Proposal and related documents and having full knowledge of the condition under which the work described herein must be performed, hereby proposes that she/he will fulfill the obligations contained herein in accordance with all instructions, terms, conditions, and specifications set forth in the Request for Proposal; and that she/he will furnish all required products/services and pay all incidental costs in strict conformity with these documents.

Submitting Firm: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone # _____

Authorized Representative (print): _____

Authorized Signature: _____

Date: _____

Email: _____

EXCEPTIONS/DEVIATIONS to this Request for Proposal shall be taken below. If adequate space is not provided for exceptions/deviations, please use a separate sheet of paper. If your company has no exceptions/deviations, please write "No Exceptions" in the space below.

FIRM PRICING - Offered prices shall remain firm for a minimum of 90 days after the due date of this solicitation unless indicated otherwise. Accepted prices shall remain firm for the duration of the Agreement.

Addenda Number: _____ Date: _____ Addenda Number: _____ Date: _____

Addenda Number: _____ Date: _____ Addenda Number: _____ Date: _____

**CITY MANAGER'S REPORT
MARCH 20, 2023 MCCOOK CITY COUNCIL MEETING**

ITEM NO. 3.B Update regarding the swimming pool, ballpark, and park projects and matters.

BACKGROUND:

Staff would like to keep this item as a place keeper on the McCook City Council agendas while we work through the construction process for both the swimming pool and the ballpark. Also included with item may be discussions related to City of McCook's parks.

APPROVALS:



Nathan A. Schneider, City Manager

March 14, 2023



Lea Ann Doak, City Clerk

March 14, 2023

**CITY MANAGER'S REPORT
MARCH 20, 2023 CITY COUNCIL MEETING**

ITEM: 3.C.

RECOMMENDATION:

Introduce and approve on second reading Ordinance no. 2023-3064 providing for the amendment to chapter 38: Appendix E. setting the rate to be charged for water by the McCook Water Department.

BACKGROUND:

Based on data from the 2022 Water Enterprise Fund Cashflow Model, as prepared by Public Financial Management (PFM), City Staff is recommending that the current water rate be increased by six percent (6%). The rate increase provides funds to cover inflation, staff wages, equipment, and current and future capital improvements. The current rates have been in place since May 2022. The Ready to Serve fee is \$19.95, the first 5,000 cu. ft. is \$2.035 per 100 cu. ft. and over 5,000 cu ft costs \$1.508 per 100 cu. ft.

The proposed increase would see the ready-to-serve fee increase by \$1.20 to **\$21.15 per month**. The price per 100 cubic feet (748 gallons) would also increase. The first 5,000 cubic feet will cost **\$2.157** per 100 cubic feet (+12.2 cents). Usage above 5,000 cubic feet will increase to **\$1.598** per 100 cubic feet (+8.8 cents).

The PFM recommendation of an annual inflationary increase is to avoid larger increases in future years.

PFM's model uses annual water production of 75,000,000 cubic feet of water sales. This is less than the nearly 80 million cubic feet in 2021 but a fair estimate based on conservation and annual averages. If forecasted drought conditions continue in the midwestern states water restrictions may also affect annual production.

FISCAL IMPACT:

APPROVALS:



Lea Ann Doak, City Clerk

3/13/2023

Date



Pat Fawver, Utilities Director

3-13-23

Date



Nate Schneider, City Manager

3-13-23

Date

ORDINANCE NO. 2023-3064

AN ORDINANCE PROVIDING FOR THE AMENDMENT OF CHAPTER 38: FEE SCHEDULE - APPENDIX E , WATER DEPARTMENT RATES AND FEES; OF THE CITY OF MCCOOK CODE OF ORDINANCES; PROVIDING FOR A RATE TO BE CHARGED FOR WATER BY THE MCCOOK WATER DEPARTMENT; PROVIDING FOR THE REPEAL OF ORDINANCE NO. 2022-3055 AND ANY AND ALL ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING FOR A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE IN FORCE.

NOW, THEREFORE BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF MCCOOK, NEBRASKA:

SECTION 1. That Chapter 38: Fee Schedule - Appendix E, Water Department Rates and Fees; Section A - Water Rates, of the City of McCook Code of Ordinances, shall be and is hereby amended to read as follows:

A. Water Rates. The following rates for water have been set by the City Council in accordance with the provisions of Section 52.01 of this Code.

1. CUSTOMERS WITHIN THE CITY. The rates for water used by customers within the City shall be as follows:

(A) 2.157 dollars per one hundred cubic feet for the first five thousand (5,000) cubic feet of water used;

(B) 1.598 dollars per one hundred cubic feet for all water used over five thousand (5,000) cubic feet.

In addition to the above, a ready-to-serve fee of twenty-one and 15/100 dollars (\$21.15) per month shall be charged to each customer.

2. CUSTOMERS OUTSIDE THE CITY. The amount to be charged for water used by customers outside the city boundaries shall be computed by taking the water consumption of the customer times the rates fixed in division (A)(1) above, plus additional charges as specified therein, and multiplying the final sum times the factor of one and one-half to get the total charge to be billed the customer.

3. BULK WATER. The rate for bulk water purchases shall be \$5.00 per one thousand (1,000) gallons.

4. FIRE HYDRANT METER. Fire hydrant meter rent shall be \$50.00 per week, plus water usage charged at the rate for bulk water. The deposit required for a fire hydrant meter is set at \$1,000.00.

SECTION 2. Ordinance No. 2022-3055 and any and all other ordinances or parts of ordinances in conflict herewith shall be and are hereby repealed and abrogated.

SECTION 3. This ordinance shall take effect with the bills dated May 1, 2023 and be in full force from and after its passage, approval and publication as required by law in its entirety or in pamphlet form, as the case may be.

PASSED AND APPROVED THIS _____ day of _____, 2023.

-s- Linda Taylor, Ex-Officio Mayor
and President of the Council

ATTEST:

-s- Lea Ann Doak, City Clerk

CITY MANAGER'S REPORT
MARCH 20, 2023 CITY COUNCIL MEETING

ITEM: 3.D.

RECOMMENDATION:

APPROVE ON SECOND READING ORDINANCE NO. 2023-3065 PROVIDING FOR THE AMENDMENT TO CHAPTER 38: APPENDIX D. SEWER DEPARTMENT RATES AND FEES.

BACKGROUND:

Based on the Sewer Enterprise Fund Cashflow Model prepared by Public Financial Management (PFM), City Staff is recommending that the current sewer rate be increased by six percent (6%). The rate increase provides the funds to cover inflation, pay for capital projects and maintain a healthy budget.

The proposed increase would see the base fee for residential customers go from \$17.541 to **\$18.59** per month (+\$1.04). The commercial base fee will go from \$25.554 to **\$27.08** per month (+\$1.52). Both residential and commercial monthly base fees include 333 cubic feet of usage. The fee for usage above 333 cubic feet (2,490 gallons) would also increase by 6% from the current \$3.787 per 100 cubic feet (748 gallons) to **\$4.014** per 100 cubic feet of usage (+22.7 CENTS).

Using the PFM model as the guide, a 6% increase will generate additional revenue for future years and prepare the Wastewater Department for large capital expenditures.

FISCAL IMPACT:

APPROVALS:



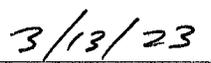
Lea Ann Doak, City Clerk



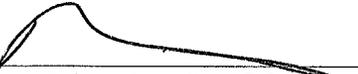
Date



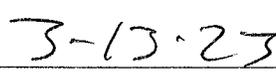
Pat Fawver, Utilities Director



Date



Nate Schneider, City Manager



Date

ORDINANCE NO. 2023-3065

AN ORDINANCE PROVIDING FOR THE AMENDMENT OF CHAPTER 38: FEE SCHEDULE - APPENDIX D, SEWER DEPARTMENT RATES AND FEES, OF THE CITY OF MCCOOK CODE OF ORDINANCES; PROVIDING FOR THE REPEAL OF ORDINANCE NO. 2022-3037 AND ANY AND ALL ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE ENFORCED.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF MCCOOK, NEBRASKA:

SECTION 1. That Chapter 38: Fee Schedule - Appendix D, Sewer Department Rates and Fees; shall be amended to read as follows:

- A. Sewer connection permit. The fee required for the obtaining of a sewer connection permit as required by § 51.020 is hereby set at \$500.
- B. Sewer connection fees. The fees required by § 51.022 pertaining to sewer connections are hereby set as follows:
 1. Where connection to an existing sewer main is requested, a sewer connection fee of \$150 will be required.
 2. In certain cases, where a larger than normal service connection is required, a fee will be charged to the applicant based on labor and material charges involved in installing the sewer connection.
 3. All fees required by this section are due and payable in advance of the inspection or sewer connection.
- C. Private sewage disposal permit. The fee required by § 51.055 pertaining to private sewage disposal permits is hereby set at \$10.
- D. Sewer Use Charges.
 1. Residential. The residential sewer use charges provided for in Section 51.072 are as follows:

Minimum Charges of \$18.59 per month based on the first 333 cubic feet of water usage.

Residential Rate - \$4.014 per 100 cubic feet for everything over 333 cubic feet water usage.
 2. Commercial. The commercial sewer use charges provided for in Section 51.072 are as follows:

Minimum Charge of \$27.08 per month based on the first 333 cubic feet of water usage.

Commercial Rate - \$4.014 per 100 cubic feet for everything over 333 cubic feet water usage.

3. Sewage Disposal at the Treatment Plant. All sewage that is transported by truck or any vehicle to the plant for disposal will be assessed a fee of \$0.10 per gallon during regular business hours. Non-business hours will be assessed an additional \$35.00 per load.

SECTION 2. Ordinance No. 2022-3037 and any and all other ordinances or parts of ordinances in conflict herewith shall be and are hereby repealed.

SECTION 3. This ordinance shall take effect with the bills dated May 1, 2023 and be in full force from and after its passage, approval, and publication as required by law in its entirety or in pamphlet form, as the case may be.

PASSED AND APPROVED this _____ day of _____, 2023.

- s - Linda Taylor, Ex-Officio Mayor
and President of the Council

ATTEST:

-s- Lea Ann Doak, City Clerk

Publish: