

City Council Regular Meeting  
Monday, April 19, 2021 7:00 PM  
City Hall  
715 Front Street  
Gibbon, NE 68840

1. Opening Procedures

1. Call to Order

2. Pledge of Allegiance

3. Announcement of Open Meetings Act

1. This is an open meeting of the Gibbon City Council. The City of Gibbon abides by the Open Meetings Act in conducting business. A copy of the Open Meetings Act is displayed on the north wall of the Council Chambers as required by state law.

4. Roll Call

2. Submittal of Requests for Future Items

1. Individuals who have items for City Council consideration should complete the Request for Future Agenda items form available from the City Clerk or on the City of Gibbon website. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting or study session, notification of the date will be given.

3. Reserve Time to Speak on Agenda Items

1. This is an opportunity for individual wishing to provide input on any of tonight's agenda items to reserve time to speak. The City Council may take public comments on an agenda item, if it is deemed appropriate, before the Council begins discussion of the agenda item.

4. Presentations and Proclamations

1. Buffalo County Sheriff Department-Contract law Enforcement

1. Report on Monthly Contract Law Enforcement Activities

2. Mayor Report--Deb VanMatre

1. Strategic Action Plan Update
    1. Fire Hall/City Hall/Community Room Project
      1. RFP's Due April 26, 2021
      2. Appointment of RFP Scoring Committee - Mayor VanMatre, Councilman Burmood, City Administrator Homan, Performance Criteria Developer Dana Peterson, GVFD Representative Kyle Bond, Community Representative Greg Brodine
    2. Cemetery Directory
    3. Well Field Planning
  2. American Rescue Plan Act Funds
  3. City Attorney Report--Barry Hemmerling
  4. City Administrator Report--Larry Homan
    1. Report on City Operations
    2. Front Street Lift Station Update
    3. Train Derailment Update
  5. City Treasurer Report--Susan Tonniges
    1. Report on Monthly Financial Activities
  6. Proclamation--A Proclamation Honoring the 150th Anniversary of the Arrival of the Soldier's Free Homestead Colony and Declaring April 7, 2021 to be "Gibbon "Day" in Gibbon, Nebraska.
  7. Piper Sandler & Co.--Brad Slaughter--General Obligation Municipal Building Bonds
5. Public Hearing
    1. Public Hearing on Shiers Estates Fourth Subdivision
  6. Consent Agenda
    1. Approval of the Minutes of the March 15, 2021 Council Meeting

2. Approval of Claims for the Month of April
3. Approval of Report of Departments, Boards and Commissions
  1. Buffalo County Sheriff Department Report
  2. Treatment Plant Report & Water Report
  3. Treasurers Report
  4. Gibbon Volunteer Fire Department Report
  5. Planning Commission Report
    1. Building Permit
      1. Permit 2021-05--Dustin Pracht--202 Woodland Drive--Fence
      2. Permit No. 2021-06 Paul Reinertson--510 LaBarre Street-Fence
      3. Permit No. 2021-07 Willis Construction LLC--Lot 1-- Single Family Home
      4. Permit No. 2021-08 Willis Construction LLC--Lot 2-- Single Family Home
      5. Permit No. 2021-09 Willis Construction LLC--Lot 3-- Single Family Home
      6. Permit No. 2021-10 Willis Construction LLC--Lot 4-- Single Family Home
      7. Permit No. 2021-11 Willis Construction LLC--Lot 5-- Single Family Home
      8. Permit No. 2021-12 Willis Construction LLC--Lot 8-- Single Family Home
      9. Permit No. 2021-13 Willis Construction LLC--Lot 9-- Single Family Home
      10. Permit No. 2021-14 Willis Construction LLC--Lot 10-- Single Family Home
      11. Permit No. 2021-15-- Steve Yockey--703 Drew Lane-Pergola

12. Permit No. 2021-16 Kris & Pam Warrington--1103 River Street--Patio Awning
13. Permit No. 2021-17 Andrea Slagle & Matthew Kromer--310 West Avenue--Fence
14. Permit No. 2021-18 Tracy & Wanda Sulmon--45665 67th Road--Single Family Home
15. Permit No. 2021-19 Brian & Stephanie Leisinger--108 West Avenue--Fence

6. Cemetery Report

7. Library Report

8. Heritage Center Report

4. GVFD Membership Application--Robert Trujillo

5. Fireworks Application--Stacy Rockefeller--720 6th Street

6. Temporary Use Animal Permit--Permit AP-2021-02--Ron Robinson--800 Hershey Street-Chickens

7. Resolution and Motions

1. Consider a Motion to Approve Resolution No. 2021-05--Resolution of The City of Gibbon, Buffalo County, Nebraska to Approve the Preliminary Plat for the Shiers Estates Fourth.Subdivision

2. Consider a Motion to Approve the Lease Agreement with Lambert's Family Pharmacy

3. Consider a Motion to Approve the Temporary Construction Easement with 2B Legacy, LLC

4. Consider a Motion to Approve the RFP Scoring Committee for the Design/Build Fire Hall/City Hall/Community Room Project

5. Consider a Motion to Approve a Flood Plain Building Permit Application Fee of \$50.00

8. Ordinance

1. Ordinance No. 622 AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA INCREASING MUNICIPAL WATER RATES. (3rd & Final Reading)
  2. Ordinance No. 623 AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA INCREASING MUNICIPAL SEWER RATES. (3rd & Final Reading)
  3. Ordinance No. 625 AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA APPROVING THE FINAL PLAT OF SHIERS ESTATES FOURTH SUBDIVISION
  4. Ordinance No. 626 AN ORDINANCE AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION MUNICIPAL BUILDING BONDS OF THE CITY OF GIBBON, NEBRASKA, IN ONE OR MORE SERIES, IN THE COMBINED PRINCIPAL AMOUNT OF NOT TO EXCEED TWO MILLION FIVE HUNDRED THOUSAND DOLLARS (\$2,500,000) ISSUED FOR THE PURPOSE OF CONSTRUCTING MUNICIPAL BUILDING IMPROVEMENTS IN AND FOR THE CITY; PRESCRIBING THE FORM OF SAID BONDS; PROVIDING FOR A SINKING FUND AND FOR THE COLLECTION OF TAXES TO PAY SAID BONDS; PROVIDING FOR THE SALE OF THE BONDS; AUTHORIZING THE DELIVERY OF THE BONDS TO THE PURCHASER; PROVIDING FOR THE DISPOSITION OF THE BOND PROCEEDS AND ORDERING THE ORDINANCE PUBLISHED IN PAMPHLET FORM.
  5. Ordinance No. 627 AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA APPROVING THE EMERGENCY PURCHASE OF PARTS AND MATERIALS FOR THE REPAIR AND IMPROVEMENT OF THE SEWER LIFT STATION ON FRONT STREET.
9. Other Items
1. Next Regular Council Meeting will be on Monday, May 17, 2021 at 7:00 p.m.
10. Adjourn



# Buffalo County Sheriff's Office

Neil A. Miller, Sheriff



## City of Gibbon Calls For Service March, 2021

<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/1/2021 7:30:04AM	1030 COURT ST	DIRECTED PATROL
3/1/2021 9:04:33AM	15 GARFIELD ST	PARKING VIOLATION
3/1/2021 9:12:42AM	45 GARFIELD ST	PARKING VIOLATION
3/1/2021 1:44:58PM	1030 COURT ST	DIRECTED PATROL
3/1/2021 2:30:01PM	913 COURT ST	FRAUD
3/1/2021 10:04:29PM	413-114 1ST ST	HARASSMENT
3/1/2021 10:43:58PM	667 LABARRE ST	TRAFFIC STOP
3/2/2021 1:22:33PM	BEATTY ST/HWY 30	TRAFFIC STOP
3/2/2021 5:31:23PM	7TH ST/GARFIELD ST	ANIMAL
3/2/2021 5:55:12PM	1203-1 7TH ST	ANIMAL
3/2/2021 6:48:46PM	1203-8 7TH ST	FOLLOW UP
3/3/2021 7:31:43AM	1030 COURT ST	DIRECTED PATROL
3/3/2021 1:06:51PM	910 WEST AVE	ANIMAL
3/3/2021 2:29:58PM	413-119 1ST ST	CHECK WELFARE
3/3/2021 2:34:56PM	319 KELSEY AVE	CIVIL PAPER SERVICE
3/3/2021 2:48:34PM	218 HWY 30	CIVIL PAPER SERVICE
3/3/2021 3:11:36PM	312 COURT ST	CIVIL PAPER SERVICE
3/3/2021 3:22:57PM	1203-15 7TH ST	CIVIL PAPER SERVICE
3/3/2021 3:29:58PM	402 LAWN AVE	CIVIL PAPER SERVICE
3/3/2021 3:35:32PM	210 LAWN AVE	CIVIL PAPER SERVICE
3/3/2021 3:38:51PM	717 3RD ST	CIVIL PAPER SERVICE
3/3/2021 3:41:57PM	804 WEST AVE	FOLLOW UP
3/3/2021 3:43:58PM	412 3RD ST	CIVIL PAPER SERVICE
3/3/2021 3:46:55PM	701 5TH ST	CIVIL PAPER SERVICE
3/3/2021 3:57:43PM	28 SUN VALLEY TRLR CT	SEX OFFENDER REGISTRY
3/3/2021 4:24:22PM	712-6 WEST AVE	SEX OFFENDER REGISTRY
3/3/2021 4:43:37PM	1029 COURT ST	CIVIL PAPER SERVICE
3/3/2021 4:55:07PM	319 KELSEY AVE	CIVIL PAPER SERVICE
3/3/2021 6:13:24PM	310 WEST AVE	ANIMAL
3/4/2021 7:29:24AM	769 COURT ST	DIRECTED PATROL
3/4/2021 10:18:12AM	620 COURT ST	JUVENILE
3/4/2021 1:45:04PM	28 SUN VALLEY TRLR CT	SEX OFFENDER REGISTRY
3/4/2021 2:13:49PM	620 WEST AVE	PARKING VIOLATION
3/4/2021 3:54:06PM	1031 COURT ST	DISTURBANCE
3/4/2021 5:16:15PM	1601 7TH ST	FALL

4/12/2021  
7:52:58AM

Chief Deputy D. Schleusener

<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/4/2021 7:03:08PM	200 WEST AVE	SEX OFFENDER REGISTRY
3/4/2021 10:45:54PM	714 1ST ST	CHEST PAIN
3/5/2021 7:31:43AM	1030 COURT ST	DIRECTED PATROL
3/5/2021 10:17:51AM	411 LAWN AVE	PARKING VIOLATION
3/5/2021 3:00:21PM	900 LAWN AVE	DIRECTED PATROL
3/5/2021 3:50:45PM	790 FRONT ST	CHECK WELFARE
3/6/2021 1:11:00AM	1503 7TH ST	DISTURBANCE
3/6/2021 7:02:43AM	503 WEST AVE	SUSPICIOUS ACTIVITY
3/6/2021 2:21:03PM	1503 7TH ST	FOLLOW UP
3/7/2021 7:23:49AM	909 WEST AVE	CORONER INVESTIGATION
3/8/2021 7:55:35AM	1030 COURT ST	DIRECTED PATROL
3/8/2021 4:58:11PM	2ND ST/GILMORE ST	TRAFFIC OFFENSE
3/8/2021 6:05:17PM	218 HWY 30	ACCIDENT NON INJURY
3/8/2021 6:56:41PM	1100 HWY 30	TRAFFIC STOP
3/9/2021 1:25:11AM	818 HWY 30	SUSPICIOUS ACTIVITY
3/9/2021 7:49:57AM	1030 COURT ST	DIRECTED PATROL
3/9/2021 3:54:56PM	317 COURT ST	PARKING VIOLATION
3/10/2021 4:13:29AM	PARK RD/CENTER ST	GAS LEAK
3/10/2021 7:46:58AM	1030 COURT ST	DIRECTED PATROL
3/10/2021 12:04:21PM	119 WEST AVE	FOLLOW UP
3/10/2021 2:16:18PM	119 WEST AVE	FOLLOW UP
3/10/2021 2:36:01PM	2ND ST/COURT ST	MOTORIST ASSIST
3/10/2021 3:28:02PM	1030 COURT ST	DIRECTED PATROL
3/10/2021 4:29:20PM	1115-22 7TH ST	PROPERTY LOST OR FOUND
3/10/2021 9:24:29PM	1507 7TH ST	DISTURBANCE
3/11/2021 3:02:18AM	1589 4TH ST	SUSPICIOUS ACTIVITY
3/11/2021 7:36:40AM	1030 COURT ST	DIRECTED PATROL
3/11/2021 1:49:20PM	218 HWY 30	CHEST PAIN
3/11/2021 6:30:21PM	1002-1 FRONT ST	SEX OFFENDER REGISTRY
3/12/2021 6:54:56AM	507 PINE AVE	SUSPICIOUS ACTIVITY
3/12/2021 9:25:27AM	317 COURT ST	PARKING VIOLATION
3/12/2021 9:32:57AM	317 COURT ST	PARKING VIOLATION
3/12/2021 3:03:09PM	210 LAWN AVE	CIVIL PAPER SERVICE
3/12/2021 3:10:43PM	1115-16 7TH ST	CIVIL PAPER SERVICE
3/12/2021 3:23:52PM	210-1 GARFIELD ST	CIVIL PAPER SERVICE
3/13/2021 2:13:39AM	218 HWY 30	TRAFFIC OFFENSE
3/13/2021 3:11:21PM	1029 COURT ST	MOTORIST ASSIST
3/13/2021 4:40:51PM	818 HWY 30	SUSPICIOUS ACTIVITY
3/13/2021 7:04:30PM	514 MAY AVE	DISTURBANCE
3/14/2021 7:38:53PM	156 HWY 30	TRAFFIC STOP
3/16/2021 8:27:32AM	683 3RD ST	PARKING VIOLATION
3/16/2021 7:50:10PM	1115 7TH ST	PROTECTIVE CUSTODY EFF
3/17/2021 8:22:52AM	1030 COURT ST	DIRECTED PATROL

4/12/2021  
7:52:58AM

Chief Deputy D. Schleusener

<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/17/2021 10:18:31AM	1214 7TH ST	PARKING VIOLATION
3/17/2021 1:57:39PM	413-138 1ST ST	CHECK WELFARE
3/18/2021 2:29:05AM	718-B HWY 30	DISTURBANCE
3/18/2021 7:47:07AM	1030 COURT ST	DIRECTED PATROL
3/18/2021 10:25:58AM	1203-20 7TH ST	FOLLOW UP
3/19/2021 4:00:26AM	816 2ND ST	MOTORIST ASSIST
3/19/2021 8:44:29PM	420 HWY 30	TRAFFIC STOP
3/19/2021 11:58:59PM	718-B HWY 30	DISTURBANCE
3/20/2021 7:37:41AM	30 LABARRE ST	SECURITY ALARM
3/20/2021 7:05:54PM	1120 TRAIL DR	TRAFFIC STOP
3/21/2021 12:47:57AM	818 HWY 30	SECURITY ALARM
3/21/2021 8:07:53AM	712-6 WEST AVE	DISTURBANCE
3/21/2021 10:53:47AM	609 FRONT ST	FOLLOW UP
3/21/2021 2:20:04PM	918 2ND ST	PARKING VIOLATION
3/21/2021 7:10:27PM	413-114 1ST ST	HARASSMENT
3/21/2021 8:00:18PM	514 MAY AVE	CHECK WELFARE
3/22/2021 3:41:01AM	1203-4 7TH ST	ANIMAL
3/22/2021 7:51:16AM	1030 COURT ST	DIRECTED PATROL
3/22/2021 9:19:50AM	933 2ND ST	DIRECTED PATROL
3/22/2021 3:05:26PM	1054 7TH ST	DIRECTED PATROL
3/23/2021 12:52:20AM	1601 7TH ST	SPECIAL SERVICE
3/23/2021 1:17:32PM	672 RIVER ST	DIRECTED PATROL
3/23/2021 2:46:50PM	1121 7TH ST	DIRECTED PATROL
3/23/2021 4:00:45PM	1200 7TH ST	PARKING VIOLATION
3/23/2021 8:04:28PM	818 HWY 30	OUTSIDE AGENCY ASSIST
3/24/2021 8:11:46AM	210 LAWN AVE	SEX OFFENSE
3/24/2021 9:22:37AM	210 LAWN AVE	FOLLOW UP
3/24/2021 4:24:25PM	116 LABARRE ST	FOLLOW UP
3/24/2021 6:50:31PM	1103 TRAIL DR	OUTSIDE AGENCY ASSIST
3/24/2021 8:11:09PM	1373 TRAIL DR	TRAFFIC STOP
3/25/2021 10:02:41AM	210 LAWN AVE	OUTSIDE AGENCY ASSIST
3/25/2021 6:41:57PM	1424 7TH ST	TRAFFIC STOP
3/25/2021 6:57:24PM	1117 COURT ST	TRAFFIC STOP
3/25/2021 9:53:36PM	218 HWY 30	CHECK WELFARE
3/26/2021 9:34:38AM	624 MAY AVE	PARKING VIOLATION
3/26/2021 3:30:10PM	520 1ST ST	CIVIL PAPER SERVICE
3/26/2021 3:43:09PM	711 3RD ST	CIVIL PAPER SERVICE
3/26/2021 3:47:32PM	810 2ND ST	CIVIL PAPER SERVICE
3/26/2021 3:50:31PM	208 WOODLAND DR	CIVIL PAPER SERVICE
3/26/2021 4:01:53PM	210 LAWN AVE	CIVIL PAPER SERVICE
3/26/2021 4:11:59PM	409 MAY AVE	CIVIL PAPER SERVICE
3/26/2021 4:25:25PM	1503 7TH ST	CIVIL PAPER SERVICE
3/26/2021 4:30:39PM	1203-23B 7TH ST	CIVIL PAPER SERVICE

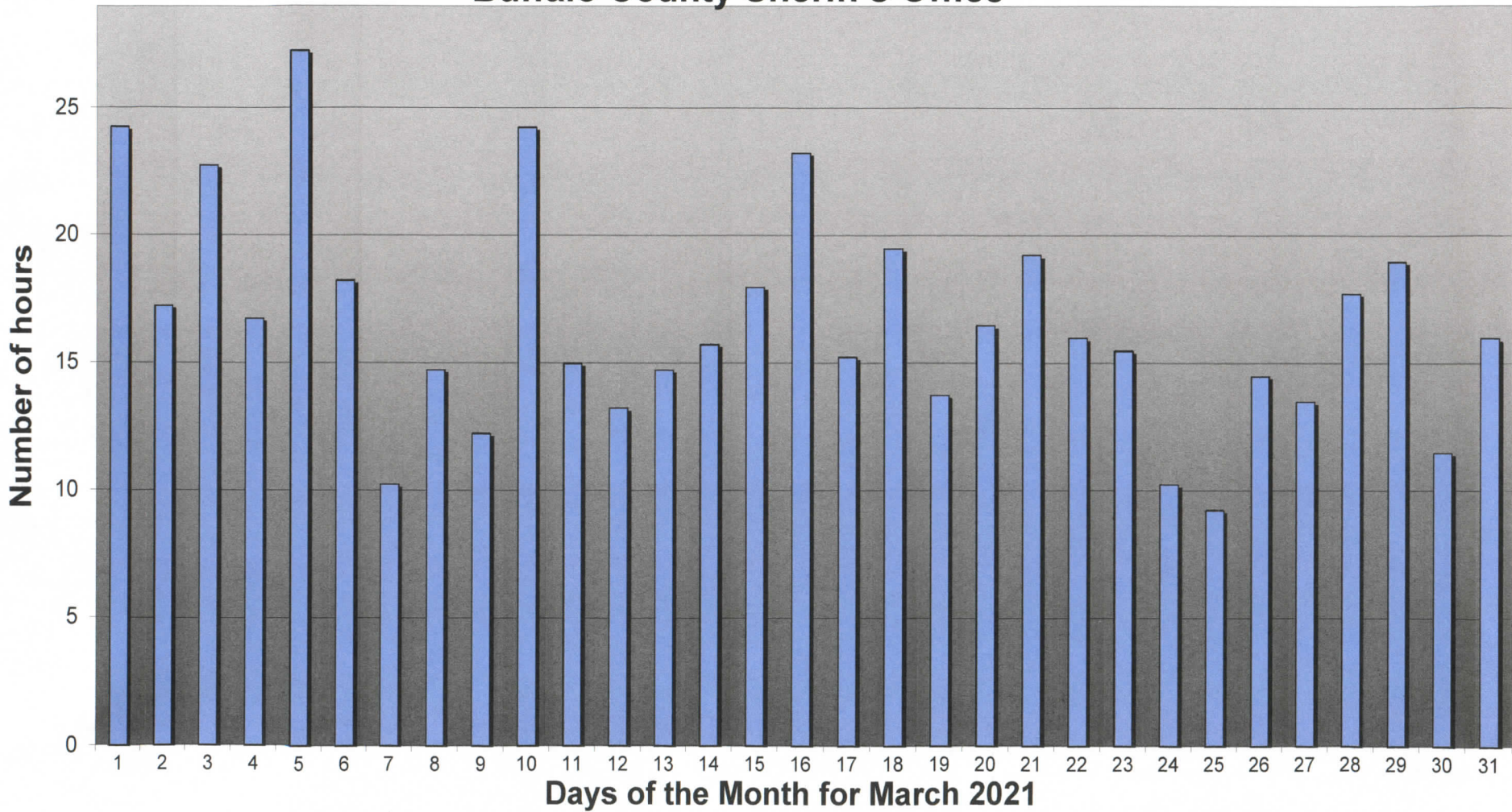
4/12/2021  
7:52:58AM

Chief Deputy D. Schleusener

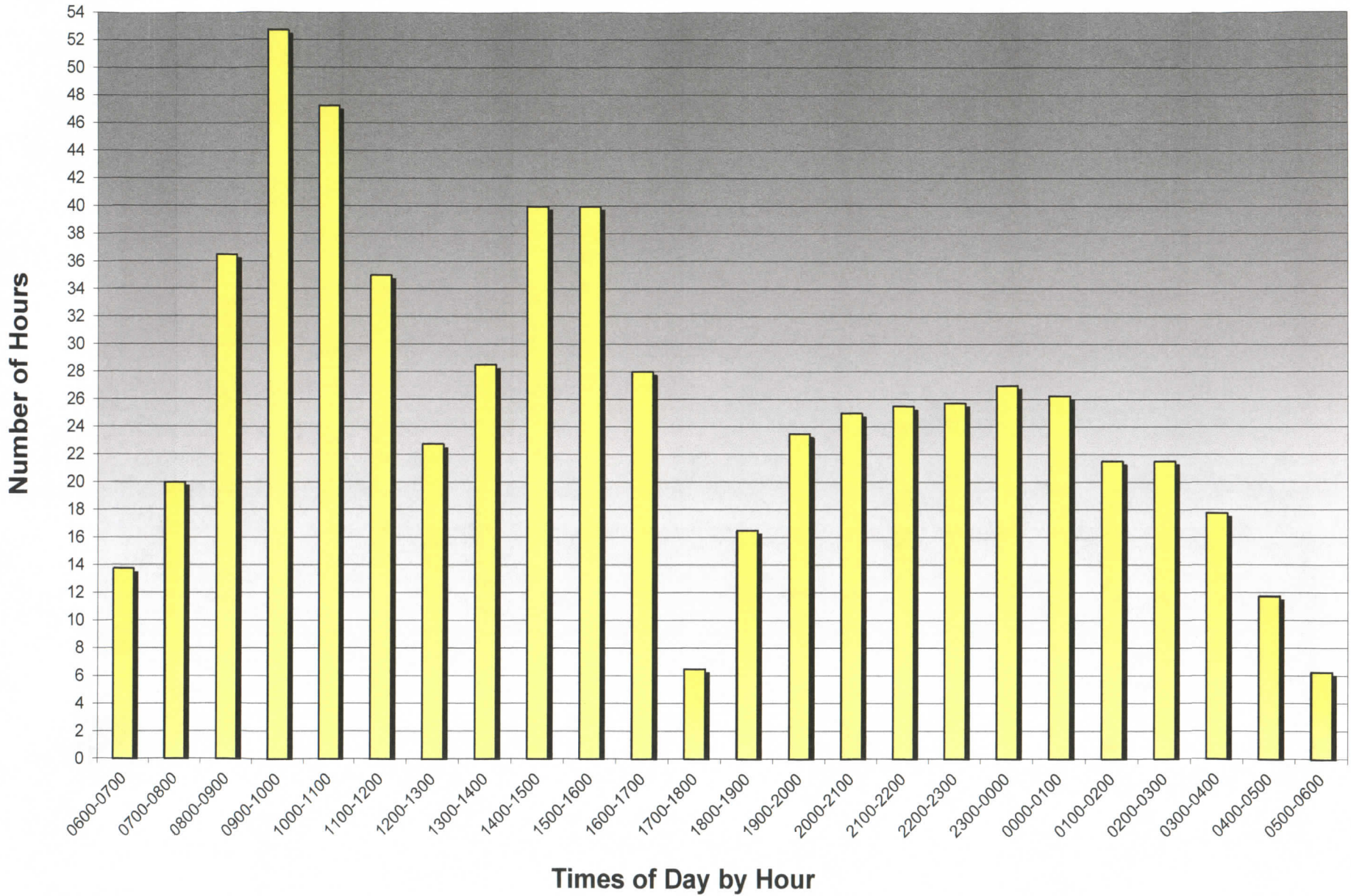
<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/26/2021 4:42:12PM	1203-8 7TH ST	CIVIL PAPER SERVICE
3/26/2021 5:01:48PM	805-4 FRONT ST	CIVIL PAPER SERVICE
3/26/2021 8:40:52PM	119 CENTER ST	CHECK WELFARE
3/28/2021 1:39:22AM	1031 COURT ST	SUSPICIOUS ACTIVITY
3/28/2021 2:13:34AM	17 FILER ST	DISTURBANCE
3/28/2021 7:05:08AM	24 FILER ST	SUSPICIOUS ACTIVITY
3/28/2021 9:44:41AM	17 FILER ST	DISTURBANCE
3/28/2021 4:58:08PM	500 PINE AVE	ILLNESS
3/29/2021 3:52:15AM	1031 COURT ST	CHECK PREMISE
3/29/2021 9:00:19AM	611 3RD ST	PAIN
3/29/2021 1:50:21PM	1030 COURT ST	DIRECTED PATROL
3/29/2021 1:58:39PM	1021 1ST ST	SPECIAL SERVICE
3/29/2021 7:22:55PM	LOWELL RD/CARPENTER F	TRAFFIC OFFENSE
3/30/2021 5:04:57AM	103 GLENN AVE	VANDALISM
3/30/2021 3:24:50PM	1030 COURT ST	DIRECTED PATROL
3/30/2021 3:24:50PM	1030 COURT ST	DIRECTED PATROL
3/30/2021 5:06:18PM	15 FILER ST	CIVIL
3/30/2021 6:28:25PM	500 PINE AVE	JUVENILE
3/30/2021 10:36:47PM	413-114 1ST ST	PROTECTION ORDER VIOL
3/31/2021 8:08:47AM	1030 COURT ST	DIRECTED PATROL
3/31/2021 9:37:27AM	800 HERSHEY ST	PARKING VIOLATION
3/31/2021 11:57:48AM	714 3RD ST	ILLNESS
3/31/2021 3:41:06PM	MURNEN AVE/HWY 30	ACCIDENT NON INJURY

4/12/2021  
7:52:58AM

## Buffalo County Sheriff's Office

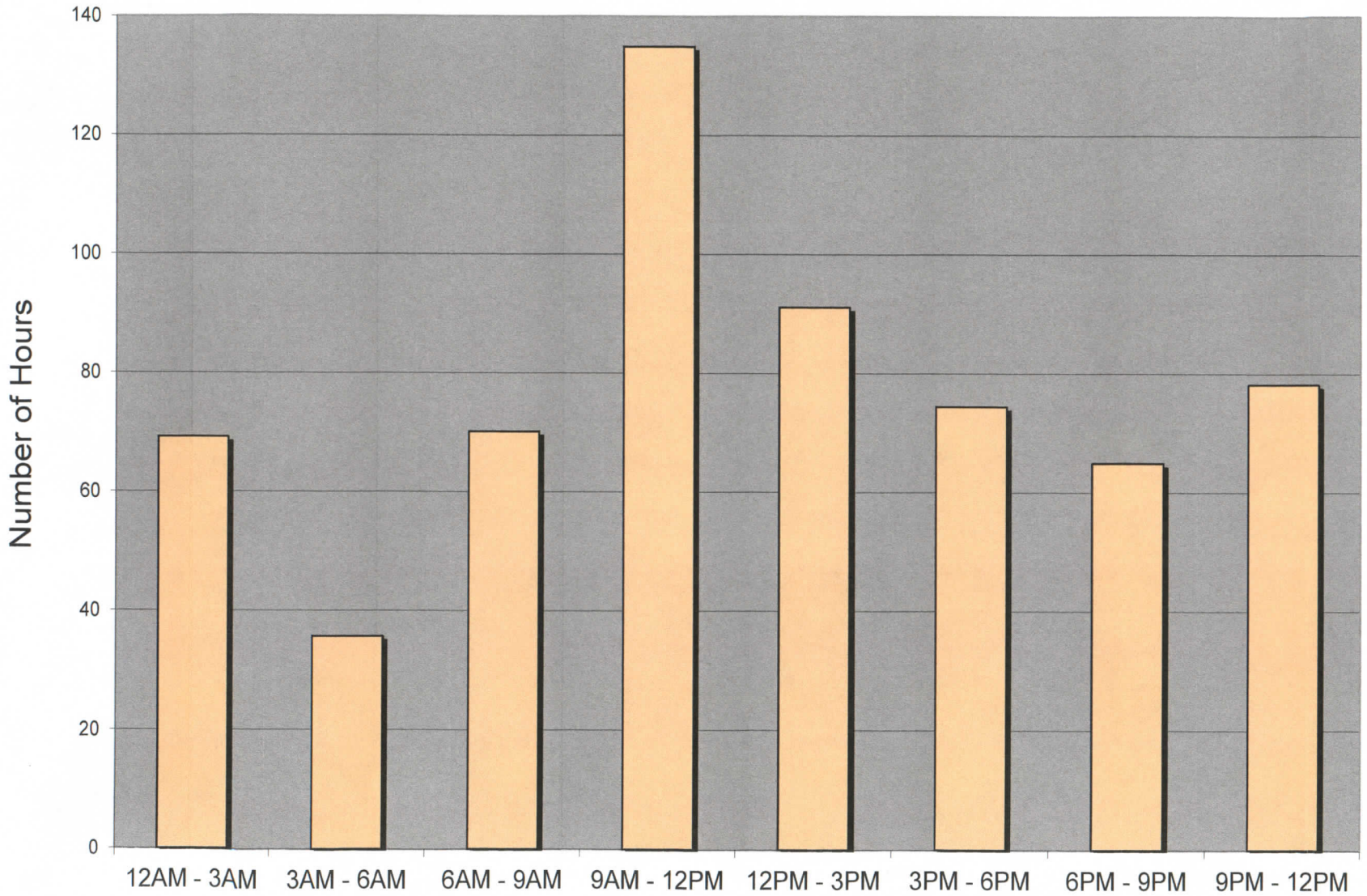


# Buffalo County Sheriff's Office Gibbon Contract Hours



March 2021

# Buffalo County Sheriff's Office Gibbon Contract Hours



Times of Day

March 2021



BUFFALO COUNTY SHERIFF'S OFFICE  
 CONTRACT LAW ENFORCEMENT  
 CITY OF GIBBON, NEBRASKA

March 2021

CONTRACTUAL TIME TOTALS

Contractual Law Enforcement Coverage Time	465.00 Hours
Actual Law Enforcement Coverage Time	515.50 Hours
Actual Contract CSO Time	112.25 Hours
Supervisory Law Enforcement Coverage Time	<u>5.00 Hours</u>
<b>Total Law Enforcement Coverage Time</b>	<b>632.75 Hours</b>

PATROL AND ENFORCEMENT

Citations Issued	2
Warnings Issued	5
Violations Issued	2
Parking Warning	9
Accidents Investigated	0

CALLS FOR SERVICE

03-01-21	Directed Patrol	1030 Court St.
03-01-21	Parking Violation	10 Block Garfield St.
03-01-21	Parking Violation	10 Block Garfield St.
03-01-21	Directed Patrol	1030 Court St.
03-01-21	Fraud	913 Court St.
03-01-21	Harassment	413 1 <sup>st</sup> St. #114.
03-02-21	Animal – Dog	7 <sup>th</sup> St./Garfield St.
03-02-21	Dog Bite	#8 Sun Valley Trlr. Cr.
03-03-21	Directed Patrol	1030 Court St.
03-03-21	Animal – Dog	910 West Ave.
03-03-21	Mental Health Investigation	413 1 <sup>st</sup> St. #119.
03-03-21	Animal – Dog	310 West Ave.
03-04-21	Directed Patrol	700 Block Court St.

03-04-21	Abuse/Neglect Investigation	620 Court St.
03-04-21	Parking Violation	620 West Ave.
03-04-21	Disturbance	1031 Court St.
03-04-21	Medical Call	1607 7 <sup>th</sup> St
03-05-21	Medical Call	714 1 <sup>st</sup> St.
03-05-21	Directed Patrol	1030 Court St.
03-05-21	Parking Violation	411 Lawn Ave.
03-05-21	Directed Patrol	900 Block Lawn Ave.
03-05-21	Trespassing	700 Block RR Tracks.
03-06-21	Disturbance	1503 7 <sup>th</sup> St.
03-06-21	Suspicious Activity	503 West Ave.
03-07-21	Coroner's Investigation	909 West Ave.
03-08-21	Directed Patrol	1030 Court St.
03-08-21	Traffic Complaint	200 Block Gilmore St.
03-08-21	Motor Vehicle Accident	218 Hwy. 30.
03-09-21	Suspicious Activity	818 Hwy. 30.
03-09-21	Directed Patrol	1030 Court St.
03-09-21	Parking Violation	317 Court St.
03-10-21	Leaving the Scene of an Accident	Park Rd./Center St.
03-10-21	Directed Patrol	1030 Court St.
03-10-21	Motorist Assist	200 Block Court St.
03-10-21	Directed Patrol	1030 Court St.
03-10-21	Lost Property	#22 L&J Trlr. Cr.
03-10-21	Disturbance	1507 7 <sup>th</sup> St.
03-11-21	Suspicious Activity	1500 Block 4 <sup>th</sup> St.
03-11-21	Directed Patrol	1030 Court St.
03-11-21	Medical Call	218 Hwy. 30.
03-12-21	Suspicious Activity	507 Pine Ave.
03-12-21	Parking Violation	317 Court St.
03-12-21	Parking Violation	317 Court St.
03-13-21	Traffic Complaint	218 Hwy. 30.
03-13-21	Motorist Assist	1029 Court St.
03-13-21	Suspicious Activity	818 Hwy. 30.
03-13-21	Disturbance	514 May Ave.
03-15-21	Medical Call	218 Hwy. 30.
03-15-21	Traffic Complaint	1700 Block Hwy. 30.
03-16-20	Parking Violation	600 Block 3 <sup>rd</sup> St.
03-16-20	Mental Health Investigation	1115 7 <sup>th</sup> St.
03-17-20	Directed Patrol	1030 Court St.

03-17-21	Parking Violation	1214 7 <sup>th</sup> St.
03-17-21	Check Welfare	413 1 <sup>st</sup> St. #138.
03-18-21	Loud Music	718 Hwy. 30 #B.
03-18-21	Directed Patrol	1030 Court St.
03-19-21	Keys Locked in Vehicle	816 2 <sup>nd</sup> St.
03-19-21	Loud Music	718 Hwy. 30 #B.
03-20-21	Security Alarm	30 Labarre St.
03-21-21	Security Alarm	818 Hwy. 30.
03-21-21	Disturbance	712 West Ave. #6.
03-21-21	Parking Violation	918 2 <sup>nd</sup> St.
03-21-21	Harassment	413 1 <sup>st</sup> St. #114
03-21-21	Mental Health Investigation	514 May Ave.
03-22-21	Barking Dog	#4 Sun Valley Trlr. Crt.
03-22-21	Directed Patrol	1030 Court St.
03-22-21	Directed Patrol	900 Block 2 <sup>nd</sup> St.
03-22-21	Directed Patrol	1000 Block 7 <sup>th</sup> St.
03-23-21	Special Service	1601 7 <sup>th</sup> St.
03-23-21	Directed Patrol	600 Block River St.
03-23-21	Directed Patrol	1100 Block 7 <sup>th</sup> St.
03-23-21	Parking Violation	1200 Block 7 <sup>th</sup> St.
03-23-21	Outside Agency Service	818 Hwy. 30.
03-24-21	Sex Offense Investigation	210 Lawn Ave.
03-24-21	Outside Agency Service	1103 Trail Dr.
03-25-21	Outside Agency Service	210 Lawn Ave.
03-25-21	Check Welfare	218 Hwy. 30.
03-26-21	Parking Violation	600 Block May Ave.
03-26-21	Check Welfare	119 Center St.
03-28-21	Suspicious Activity	1031 Court St.
03-28-21	Trespassing / Sexual Assault	17 Filer St.
03-28-21	Suspicious Activity	24 Filer St.
03-28-21	Vandalism	17 Filer St.
03-28-21	D.U.I. Arrest	500 Block Pine Ave.
03-29-21	Check Premise	1031 Court St.
03-29-21	Medical Call	611 3 <sup>rd</sup> St.
03-29-21	Directed Patrol	1030 Court St.
03-29-21	Special Service	1021 1 <sup>st</sup> St.
03-30-21	Vandalism	103 Glenn Ave.
03-30-21	Directed Patrol	1030 Court St.
03-30-21	Civil Dispute	17 Filer St.

03-30-21	Juvenile Issues	500 Pine Ave.
03-30-21	Traffic Complaint	1700 Block Hwy. 30.
03-30-21	Suspicious Activity	413 1 <sup>st</sup> St. #114.
03-31-21	Directed Patrol	1030 Court St.
03-31-21	Parking Violation	800 Block Hershey St.
03-31-21	Medical Call	714 3 <sup>rd</sup> St.
03-31-21	Train Derailment	Rail Road Tracks

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CITY OF GIBBON						
INDIVIDUAL MONTHLY FUND BALANCES						
CASH TRANSACTIONS AND BALANCES						
3/31/2021						
ALL FUNDS	BALANCE	RECEIPTS	ADJUSTMENT	ADJUSTMENT	EXPENSES	BALANCE
CHECKING	3/1/2021		IN	OUT		3/31/2021
1 GENERAL	508,533.51	110,898.58			147,306.40	472,125.69
2 STREET	137,786.36	51,595.36			28,946.66	160,435.06
3 SALES TAX	0.00					0.00
4 CEMETERY	45,516.84	9,539.83			2,736.89	52,319.78
5 POLICE	270.03	17,687.92			17,765.39	192.56
6 POOL	20,367.64	5,683.33			583.33	25,467.64
7 PARK	39,188.53	18,633.33			10,731.89	47,089.97
8 FIRE	31,399.68	5,933.33			3,332.67	34,000.34
9 LIBRARY	-1,008.41	8,616.55			7,038.09	570.05
10 STREET LIGHTS	6,059.33	3,499.17			3,022.18	6,536.32
12 SEWER	315,030.72	20,607.46			12,542.36	323,095.82
13 GARBAGE	11,978.12	9,744.00			8,545.20	13,176.92
14 WATER	157,072.09	23,780.55			20,861.68	159,990.96
15 SP SEWER PLANT	641,981.09	253,338.50			45,716.96	849,602.63
16 BOND & INTEREST	-1,018,454.05	16,666.67			9,478.92	-1,011,266.30
17 R. E. IMPROVEMTS	366,341.12	4,635.61			16,278.00	354,698.73
18 GOLF COURSE	12,799.90	18,444.61			7,855.96	23,388.55
19 TIF	4,002.44	374.79			0.00	4,377.23
20 KENO	27,817.67	4,590.52			0.00	32,408.19
21 FIRE/CITY HALL CONST DONATIONS FOR SPECIAL PROJECTS	0.00				0.00	0.00
	0.00	20,000.00			0.00	20,000.00
<b>TOTALS</b>	<b>1,306,682.61</b>	<b>604,270.11</b>	<b>0.00</b>	<b>0.00</b>	<b>342,742.58</b>	<b>1,568,210.14</b>
<b>CD SAVINGS</b>						
2 STREET	79,778.34	220.81				79,999.15
4 CEMETERY	59,342.68	59.31				59,401.99
15 SP SEWER PLANT	0.00					0.00
16 BOND & INTEREST	0.00					0.00
14 WATER	0.00					0.00
POOL	0.00					0.00
						0.00
<b>TOTALS</b>	<b>139,121.02</b>	<b>280.12</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>139,401.14</b>
<b>TOTAL ALL ACCTS</b>	<b>1,445,803.63</b>	<b>604,550.23</b>	<b>0.00</b>	<b>0.00</b>	<b>342,742.58</b>	<b>1,707,611.28</b>

No assurance is provided on these financial statements

MONTHLY SUMMARY OF ALL FUNDS							
COMBINED CASH TRANSACTIONS & BALANCES							
FOR THE MONTH ENDING							
3/31/2021							
FUND	BALANCE	RECEIPTS	NET TRANS	EXPENSES	BALANCE		
1	GENERAL	508,533.51	110,898.58	0.00	147,306.40	472,125.69	
2	STREET	217,564.70	51,816.17	0.00	28,946.66	240,434.21	
3	SALES TAX	0.00	0.00	0.00	0.00	0.00	
4	CEMETERY	104,859.52	9,599.14	0.00	2,736.89	111,721.77	
5	POLICE	270.03	17,687.92	0.00	17,765.39	192.56	
6	POOL	20,367.64	5,683.33	0.00	583.33	25,467.64	
7	PARK	39,188.53	18,633.33	0.00	10,731.89	47,089.97	
8	FIRE	31,399.68	5,933.33	0.00	3,332.67	34,000.34	
9	LIBRARY	-1,008.41	8,616.55	0.00	7,038.09	570.05	
10	STREET LIGHTS	6,059.33	3,499.17	0.00	3,022.18	6,536.32	
12	SEWER	315,030.72	20,607.46	0.00	12,542.36	323,095.82	
13	GARBAGE	11,978.12	9,744.00	0.00	8,545.20	13,176.92	
14	WATER	157,072.09	23,780.55	0.00	20,861.68	159,990.96	
15	SP SEWER PLANT	641,981.09	253,338.50	0.00	45,716.96	849,602.63	
16	BOND & INTEREST	-1,018,454.05	16,666.67	0.00	9,478.92	-1,011,266.30	
17	RE IMPROVEMENTS	366,341.12	4,635.61	0.00	16,278.00	354,698.73	
18	GOLF COURSE	12,799.90	18,444.61	0.00	7,855.96	23,388.55	
19	TIF	4,002.44	374.79	0.00	0.00	4,377.23	
20	KENO	27,817.67	4,590.52	0.00	0.00	32,408.19	
21	FIRE/CITY HALL CONST	0.00	0.00	0.00	0.00	0.00	
	DONATIONS FOR SPECIAL						
	PROJECTS	0.00	20,000.00	0.00	0.00	20,000.00	
<b>TOTALS</b>		<b>1,445,803.63</b>	<b>604,550.23</b>	<b>0.00</b>	<b>342,742.58</b>	<b>1,707,611.28</b>	
YEAR TO DATE TOTALS							
FOR THE MONTH ENDING							
3/31/2021							
FUND	BALANCE	RECEIPTS	NET TRANS	EXPENSES	BALANCE		
1	GENERAL	804,258.16	544,067.75	0.00	876,200.22	472,125.69	0.00
2	STREET	79,778.34	365,523.86	0.00	204,867.99	240,434.21	0.00
3	SALES TAX	0.00	0.00	0.00	0.00	0.00	0.00
4	CEMETERY	62,727.32	80,463.61	0.00	31,469.16	111,721.77	0.00
5	POLICE	0.00	106,127.52	0.00	105,934.96	192.56	0.00
6	POOL	0.00	34,099.95	0.00	8,632.31	25,467.64	0.00
7	PARK	0.00	111,799.98	0.00	64,710.01	47,089.97	0.00
8	FIRE	28,174.16	35,224.98	0.00	29,398.80	34,000.34	0.00
9	LIBRARY	0.00	51,808.18	0.00	51,238.13	570.05	0.00
10	STREET LIGHTS	5,343.22	18,997.07	0.00	17,803.97	6,536.32	0.00
12	SEWER	283,768.03	144,992.61	0.00	105,664.82	323,095.82	0.00
13	GARBAGE	11,243.71	55,848.39	0.00	53,915.18	13,176.92	0.00
14	WATER	143,810.66	152,013.73	0.00	135,833.43	159,990.96	0.00
15	SP SEWER PLANT	296,187.02	944,788.38	0.00	391,372.77	849,602.63	0.00
16	BOND & INTEREST	-394,499.23	160,866.85	0.00	777,633.92	-1,011,266.30	0.00
17	RE IMPROVEMENTS	369,622.81	27,847.21	0.00	42,771.29	354,698.73	0.00
18	GOLF COURSE	0.00	84,705.05	0.00	61,316.50	23,388.55	0.00
19	TIF	2,000.00	2,377.23	0.00	0.00	4,377.23	0.00
20	KENO	13,696.96	20,727.23	0.00	2,016.00	32,408.19	0.00
21	FIRE/CITY HALL CONST	0.00	0.00	0.00	0.00	0.00	0.00
	DONATIONS FOR SPECIAL						
	PROJECTS	0.00	20,000.00	0.00	0.00	20,000.00	0.00
<b>TOTALS</b>		<b>1,706,111.16</b>	<b>2,962,279.58</b>	<b>0.00</b>	<b>2,960,779.46</b>	<b>1,707,611.28</b>	

No assurance is provided on these financial statements

CITY OF GIBBON						
BUDGET SUMMARY						
3/31/2021						
FUND	BUDGET RECEIPTS	RECEIVED FOR MONTH	RECEIVED YTD	BALANCE REMAINING	% OF BUDGET REMAINING	
1	GENERAL	1,416,208.28	110,898.58	544,067.75	872,140.53	61.58%
2	STREET	519,674.00	51,816.17	365,523.86	154,150.14	29.66%
3	SALES TAX		0.00	0.00	0.00	
4	CEMETERY	104,900.00	9,599.14	80,463.61	24,436.39	23.29%
5	POLICE	213,300.00	17,687.92	106,127.52	107,172.48	50.24%
6	POOL	77,700.00	5,683.33	34,099.95	43,600.05	56.11%
7	PARK	224,600.00	18,633.33	111,799.98	112,800.02	50.22%
8	FIRE	75,600.00	5,933.33	35,224.98	40,375.02	53.41%
9	LIBRARY	104,400.00	8,616.55	51,808.18	52,591.82	50.38%
10	STREET LIGHTS	42,000.00	3,499.17	18,997.07	23,002.93	54.77%
12	SEWER	370,500.00	20,607.46	144,992.61	225,507.39	60.87%
13	GARBAGE	108,500.00	9,744.00	55,848.39	52,651.61	48.53%
14	WATER	272,525.00	23,780.55	152,013.73	120,511.27	44.22%
15	SP SEWER PLANT	1,553,457.00	253,338.50	944,788.38	608,668.62	39.18%
16	BOND & INTEREST	1,005,402.00	16,666.67	160,866.85	844,535.15	84.00%
17	RE IMPROVEMENTS	55,450.00	4,635.61	27,847.21	27,602.79	49.78%
18	GOLF COURSE	268,300.00	18,444.61	84,705.05	183,594.95	68.43%
19	TIF	18,692.00	374.79	2,377.23	16,314.77	87.28%
20	KENO	16,000.00	20,000.00	20,000.00	-4,000.00	-25.00%
<b>TRANSFER TOTALS</b>		<b>6,447,208.28</b>	<b>599,959.71</b>	<b>2,941,552.35</b>	<b>3,505,655.93</b>	<b>54.37%</b>
FUND	BUDGET EXPENSES	EXPENSES FOR MONTH	EXPENSES YTD	BALANCE REMAINING	% OF BUDGET REMAINING	
1	GENERAL	1,770,495.00	147,306.40	876,200.22	894,294.78	50.51%
2	STREET	479,100.00	28,946.66	204,867.99	274,232.01	57.24%
3	SALES TAX		0.00	0.00	0.00	
4	CEMETERY	89,500.00	2,736.89	31,469.16	58,030.84	64.84%
5	POLICE	213,300.00	17,765.39	105,934.96	107,365.04	50.34%
6	POOL	77,700.00	583.33	8,632.31	69,067.69	88.89%
7	PARK	224,600.00	10,731.89	64,710.01	159,889.99	71.19%
8	FIRE	75,600.00	3,332.67	29,398.80	46,201.20	61.11%
9	LIBRARY	104,400.00	7,038.09	51,238.13	53,161.87	50.92%
10	STREET LIGHTS	42,000.00	3,022.18	17,803.97	24,196.03	57.61%
12	SEWER	548,178.00	12,542.36	105,664.82	442,513.18	80.72%
13	GARBAGE	108,500.00	8,545.20	53,915.18	54,584.82	50.31%
14	WATER	394,881.00	20,861.68	135,833.43	259,047.57	65.60%
15	SP SEWER PLANT	1,787,982.00	45,716.96	391,372.77	1,396,609.23	78.11%
16	BOND & INTEREST	1,043,015.00	9,478.92	777,633.92	265,381.08	25.44%
17	RE IMPROVEMENTS	427,121.63	16,278.00	42,771.29	384,350.34	89.99%
18	GOLF COURSE	268,300.00	7,855.96	61,316.50	206,983.50	77.15%
19	TIF	14,954.00	0.00	0.00	14,954.00	100.00%
20	KENO	3,500.00	0.00	0.00	3,500.00	100.00%
<b>TRANSFER TOTAL</b>		<b>7,673,126.63</b>	<b>342,742.58</b>	<b>2,958,763.46</b>	<b>4,714,363.17</b>	<b>61.44%</b>

No assurance is provided on these financial statements

CITY OF GIBBON				
CHECKS OUTSTANDING				
		3/31/2021		
PAYEE	CK. NO.	DATE		AMOUNT
JCB	14476	4/19/2016		8.50
KMART PHARMACY	15154	11/21/2016		63.26
JARED RIGGERT	15370	1/23/2017		100.00
RYAN KENNEDY	15375	1/25/2017		13.28
JASON MARKHAM	15377	1/25/2017		41.35
TAYLOR OSTRANDER	15382	1/26/2017		100.00
MAURILIA MARTINEZ	15829	7/5/2017		29.86
PRECISION POURS, INC	15944	8/7/2017		149.00
RYAN SMITH	15949	8/7/2017		14.50
ERIKA STOLZ	16037	9/8/2017		7.54
KATHRYN LOUISE WHELAN	16640	5/1/2018		18.53
GODFREY ELECTRIC, LLC	16826	7/2/2018		3.13
THE FOUNTAIN GUYS, LTD	16840	7/2/2018		304.00
KENNETH KAST	16915	7/30/2018		20.18
KELLI PETERSON	16916	7/30/2018		69.94
DANILO LURSSSEN	17162	9/18/2018		100.00
ROLAND & MICHELE MOSEL	17171	9/18/2018		38.90
TERRY RITTERBUSH	17187	9/18/2018		100.00
JOSE L RODRIGUEZ	17193	9/18/2018		100.00
JODI WOOD	17212	9/18/2018		100.00
RACHAMIN AVITAL	17292	10/31/2018		0.67
NATIONWIDE	17716	4/15/2019		100.00
Eric Rodriguez	17746	12/31/2019		66.50
Mike Bennett	19313	12/8/2020		39.51
Sandy Hubbard	19320	12/8/2020		100.00
Jaimee Moore	19327	12/8/2020		32.51
Erin Nelson	19328	12/8/2020		39.51
Marcos Solarez	19335	12/8/2020		100.00
American Fence Company	19420/19605	1/19/2021		9,515.00
NMVCA	19480	2/2/2021		105.00
Ask Supply Co. LLC	19548	3/15/2021		231.61
Gibbon Fire Department	19570	3/15/2021		800.00
Platte Valley Lab	19588	3/15/2021		3,714.00
Buffalo Chipz	19596	3/15/2021		1,286.20
Companion Life Insurance Company	19598	3/15/2021		26.67
Nebraska Child Support	19599	3/15/2021		225.70
Nebraska Public Health Lab	19602	3/25/2021		335.00
Quadient Leasing USA, Inc.	19603	3/25/2021		158.85
Verizon Wireless	19604	3/25/2021		807.73
Nebraska Dept of Rev		3/31/2021		1,585.73
				20,652.16

No assurance is provided on these financial statements

<b>CITY OF GIBBON</b>					
<b>BANK RECONCILIATION</b>					
<b>FOR THE MONTH ENDING</b>					
3/31/2021					
CASH ON HAND		2/28/2021			1,306,682.61
RECEIPTS FOR MONTH					604,270.11
CASH TO ACCOUNT FOR					1,910,952.72
CHECK WRITTEN FOR MONTH					342,742.58
FUND BALANCE		3/31/2021			1,568,210.14
ACCOUNTS REC					-54,974.30
ACCOUNTS PAYABLE					25,782.94
CASH BALANCE		3/31/2021			1,539,018.78
<b>PROOF OF BALANCE</b>					
DEPOSITS IN TRANSIT					262,001.95
BALANCE ON STATEMENT		3/31/2021			1,297,668.99
LESS CHECKS OUTSTANDING					20,652.16
ADJ. BANK BALANCE		3/31/2021			1,539,018.78
RECONCILED BANK BALANCES					1,539,018.78
		BEG. BAL	INT MONTH	YTD INT	END. BAL.
EB CD 105692	Street	79,778.34		220.81	79,999.15
EB CD 106080	Cemetery	24,473.24		27.72	24,500.96
EB CD 8420	Cemetery	8,043.10	19.87	39.87	8,082.97
EB CD 105789	Cemetery	12,780.27	20.50	41.15	12,821.42
EB CD 106458	Cemetery	13,958.61	18.94	38.03	13,996.64
					0.00
TOTAL CD'S		139,033.56	59.31	367.58	139,401.14
TOTAL OF ALL FUNDS AVAILABLE					1,678,419.92

No assurance is provided on these financial statements



# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>GENERAL</b>									
01-1001	PROPERTY TAX	25,173.53	89,466.21	17.08 %	43,645.00	523,738.28	434,272.07	96,546.16	520,932.18
01-1002	CONSUMERS 5%	0.00	2,464.26	7.04 %	2,917.00	35,000.00	32,535.74	2,361.39	48,327.56
01-1003	BUILDING PERMIT	150.00	350.00	35.00 %	83.00	1,000.00	650.00	370.00	1,455.00
01-1004	OTHER INCOME	20,321.21	23,384.56	584.61 %	333.00	4,000.00	(19,384.56)	2,507.39	6,776.90
01-1005	INTEREST	91.26	687.48	144.73 %	40.00	475.00	(212.48)	461.67	1,027.31
01-1006	NPPD	35,276.42	228,131.90	48.03 %	39,583.00	475,000.00	246,868.10	228,994.02	456,760.92
01-1007	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
01-1009	RENT	750.00	4,450.00	49.44 %	750.00	9,000.00	4,550.00	4,500.00	9,025.00
01-1012	MOTOR VEHICLE TAX	2,404.91	18,160.40	60.53 %	2,500.00	30,000.00	11,839.60	13,473.47	24,351.61
01-1013	LOCAL SALES TAX	22,337.15	151,773.96	64.58 %	19,583.00	235,000.00	83,226.04	116,117.29	257,263.53
01-1014	PRO RATE	0.00	370.97	53.00 %	58.00	700.00	329.03	270.48	1,232.04
01-1020	SOURCE GAS FRANCHISE	0.00	3,760.70	94.02 %	333.00	4,000.00	239.30	4,185.30	4,185.30
01-1021	FINES & LICENSE	325.00	1,275.00	42.50 %	250.00	3,000.00	1,725.00	1,890.00	2,200.00
01-1022	CABLE FRANCHISE	12,798.17	12,798.17	106.65 %	1,000.00	12,000.00	(798.17)	0.00	13,234.96
01-1049	ACE REBATE	0.00	4,298.00	171.92 %	208.00	2,500.00	(1,798.00)	4,631.00	4,631.00
01-1051	MUNICIPAL EQUAL FUND	11,270.93	22,696.11	29.55 %	6,400.00	76,795.00	54,098.89	30,494.00	101,106.82
01-1054	UTILITY DEPOSITS	0.00	0.00	0.00 %	333.00	4,000.00	4,000.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>130,898.58</b>	<b>564,067.72</b>	<b>39.83 %</b>	<b>118,016.00</b>	<b>1,416,208.28</b>	<b>852,140.56</b>	<b>506,802.17</b>	<b>1,452,510.13</b>

<b>Expense</b>									
<b>GENERAL</b>									
01-2001	SALARIES	2,210.24	23,510.34	37.32 %	5,250.00	63,000.00	39,489.66	22,498.23	45,170.32
01-2002	EMPLOYEE INSURANCE	871.18	6,697.05	35.25 %	1,583.00	19,000.00	12,302.95	7,881.61	15,981.18
01-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
01-2004	SUPPLIES	372.74	1,369.84	68.49 %	167.00	2,000.00	630.16	3,178.12	4,527.44
01-2005	REPAIR & MAINTENANCE	0.00	923.91	8.03 %	958.00	11,500.00	10,576.09	519.89	967.41
01-2006	UTILITIES-ELECTRIC	64.04	359.80	23.99 %	125.00	1,500.00	1,140.20	490.43	1,048.14
01-2007	UTILITIES-SOURCE GAS	156.22	585.17	39.01 %	125.00	1,500.00	914.83	622.07	903.72
01-2008	TELEPHONE	493.34	1,915.28	47.88 %	333.00	4,000.00	2,084.72	1,824.71	3,445.51
01-2009	PROFESSIONAL	16,647.00	47,040.52	78.40 %	5,000.00	60,000.00	12,959.48	53,485.53	81,263.04
01-2010	INSURANCE	100.00	7,429.86	44.76 %	1,383.00	16,600.00	9,170.14	6,493.03	2,865.20
01-2011	PRINTING & PUBLICATION	169.81	4,413.04	73.55 %	500.00	6,000.00	1,586.96	1,628.76	4,702.69
01-2012	MISCELLANEOUS	62.75	1,986.59	39.73 %	417.00	5,000.00	3,013.41	2,339.37	2,526.82
01-2013	OFFICE SUPPLIES	0.00	2,408.64	34.41 %	583.00	7,000.00	4,591.36	2,642.99	5,093.23
01-2014	ELECTION	0.00	1,723.99	34.48 %	417.00	5,000.00	3,276.01	2,226.65	2,985.96
01-2015	CHEMICAL & INSECT	0.00	0.00	0.00 %	42.00	500.00	500.00	250.00	500.00
01-2016	MISC. SUPPLIES	0.00	358.63	28.69 %	104.00	1,250.00	891.37	0.00	0.00
01-2017	COPIER PAYMENT	174.54	1,496.63	49.89 %	250.00	3,000.00	1,503.37	1,693.28	3,300.57
01-2018	TRANSFER SCHOOL	0.00	950.00	31.67 %	250.00	3,000.00	2,050.00	1,250.00	2,050.00
01-2020	ECON. DEVELOPMENT	0.00	20,000.00	100.00 %	1,667.00	20,000.00	0.00	20,000.00	20,000.00
01-2021	LABOR & MACHINE	158.85	527.70	52.77 %	83.00	1,000.00	472.30	512.70	830.40
01-2022	TRAVEL & CONF. MILE	1,680.04	4,819.37	40.16 %	1,000.00	12,000.00	7,180.63	10,715.13	13,154.15
01-2023	OFFICE EQUIPMENT	0.00	0.00	0.00 %	417.00	5,000.00	5,000.00	0.00	0.00
01-2024	TRANSFER	123,878.75	743,272.50	50.00 %	123,879.00	1,486,545.00	743,272.50	575,096.04	1,014,564.08
01-2025	RE IMPROVEMENTS	0.00	365.67	1.83 %	1,667.00	20,000.00	19,634.33	369.91	369.91
01-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
01-2043	DUES & CONV	0.00	330.00	11.00 %	250.00	3,000.00	2,670.00	440.00	6,406.57

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Expense (Continued)</b>									
GENERAL									
01-2071	EQUIPMENT	0.00	0.00	0.00 %	417.00	5,000.00	5,000.00	0.00	0.00
01-2079	REFUNDS	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
01-2093	H CENTER TAXES	0.00	1,186.94	98.91 %	100.00	1,200.00	13.06	1,204.30	1,204.30
01-2095	CITY SHARE FICA	137.09	1,457.74	55.53 %	219.00	2,625.00	1,167.26	1,395.35	2,801.35
01-2096	CITY SHARE MEDICARE	32.04	341.02	54.13 %	52.00	630.00	288.98	326.65	655.71
01-2097	CITY SHARE IRA	62.86	441.20	42.02 %	88.00	1,050.00	608.80	499.98	1,000.22
01-2098	CITY SHARE ROTH	34.91	288.79	48.54 %	50.00	595.00	306.21	333.29	666.72
<b>TOTAL Expense</b>		<b>147,306.40</b>	<b>876,200.22</b>	<b>49.49 %</b>	<b>147,543.00</b>	<b>1,770,495.00</b>	<b>894,294.78</b>	<b>719,918.02</b>	<b>1,238,984.64</b>

PROFIT / (LOSS) :

	(16,407.82)	(312,132.50)	(29,527.00)	(354,286.72)	(42,154.22)	(213,115.85)	213,525.49
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>STREET FUND</b>									
02-1001	PROPERTY TAX	531.41	531.41	0.00 %	0.00	0.00	(531.41)	0.00	0.00
02-1004	OTHER INCOME	5,222.59	13,107.69	524.31 %	208.00	2,500.00	(10,607.69)	131.00	7,402.60
02-1005	INTEREST	19.66	35.57	14.23 %	21.00	250.00	214.43	156.77	211.09
02-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-1007	TRANSFER	23,750.00	142,500.00	50.00 %	23,750.00	285,000.00	142,500.00	12,241.02	39,101.79
02-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-1015	HIGHWAY ALLOCATION	20,527.05	120,987.51	54.52 %	18,494.00	221,924.00	100,936.49	117,838.96	215,815.75
02-1016	STREET ASSESSMENT	1,544.65	76,383.86	0.00 %	0.00	0.00	(76,383.86)	0.00	0.00
02-1018	MOTOR VEHICLE	0.00	11,757.01	117.57 %	833.00	10,000.00	(1,757.01)	7,999.41	15,880.24
02-1045	BOND PROCEEDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>51,595.36</b>	<b>365,303.05</b>	<b>70.29 %</b>	<b>43,306.00</b>	<b>519,674.00</b>	<b>154,370.95</b>	<b>138,367.16</b>	<b>278,411.47</b>
<b>Expense</b>									
<b>STREET FUND</b>									
02-2001	SALARIES	13,343.57	83,282.43	50.47 %	13,750.00	165,000.00	81,717.57	87,825.20	157,412.58
02-2002	EMPLOYEE INSURANCE	5,766.83	44,346.59	43.05 %	8,583.00	103,000.00	58,653.41	41,608.70	80,659.80
02-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-2004	SUPPLIES	682.40	4,550.20	25.28 %	1,500.00	18,000.00	13,449.80	5,543.30	12,016.21
02-2005	REPAIR & MAINTENANCE	1,011.53	12,648.07	42.16 %	2,500.00	30,000.00	17,351.93	16,599.70	38,178.29
02-2006	UTILITIES-ELECTRIC	211.82	1,267.34	31.68 %	333.00	4,000.00	2,732.66	1,254.01	2,404.53
02-2007	UTILITIES-SOURCE GAS	1,117.17	3,379.96	37.56 %	750.00	9,000.00	5,620.04	4,313.94	5,087.37
02-2008	TELEPHONE	218.69	1,767.71	88.39 %	167.00	2,000.00	232.29	1,121.24	2,206.22
02-2009	PROFESSIONAL	0.00	1,860.00	18.60 %	833.00	10,000.00	8,140.00	9,493.70	13,881.95
02-2010	INSURANCE	0.00	12,816.03	64.08 %	1,667.00	20,000.00	7,183.97	12,967.48	13,641.66
02-2012	MISCELLANEOUS	0.00	0.00	0.00 %	250.00	3,000.00	3,000.00	1,305.50	3,205.50
02-2015	CHEMICAL & INSECT	0.00	105.00	3.50 %	250.00	3,000.00	2,895.00	0.00	6,152.41
02-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	64,200.00
02-2027	GAS & OIL	1,421.89	4,892.91	48.93 %	833.00	10,000.00	5,107.09	3,479.00	6,645.69
02-2028	SNOW REMOVAL	0.00	0.00	0.00 %	0.00	0.00	0.00	3,336.69	3,336.69
02-2029	SAND & GRAVEL	2,943.73	21,450.58	429.01 %	417.00	5,000.00	(16,450.58)	14,940.94	16,050.52
02-2030	CONC & BLACK TOP	0.00	781.30	5.21 %	1,250.00	15,000.00	14,218.70	3,793.24	4,525.24
02-2031	SIGNS	0.00	257.23	0.00 %	0.00	0.00	(257.23)	9,672.60	13,188.51
02-2032	PAVEMENT MARK	0.00	274.65	13.73 %	167.00	2,000.00	1,725.35	0.00	1,939.16
02-2033	FLAGS/FLAR/BAR	668.09	668.09	19.09 %	292.00	3,500.00	2,831.91	1,046.36	1,046.36
02-2034	BOND & INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	22,500.00
02-2035	STREET IMPROVEMENTS	0.00	0.00	0.00 %	3,017.00	36,200.00	36,200.00	0.00	202.47
02-2095	CITY SHARE FICA	827.30	5,163.52	53.31 %	807.00	9,686.44	4,522.92	5,445.07	9,759.43
02-2096	CITY SHARE MEDICARE	193.51	1,207.67	40.07 %	251.00	3,013.56	1,805.89	1,273.41	2,282.40
02-2097	CITY SHARE IRA	396.83	2,561.05	53.51 %	399.00	4,786.49	2,225.44	2,554.39	4,379.47
02-2098	CITY SHARE ROTH	143.30	1,587.66	54.49 %	243.00	2,913.51	1,325.85	1,703.00	2,919.77
<b>TOTAL Expense</b>		<b>28,946.66</b>	<b>204,867.99</b>	<b>42.76 %</b>	<b>39,926.00</b>	<b>479,100.00</b>	<b>274,232.01</b>	<b>229,277.47</b>	<b>487,822.23</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
PROFIT / (LOSS) :		<b>22,648.70</b>	<b>160,435.06</b>		<b>3,380.00</b>	<b>40,574.00</b>	<b>(119,861.06)</b>	<b>(90,910.31)</b>	<b>(209,410.76)</b>
<b>Revenue</b>									
SALES TAX FUND									
03-1004	OTHER INCOME	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-1023	STATE SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Expense</b>									
SALES TAX FUND									
03-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2036	SALES TAX PD TO ST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2037	TAX RELIEF-CEM	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2049	EQUIPMENT PARK	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2091	EQUIPMENT GENERAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
PROFIT / (LOSS) :		<b>0.00</b>	<b>0.00</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
CEMETERY FUND									
04-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1004	OTHER INCOME	0.00	360.00	14.40 %	208.00	2,500.00	2,140.00	230.00	510.00
04-1005	INTEREST	6.50	22.61	22.61 %	8.00	100.00	77.39	20.54	36.59
04-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1007	TRANSFER	7,233.33	43,399.98	50.00 %	7,233.00	86,800.00	43,400.02	33,900.00	54,840.00
04-1008	DONATIONS	0.00	22,746.35	274.64 %	83.00	1,000.00	(21,746.35)	500.00	1,675.00
04-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1024	GRAVE OPENING	400.00	3,250.00	65.00 %	417.00	5,000.00	1,750.00	4,150.00	8,550.00
04-1025	CEMETERY LOTS	1,600.00	8,010.00	160.20 %	417.00	5,000.00	(3,010.00)	1,600.00	8,405.00
04-1050	COLMBARIUM RECEIPTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1055	RECLAIMED LOT SALES	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
04-1062	PERPETUAL CARE	300.00	2,400.00	68.57 %	292.00	3,500.00	1,100.00	1,650.00	4,500.00
<b>TOTAL Revenue</b>		<b>9,539.83</b>	<b>80,188.94</b>	<b>76.44 %</b>	<b>8,741.00</b>	<b>104,900.00</b>	<b>24,711.06</b>	<b>42,050.54</b>	<b>78,516.59</b>
<b>Expense</b>									
CEMETERY FUND									
04-2001	SALARIES	1,371.00	9,474.99	24.93 %	3,167.00	38,000.00	28,525.01	12,632.30	43,861.63
04-2002	EMPLOYEE INSURANCE	438.15	1,685.32	18.94 %	742.00	8,900.00	7,214.68	1,678.08	4,031.71
04-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-2004	SUPPLIES	588.41	1,322.07	26.44 %	417.00	5,000.00	3,677.93	1,023.05	4,920.85
04-2005	REPAIR & MAINTENANCE	0.00	164.66	3.29 %	417.00	5,000.00	4,835.34	775.35	3,321.83
04-2006	UTILITIES-ELECTRIC	40.14	634.65	70.52 %	75.00	900.00	265.35	280.73	1,056.99
04-2008	TELEPHONE	49.72	310.86	28.26 %	92.00	1,100.00	789.14	558.15	1,046.33
04-2010	INSURANCE	0.00	2,656.00	88.53 %	250.00	3,000.00	344.00	2,708.09	2,906.38
04-2012	MISCELLANEOUS	0.00	305.35	15.27 %	167.00	2,000.00	1,694.65	916.85	1,290.50
04-2026	CAPITAL OUTLAY	0.00	13,643.96	389.83 %	292.00	3,500.00	(10,143.96)	0.00	1,296.11
04-2027	GAS & OIL	76.03	307.65	6.15 %	417.00	5,000.00	4,692.35	1,205.16	2,385.76
04-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	1,000.00	12,000.00	12,000.00	0.00	12,021.30
04-2095	CITY SHARE FICA	85.01	587.45	27.74 %	176.00	2,118.00	1,530.55	783.19	2,719.42
04-2096	CITY SHARE MEDICARE	19.88	137.39	15.58 %	74.00	882.00	744.61	183.19	636.03
04-2097	CITY SHARE IRA	41.13	143.28	11.94 %	100.00	1,200.00	1,056.72	222.96	702.15
04-2098	CITY SHARE ROTH	27.42	95.53	10.61 %	75.00	900.00	804.47	148.61	468.10
<b>TOTAL Expense</b>		<b>2,736.89</b>	<b>31,469.16</b>	<b>35.16 %</b>	<b>7,461.00</b>	<b>89,500.00</b>	<b>58,030.84</b>	<b>23,115.71</b>	<b>82,665.09</b>
<b>PROFIT / (LOSS) :</b>		<b>6,802.94</b>	<b>48,719.78</b>		<b>1,280.00</b>	<b>15,400.00</b>	<b>(33,319.78)</b>	<b>18,934.83</b>	<b>(4,148.50)</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>POLICE FUND</b>									
05-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1004	OTHER INCOME	0.00	0.00	0.00 %	85.00	1,025.00	1,025.00	0.00	0.00
05-1005	INTEREST	0.00	0.00	0.00 %	2.00	20.00	20.00	0.00	0.00
05-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1007	TRANSFER	17,687.92	106,127.52	50.00 %	17,688.00	212,255.00	106,127.48	90,499.98	178,989.42
05-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>17,687.92</b>	<b>106,127.52</b>	<b>49.76 %</b>	<b>17,775.00</b>	<b>213,300.00</b>	<b>107,172.48</b>	<b>90,499.98</b>	<b>178,989.42</b>

<b>Expense</b>									
<b>POLICE FUND</b>									
05-2001	SALARIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2004	SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2005	REPAIR & MAINTENANCE	0.00	0.00	0.00 %	17.00	200.00	200.00	0.00	0.00
05-2006	UTILITIES-ELECTRIC	34.03	202.68	28.95 %	58.00	700.00	497.32	283.02	575.16
05-2007	UTILITIES-SOURCE GAS	225.97	702.29	39.02 %	150.00	1,800.00	1,097.71	702.36	851.30
05-2008	TELEPHONE	63.72	379.97	47.50 %	67.00	800.00	420.03	374.28	749.31
05-2010	INSURANCE	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	0.00
05-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2022	TRAVEL & CONF. MILE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2027	GAS & OIL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2041	DOG EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2042	CLEANING	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2043	DUES & CONV	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2044	SHERIFF ALLOWANCE	17,441.67	104,650.02	50.00 %	17,442.00	209,300.00	104,649.98	73,419.45	176,813.65
05-2090	N CASH RESERVE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2095	CITY SHARE FICA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2096	CITY SHARE MEDICARE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2098	CITY SHARE ROTH	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>17,765.39</b>	<b>105,934.96</b>	<b>49.66 %</b>	<b>17,776.00</b>	<b>213,300.00</b>	<b>107,365.04</b>	<b>74,779.11</b>	<b>178,989.42</b>

PROFIT / (LOSS) :

	<b>(77.47)</b>	<b>192.56</b>	<b>(1.00)</b>	<b>0.00</b>	<b>(192.56)</b>	<b>15,720.87</b>	<b>0.00</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>POOL FUND</b>									
06-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1004	OTHER INCOME	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	100.00
06-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1007	TRANSFER	5,683.33	34,099.98	50.00 %	5,683.00	68,200.00	34,100.02	33,600.00	11,397.85
06-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1019	POOL RECEIPTS	0.00	0.00	0.00 %	750.00	9,000.00	9,000.00	75.12	75.12
06-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1057	POOL BONDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>5,683.33</b>	<b>34,099.98</b>	<b>43.89 %</b>	<b>6,475.00</b>	<b>77,700.00</b>	<b>43,600.02</b>	<b>33,675.12</b>	<b>11,572.97</b>

<b>Expense</b>									
<b>POOL FUND</b>									
06-2001	SALARIES	0.00	0.00	0.00 %	3,000.00	36,000.00	36,000.00	0.00	0.00
06-2002	EMPLOYEE INSURANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2004	SUPPLIES	421.74	519.84	8.66 %	500.00	6,000.00	5,480.16	102.48	102.48
06-2005	REPAIR & MAINTENANCE	0.00	0.00	0.00 %	333.00	4,000.00	4,000.00	98.00	1,925.19
06-2006	UTILITIES-ELECTRIC	51.20	331.05	6.02 %	458.00	5,500.00	5,168.95	397.34	788.49
06-2007	UTILITIES-SOURCE GAS	33.98	170.11	34.02 %	42.00	500.00	329.89	220.00	441.93
06-2008	TELEPHONE	36.38	217.41	24.16 %	75.00	900.00	682.59	215.10	430.29
06-2010	INSURANCE	0.00	7,353.90	147.08 %	417.00	5,000.00	(2,353.90)	7,209.67	7,566.59
06-2012	MISCELLANEOUS	0.00	0.00	0.00 %	125.00	1,500.00	1,500.00	106.00	318.00
06-2024	TRANSFER	40.00	40.00	0.00 %	0.00	0.00	(40.00)	0.00	0.00
06-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	667.00	8,000.00	8,000.00	0.00	0.00
06-2045	MERCHANDISE FOR RESALE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2046	CHEMICALS	0.00	0.00	0.00 %	625.00	7,500.00	7,500.00	0.00	0.00
06-2048	POOL PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2090	N CASH RESERVE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2095	CITY SHARE FICA	0.00	0.00	0.00 %	175.00	2,100.00	2,100.00	0.00	0.00
06-2096	CITY SHARE MEDICARE	0.00	0.00	0.00 %	58.00	700.00	700.00	0.00	0.00
06-2097	CITY SHARE IRA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2098	CITY SHARE ROTH	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>583.30</b>	<b>8,632.31</b>	<b>11.11 %</b>	<b>6,475.00</b>	<b>77,700.00</b>	<b>69,067.69</b>	<b>8,348.59</b>	<b>11,572.97</b>

PROFIT / (LOSS) :

	<b>5,100.03</b>	<b>25,467.67</b>		<b>0.00</b>	<b>0.00</b>	<b>(25,467.67)</b>	<b>25,326.53</b>	<b>0.00</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>PARK FUND</b>									
07-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1004	OTHER INCOME	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	475.00	534.57
07-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1007	TRANSFER	18,633.33	111,799.98	50.00 %	18,633.00	223,600.00	111,800.02	104,732.52	219,840.89
07-1008	DONATIONS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1028	REIMBURSEMENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>18,633.33</b>	<b>111,799.98</b>	<b>49.78 %</b>	<b>18,716.00</b>	<b>224,600.00</b>	<b>112,800.02</b>	<b>105,207.52</b>	<b>220,375.46</b>
<b>Expense</b>									
<b>PARK FUND</b>									
07-2001	SALARIES	3,291.32	25,396.84	30.60 %	6,917.00	83,000.00	57,603.16	20,581.93	92,961.59
07-2002	EMPLOYEE INSURANCE	3,054.45	10,830.70	32.82 %	2,750.00	33,000.00	22,169.30	8,486.00	24,765.15
07-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2004	SUPPLIES	2,166.51	4,522.84	30.15 %	1,250.00	15,000.00	10,477.16	7,579.57	17,669.46
07-2005	REPAIR & MAINTENANCE	199.40	1,367.68	6.84 %	1,667.00	20,000.00	18,632.32	2,933.21	12,192.42
07-2006	UTILITIES-ELECTRIC	500.07	3,110.37	51.84 %	500.00	6,000.00	2,889.63	3,302.90	6,674.58
07-2008	TELEPHONE	135.43	1,012.02	50.60 %	167.00	2,000.00	987.98	685.18	1,425.16
07-2010	INSURANCE	0.00	9,301.70	93.02 %	833.00	10,000.00	698.30	7,832.69	8,229.27
07-2012	MISCELLANEOUS	0.00	816.29	40.81 %	167.00	2,000.00	1,183.71	1,178.52	1,222.52
07-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2026	CAPITAL OUTLAY	0.00	914.19	3.66 %	2,083.00	25,000.00	24,085.81	2,985.71	29,010.56
07-2027	GAS & OIL	67.58	1,338.91	14.88 %	750.00	9,000.00	7,661.09	1,875.40	5,796.90
07-2049	EQUIPMENT PARK	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
07-2050	MOWING	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2051	GOLF COURSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2052	BALL DIAMOND IMPROV	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2053	PARK IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2054	HERITAGE CENTER	823.30	2,737.61	45.63 %	500.00	6,000.00	3,262.39	5,666.19	6,020.41
07-2055	COMMUNITY CENTER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2056	STUMP REMOVAL TREES	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	650.00	1,400.00
07-2057	NEW BALL PARK	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2085	Heritage Center & CC Expense	107.08	186.51	0.00 %	0.00	0.00	(186.51)	229.06	2,843.99
07-2095	CITY SHARE FICA	204.05	1,574.56	29.52 %	444.00	5,333.00	3,758.44	1,280.54	5,768.12
07-2096	CITY SHARE MEDICARE	47.73	368.25	34.51 %	89.00	1,067.00	698.75	299.47	1,349.01
07-2097	CITY SHARE IRA	98.73	756.66	39.41 %	160.00	1,920.00	1,163.34	617.48	1,827.82
07-2098	CITY SHARE ROTH	36.24	474.88	37.10 %	107.00	1,280.00	805.12	411.62	1,218.50
<b>TOTAL Expense</b>		<b>10,731.89</b>	<b>64,710.01</b>	<b>28.81 %</b>	<b>18,718.00</b>	<b>224,600.00</b>	<b>159,889.99</b>	<b>66,595.47</b>	<b>220,375.46</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>PROFIT / (LOSS) :</b>		<b>7,901.44</b>	<b>47,089.97</b>		<b>(2.00)</b>	<b>0.00</b>	<b>(47,089.97)</b>	<b>38,612.05</b>	<b>0.00</b>
<b>Revenue</b>									
<b>FIRE FUND</b>									
08-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1004	OTHER INCOME	925.00	1,027.50	102.75 %	83.00	1,000.00	(27.50)	420.00	420.00
08-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1007	TRANSFER	5,008.33	30,049.98	50.00 %	5,008.00	60,100.00	30,050.02	30,025.02	60,050.04
08-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1030	RURAL FIRE DIST.	0.00	4,147.50	28.60 %	1,208.00	14,500.00	10,352.50	0.00	4,040.10
08-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1037	WARRANTS/LOAN	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1048	OCCUPATION TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>5,933.33</b>	<b>35,224.98</b>	<b>46.59 %</b>	<b>6,299.00</b>	<b>75,600.00</b>	<b>40,375.02</b>	<b>30,445.02</b>	<b>64,510.14</b>
<b>Expense</b>									
<b>FIRE FUND</b>									
08-2004	SUPPLIES	1,286.20	1,286.20	25.72 %	417.00	5,000.00	3,713.80	1,316.50	1,316.50
08-2005	REPAIR & MAINTENANCE	432.24	442.03	8.84 %	417.00	5,000.00	4,557.97	643.25	996.98
08-2006	UTILITIES-ELECTRIC	136.30	813.27	27.11 %	250.00	3,000.00	2,186.73	1,054.29	2,135.99
08-2007	UTILITIES-SOURCE GAS	677.93	2,163.03	54.08 %	333.00	4,000.00	1,836.97	2,107.12	2,553.94
08-2008	TELEPHONE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2010	INSURANCE	0.00	11,804.27	36.89 %	2,667.00	32,000.00	20,195.73	11,641.67	29,523.87
08-2012	MISCELLANEOUS	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
08-2022	TRAVEL & CONF. MILE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2026	CAPITAL OUTLAY	0.00	8,090.00	53.93 %	1,250.00	15,000.00	6,910.00	0.00	0.00
08-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2058	ALLOWANCE	800.00	4,800.00	50.00 %	800.00	9,600.00	4,800.00	4,800.00	9,600.00
08-2095	CITY SHARE FICA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2096	CITY SHARE MEDICARE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>3,332.67</b>	<b>29,398.80</b>	<b>38.89 %</b>	<b>6,301.00</b>	<b>75,600.00</b>	<b>46,201.20</b>	<b>21,562.83</b>	<b>46,127.28</b>
<b>PROFIT / (LOSS) :</b>		<b>2,600.66</b>	<b>5,826.18</b>		<b>(2.00)</b>	<b>0.00</b>	<b>(5,826.18)</b>	<b>8,882.19</b>	<b>18,382.86</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
LIBRARY FUND									
09-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1004	OTHER INCOME	33.28	385.57	77.11 %	42.00	500.00	114.43	385.11	562.79
09-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1007	TRANSFER	8,566.67	51,400.02	50.00 %	8,567.00	102,800.00	51,399.98	49,107.48	93,722.50
09-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1031	LIBRARY FEES	16.60	16.60	1.66 %	83.00	1,000.00	983.40	221.54	293.19
09-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1056	LOST BOOK	0.00	5.99	5.99 %	8.00	100.00	94.01	2.99	2.99
<b>TOTAL Revenue</b>		<b>8,616.55</b>	<b>51,808.18</b>	<b>49.62 %</b>	<b>8,700.00</b>	<b>104,400.00</b>	<b>52,591.82</b>	<b>49,717.12</b>	<b>94,581.47</b>
<b>Expense</b>									
LIBRARY FUND									
09-2001	SALARIES	4,540.60	29,437.91	50.32 %	4,875.00	58,500.00	29,062.09	26,725.96	52,887.03
09-2002	EMPLOYEE INSURANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2004	SUPPLIES	28.60	1,950.02	55.71 %	292.00	3,500.00	1,549.98	1,919.63	3,331.77
09-2005	REPAIR & MAINTENANCE	100.05	2,056.55	51.41 %	333.00	4,000.00	1,943.45	2,063.52	4,219.98
09-2006	UTILITIES-ELECTRIC	1,206.95	3,416.99	41.67 %	683.00	8,200.00	4,783.01	3,555.51	6,288.35
09-2010	INSURANCE	0.00	3,601.91	72.04 %	417.00	5,000.00	1,398.09	3,450.90	3,609.53
09-2012	MISCELLANEOUS	92.08	369.19	24.61 %	125.00	1,500.00	1,130.81	638.52	1,358.35
09-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2026	CAPITAL OUTLAY	0.00	1,031.13	51.56 %	167.00	2,000.00	968.87	0.00	1,996.49
09-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	2,100.00
09-2060	UPKEEP	10.99	154.65	9.10 %	142.00	1,700.00	1,545.35	244.59	1,188.60
09-2061	BOOKS	574.14	5,007.21	47.69 %	875.00	10,500.00	5,492.79	4,194.78	10,074.38
09-2062	MAGAZINES	137.32	1,960.58	43.57 %	375.00	4,500.00	2,539.42	1,924.75	3,481.20
09-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2090	N CASH RESERVE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2095	CITY SHARE FICA	281.52	1,825.15	49.77 %	306.00	3,667.00	1,841.85	1,657.01	3,278.99
09-2096	CITY SHARE MEDICARE	65.84	426.84	32.02 %	111.00	1,333.00	906.16	387.50	766.80
09-2097	CITY SHARE IRA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2098	CITY SHARE ROTH	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>7,038.09</b>	<b>51,238.13</b>	<b>49.08 %</b>	<b>8,701.00</b>	<b>104,400.00</b>	<b>53,161.87</b>	<b>46,762.67</b>	<b>94,581.47</b>
<b>PROFIT / (LOSS) :</b>		<b>1,578.46</b>	<b>570.05</b>		<b>(1.00)</b>	<b>0.00</b>	<b>(570.05)</b>	<b>2,954.45</b>	<b>0.00</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
STREET LIGHTS									
10-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.29
10-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
10-1004	OTHER INCOME	0.00	(1,997.95)	0.00 %	0.00	0.00	1,997.95	0.00	0.00
10-1005	INTEREST	0.00	0.00	0.00 %	1.00	10.00	10.00	0.00	0.00
10-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
10-1007	TRANSFER	3,499.17	20,995.02	50.00 %	3,499.00	41,990.00	20,994.98	20,995.02	41,162.48
10-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>3,499.17</b>	<b>18,997.07</b>	<b>45.23 %</b>	<b>3,500.00</b>	<b>42,000.00</b>	<b>23,002.93</b>	<b>20,995.02</b>	<b>41,162.77</b>
<b>Expense</b>									
STREET LIGHTS									
10-2006	UTILITIES-ELECTRIC	3,022.18	17,748.65	44.37 %	3,333.00	40,000.00	22,251.35	17,378.24	35,037.93
10-2012	MISCELLANEOUS	0.00	55.32	2.77 %	167.00	2,000.00	1,944.68	582.81	582.81
10-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>3,022.18</b>	<b>17,803.97</b>	<b>42.39 %</b>	<b>3,500.00</b>	<b>42,000.00</b>	<b>24,196.03</b>	<b>17,961.05</b>	<b>35,620.74</b>
<b>PROFIT / (LOSS) :</b>		<b>476.99</b>	<b>1,193.10</b>		<b>0.00</b>	<b>0.00</b>	<b>(1,193.10)</b>	<b>3,033.97</b>	<b>5,542.03</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
HEALTH CENTER									
11-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-1007	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-1009	RENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Expense</b>									
HEALTH CENTER									
11-2004	SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2005	REPAIR & MAINTENANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2007	UTILITIES-SOURCE GAS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2010	INSURANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2093	H CENTER TAXES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>PROFIT / (LOSS) :</b>		<b>0.00</b>	<b>0.00</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>SEWER FUND</b>									
12-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-1004	OTHER INCOME	0.00	10,530.99	0.00 %	0.00	0.00	(10,530.99)	1,500.00	1,500.00
12-1005	INTEREST	44.96	272.45	54.49 %	42.00	500.00	227.55	362.35	783.36
12-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-1007	TRANSFER	0.00	10,416.67	8.33 %	10,417.00	125,000.00	114,583.33	0.00	124,769.90
12-1032	COLLECTIONS	20,247.50	121,710.00	50.71 %	20,000.00	240,000.00	118,290.00	120,478.00	241,638.50
12-1052	LATE FEES & RECONNECT	315.00	2,062.50	41.25 %	417.00	5,000.00	2,937.50	2,340.00	4,447.50
12-1054	UTILITY DEPOSITS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>20,607.46</b>	<b>144,992.61</b>	<b>39.13 %</b>	<b>30,876.00</b>	<b>370,500.00</b>	<b>225,507.39</b>	<b>124,680.35</b>	<b>373,139.26</b>
<b>Expense</b>									
<b>SEWER FUND</b>									
12-2001	SALARIES	5,093.98	35,658.24	47.54 %	6,250.00	75,000.00	39,341.76	33,903.11	67,671.13
12-2002	EMPLOYEE INSURANCE	2,172.06	14,556.36	39.34 %	3,083.00	37,000.00	22,443.64	14,750.26	30,609.29
12-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-2004	SUPPLIES	790.35	912.98	91.30 %	83.00	1,000.00	87.02	1,417.16	1,732.25
12-2005	REPAIR & MAINTENANCE	0.00	5,105.60	34.04 %	1,250.00	15,000.00	9,894.40	31,252.58	38,135.29
12-2006	UTILITIES-ELECTRIC	1,054.32	3,866.55	48.33 %	667.00	8,000.00	4,133.45	4,132.02	8,560.00
12-2007	UTILITIES-SOURCE GAS	110.57	311.83	41.58 %	62.00	750.00	438.17	450.03	549.75
12-2008	TELEPHONE	80.05	400.36	0.00 %	0.00	0.00	(400.36)	272.07	677.15
12-2009	PROFESSIONAL	0.00	1,568.00	0.00 %	0.00	0.00	(1,568.00)	9,433.70	13,802.67
12-2010	INSURANCE	0.00	3,067.50	153.38 %	167.00	2,000.00	(1,067.50)	3,086.87	3,245.50
12-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
12-2015	CHEMICAL & INSECT	0.00	0.00	0.00 %	33.00	400.00	400.00	0.00	0.00
12-2024	TRANSFER	0.00	26,943.75	21.85 %	10,277.00	123,325.00	96,381.25	0.00	0.00
12-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	984.00	11,803.00	11,803.00	0.00	0.00
12-2026	CAPITAL OUTLAY	0.00	5,502.00	14.11 %	3,250.00	39,000.00	33,498.00	5,777.38	120,629.42
12-2027	GAS & OIL	73.21	786.46	78.65 %	83.00	1,000.00	213.54	764.08	1,242.72
12-2046	CHEMICALS	0.00	0.00	0.00 %	125.00	1,500.00	1,500.00	0.00	0.00
12-2063	CLEAN SEWER/CULVERTS	2,432.00	2,432.00	24.32 %	833.00	10,000.00	7,568.00	0.00	10,530.40
12-2064	SEWER LINES	0.00	0.00	0.00 %	0.00	0.00	0.00	20,695.80	20,695.80
12-2065	ENGINEERING	134.97	134.97	1.12 %	1,000.00	12,000.00	11,865.03	13,345.03	16,069.36
12-2066	LIFT STATION	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-2067	B & 1940 PAYMENT	0.00	0.00	0.00 %	16,667.00	200,000.00	200,000.00	0.00	200,000.00
12-2095	CITY SHARE FICA	315.83	2,210.85	49.13 %	375.00	4,500.00	2,289.15	2,101.89	4,195.40
12-2096	CITY SHARE MEDICARE	73.87	516.99	44.96 %	96.00	1,150.00	633.01	491.52	981.08
12-2097	CITY SHARE IRA	149.36	1,035.96	46.04 %	188.00	2,250.00	1,214.04	1,017.14	2,030.21
12-2098	CITY SHARE ROTH	61.79	654.42	43.63 %	125.00	1,500.00	845.58	678.08	1,353.44
<b>TOTAL Expense</b>		<b>12,542.36</b>	<b>105,664.82</b>	<b>19.28 %</b>	<b>45,681.00</b>	<b>548,178.00</b>	<b>442,513.18</b>	<b>143,568.72</b>	<b>542,710.86</b>
<b>PROFIT / (LOSS) :</b>		<b>8,065.10</b>	<b>39,327.79</b>		<b>(14,805.00)</b>	<b>(177,678.00)</b>	<b>(217,005.79)</b>	<b>(18,888.37)</b>	<b>(169,571.60)</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
GARBAGE FUND									
13-1005	INTEREST	0.00	2.39	0.00 %	0.00	0.00	(2.39)	0.00	0.00
13-1007	TRANSFER	625.00	3,750.00	50.00 %	625.00	7,500.00	3,750.00	3,745.02	7,490.04
13-1033	RECEIPTS	8,594.00	51,396.00	51.40 %	8,333.00	100,000.00	48,604.00	51,226.61	104,263.86
13-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
13-1035	LANDFILL/GRASS	525.00	700.00	70.00 %	83.00	1,000.00	300.00	1,908.40	3,058.40
<b>TOTAL Revenue</b>		<b>9,744.00</b>	<b>55,848.39</b>	<b>51.47 %</b>	<b>9,041.00</b>	<b>108,500.00</b>	<b>52,651.61</b>	<b>56,880.03</b>	<b>114,812.30</b>
<b>Expense</b>									
GARBAGE FUND									
13-2010	INSURANCE	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	0.00
13-2068	GARBAGE SERVICE	8,545.20	51,397.60	51.40 %	8,333.00	100,000.00	48,602.40	49,619.15	100,041.15
13-2069	LANDFILL	0.00	2,517.58	31.47 %	667.00	8,000.00	5,482.42	1,619.46	4,085.44
13-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>8,545.20</b>	<b>53,915.18</b>	<b>49.69 %</b>	<b>9,042.00</b>	<b>108,500.00</b>	<b>54,584.82</b>	<b>51,238.61</b>	<b>104,126.59</b>
<b>PROFIT / (LOSS) :</b>		<b>1,198.80</b>	<b>1,933.21</b>		<b>(1.00)</b>	<b>0.00</b>	<b>(1,933.21)</b>	<b>5,641.42</b>	<b>10,685.71</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>WATER FUND</b>									
14-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1004	OTHER INCOME	0.00	4,687.20	234.36 %	167.00	2,000.00	(2,687.20)	250.00	5,994.43
14-1005	INTEREST	22.42	135.16	49.15 %	23.00	275.00	139.84	170.63	303.85
14-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1007	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1032	COLLECTIONS	23,473.13	145,063.90	54.74 %	22,083.00	265,000.00	119,936.10	134,220.68	314,491.68
14-1037	WARRANTS/LOAN	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1038	HOOKUPS/TAPPING	0.00	0.00	0.00 %	21.00	250.00	250.00	0.00	2,994.44
14-1052	LATE FEES & RECONNECT	285.00	2,127.50	42.55 %	417.00	5,000.00	2,872.50	2,370.00	4,637.98
14-1054	UTILITY DEPOSITS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>23,780.55</b>	<b>152,013.76</b>	<b>55.78 %</b>	<b>22,711.00</b>	<b>272,525.00</b>	<b>120,511.24</b>	<b>137,011.31</b>	<b>328,422.38</b>
<b>Expense</b>									
<b>WATER FUND</b>									
14-2001	SALARIES	5,812.98	40,628.80	50.79 %	6,667.00	80,000.00	39,371.20	38,399.58	76,527.60
14-2002	EMPLOYEE INSURANCE	2,703.87	17,768.01	39.48 %	3,750.00	45,000.00	27,231.99	17,722.91	36,776.76
14-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2004	SUPPLIES	313.11	12,044.12	34.41 %	2,917.00	35,000.00	22,955.88	24,240.68	50,187.59
14-2005	REPAIR & MAINTENANCE	7,102.01	11,738.06	23.48 %	4,167.00	50,000.00	38,261.94	4,362.92	30,000.97
14-2006	UTILITIES-ELECTRIC	2,665.98	11,884.72	45.71 %	2,167.00	26,000.00	14,115.28	9,369.57	27,180.57
14-2007	UTILITIES-SOURCE GAS	55.12	281.70	14.08 %	167.00	2,000.00	1,718.30	410.62	775.58
14-2008	TELEPHONE	96.09	496.60	99.32 %	42.00	500.00	3.40	469.88	971.19
14-2009	PROFESSIONAL	0.00	1,728.00	57.60 %	250.00	3,000.00	1,272.00	10,933.64	15,472.89
14-2010	INSURANCE	0.00	9,796.32	115.25 %	708.00	8,500.00	(1,296.32)	9,952.26	10,467.81
14-2012	MISCELLANEOUS	260.32	107.70	10.77 %	83.00	1,000.00	892.30	371.24	623.52
14-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	35.90
14-2024	TRANSFER	0.00	2,193.33	8.33 %	2,193.00	26,320.00	24,126.67	0.00	26,320.00
14-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2026	CAPITAL OUTLAY	0.00	15,303.20	30.61 %	4,167.00	50,000.00	34,696.80	133,674.54	137,327.88
14-2027	GAS & OIL	73.21	786.44	157.29 %	42.00	500.00	(286.44)	644.89	1,375.29
14-2065	ENGINEERING	539.88	2,628.20	26.28 %	833.00	10,000.00	7,371.80	13,840.01	24,577.35
14-2071	EQUIPMENT	0.00	1,949.94	39.00 %	417.00	5,000.00	3,050.06	0.00	0.00
14-2072	TESTS & CHLORINE	556.74	1,442.87	24.05 %	500.00	6,000.00	4,557.13	735.96	2,075.27
14-2073	REFUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	100.00
14-2074	WATER LINES	0.00	0.00	0.00 %	1,697.00	20,361.00	20,361.00	0.00	118.38
14-2075	WELLS	0.00	0.00	0.00 %	1,250.00	15,000.00	15,000.00	0.00	0.00
14-2076	PEOPLE SERVICE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2079	REFUNDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2095	CITY SHARE FICA	360.40	2,519.00	54.68 %	384.00	4,607.00	2,088.00	2,380.67	4,744.52
14-2096	CITY SHARE MEDICARE	84.27	588.99	36.97 %	133.00	1,593.00	1,004.01	556.69	1,109.44
14-2097	CITY SHARE IRA	170.93	1,195.82	48.71 %	205.00	2,455.00	1,259.18	1,152.06	2,295.97
14-2098	CITY SHARE ROTH	66.77	751.61	48.65 %	129.00	1,545.00	793.39	767.95	1,530.44
<b>TOTAL Expense</b>		<b>20,861.68</b>	<b>135,833.43</b>	<b>34.40 %</b>	<b>32,910.00</b>	<b>394,881.00</b>	<b>259,047.57</b>	<b>269,986.07</b>	<b>450,594.92</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
PROFIT / (LOSS) :		2,918.87	16,180.33		(10,199.00)	(122,356.00)	(138,536.33)	(132,974.76)	(122,172.54)

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>SPECIAL SEWER</b>									
15-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-1004	OTHER INCOME	0.00	616.00	41.07 %	125.00	1,500.00	884.00	34,675.33	35,275.33
15-1005	INTEREST	91.62	474.91	86.35 %	46.00	550.00	75.09	326.69	707.04
15-1007	TRANSFER	0.00	10,277.08	0.00 %	0.00	0.00	(10,277.08)	0.00	0.00
15-1026	INT & PRIN INDUSTRIES	77,962.00	272,866.45	59.57 %	38,174.00	458,082.00	185,215.55	272,866.23	467,770.68
15-1028	REIMBURSEMENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-1032	COLLECTIONS	0.00	0.00	0.00 %	10,277.00	123,325.00	123,325.00	0.00	0.00
15-1039	COLLECTIONS-AM FOODS	151,042.00	513,197.00	60.38 %	70,833.00	850,000.00	336,803.00	530,020.20	892,175.20
15-1040	COLLECTIONS--DARLING	24,242.88	147,356.94	122.80 %	10,000.00	120,000.00	(27,356.94)	95,647.29	198,869.87
<b>TOTAL Revenue</b>		<b>253,338.50</b>	<b>944,788.38</b>	<b>60.82 %</b>	<b>129,455.00</b>	<b>1,553,457.00</b>	<b>608,668.62</b>	<b>933,535.74</b>	<b>1,594,798.12</b>

<b>Expense</b>									
<b>SPECIAL SEWER</b>									
15-2001	SALARIES	7,977.68	54,076.56	51.50 %	8,750.00	105,000.00	50,923.44	51,144.20	102,007.43
15-2002	EMPLOYEE INSURANCE	3,473.40	22,416.18	40.03 %	4,667.00	56,000.00	33,583.82	21,996.23	45,680.31
15-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2004	SUPPLIES	796.44	3,984.69	13.28 %	2,500.00	30,000.00	26,015.31	25,516.84	37,352.18
15-2005	REPAIR & MAINTENANCE	279.58	21,168.81	10.58 %	16,667.00	200,000.00	178,831.19	113,079.04	168,760.80
15-2006	UTILITIES-ELECTRIC	23,554.88	151,701.17	40.45 %	31,250.00	375,000.00	223,298.83	125,593.03	279,842.36
15-2007	UTILITIES-SOURCE GAS	481.25	1,389.21	46.31 %	250.00	3,000.00	1,610.79	1,658.88	2,161.44
15-2008	TELEPHONE	345.07	1,930.43	42.90 %	375.00	4,500.00	2,569.57	1,871.63	3,849.37
15-2009	PROFESSIONAL	0.00	3,139.48	156.97 %	167.00	2,000.00	(1,139.48)	9,253.70	17,703.39
15-2010	INSURANCE	0.00	19,724.01	151.72 %	1,083.00	13,000.00	(6,724.01)	19,906.62	20,937.72
15-2012	MISCELLANEOUS	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
15-2024	TRANSFER	0.00	52,423.50	8.33 %	52,424.00	629,082.00	576,658.50	0.00	629,082.00
15-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2026	CAPITAL OUTLAY	0.00	5,502.00	2.20 %	20,833.00	250,000.00	244,498.00	275,231.55	292,968.38
15-2027	GAS & OIL	344.65	1,057.93	21.16 %	417.00	5,000.00	3,942.07	628.41	1,242.98
15-2065	ENGINEERING	3,815.23	10,882.34	27.21 %	3,333.00	40,000.00	29,117.66	21,591.40	25,712.79
15-2076	PEOPLE SERVICE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2077	TESTS	3,714.00	35,189.00	87.97 %	3,333.00	40,000.00	4,811.00	33,920.95	72,700.95
15-2078	LAGOON CLEANING	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	0.00
15-2080	FUTURE CO RESER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2095	CITY SHARE FICA	494.58	3,352.61	49.27 %	567.00	6,804.00	3,451.39	3,170.85	6,324.34
15-2096	CITY SHARE MEDICARE	115.66	784.10	60.50 %	108.00	1,296.00	511.90	741.47	1,478.93
15-2097	CITY SHARE IRA	235.86	1,630.68	61.54 %	221.00	2,650.00	1,019.32	1,534.25	3,060.04
15-2098	CITY SHARE ROTH	88.68	1,020.07	38.49 %	221.00	2,650.00	1,629.93	1,022.88	2,040.20
<b>TOTAL Expense</b>		<b>45,716.96</b>	<b>391,372.77</b>	<b>21.89 %</b>	<b>149,000.00</b>	<b>1,787,982.00</b>	<b>1,396,609.23</b>	<b>707,861.93</b>	<b>1,712,905.61</b>

<b>PROFIT / (LOSS) :</b>	<b>207,621.54</b>	<b>553,415.61</b>	<b>(19,545.00)</b>	<b>(234,525.00)</b>	<b>(787,940.61)</b>	<b>225,673.81</b>	<b>(118,107.49)</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>BOND &amp; INTEREST</b>									
16-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1004	OTHER INCOME	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1007	TRANSFER	16,666.67	160,866.85	17.29 %	77,534.00	930,402.00	769,535.15	100,000.02	930,402.04
16-1012	MOTOR VEHICLE TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1041	PAVING ASSESSMENT	0.00	0.00	0.00 %	6,250.00	75,000.00	75,000.00	46,122.32	48,524.30
16-1043	SEWER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1044	STREET PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1045	BOND PROCEEDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1046	LOAN PAYMENTS CITY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	22,500.00
16-1047	TRANSFER INDUSTRIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1057	POOL BONDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>16,666.67</b>	<b>160,866.85</b>	<b>16.00 %</b>	<b>83,784.00</b>	<b>1,005,402.00</b>	<b>844,535.15</b>	<b>146,122.34</b>	<b>1,001,426.34</b>
<b>Expense</b>									
<b>BOND &amp; INTEREST</b>									
16-2079	REFUNDS	9,478.92	9,478.92	0.00 %	0.00	0.00	(9,478.92)	0.00	1,516.38
16-2081	BOND INTEREST	0.00	767,155.00	73.66 %	86,793.00	1,041,515.00	274,360.00	725,269.17	938,005.44
16-2087	WATER PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-2088	OTHER COSTS-AMERITUS	0.00	1,000.00	66.67 %	125.00	1,500.00	500.00	800.00	3,850.00
16-2089	FUTURE BONDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-2092	POOL PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-2094	SRF LOAN	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>9,478.92</b>	<b>777,633.92</b>	<b>74.56 %</b>	<b>86,918.00</b>	<b>1,043,015.00</b>	<b>265,381.08</b>	<b>726,069.17</b>	<b>943,371.82</b>
<b>PROFIT / (LOSS) :</b>		<b>7,187.75</b>	<b>(616,767.07)</b>		<b>(3,134.00)</b>	<b>(37,613.00)</b>	<b>579,154.07</b>	<b>(579,946.83)</b>	<b>58,054.52</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
RE IMPROVEMENT FUND									
17-1005	INTEREST	52.28	347.23	77.16 %	38.00	450.00	102.77	273.18	638.15
17-1007	TRANSFER	4,583.33	27,499.98	50.00 %	4,583.00	55,000.00	27,500.02	27,499.98	54,999.96
17-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
17-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
17-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	3,750.00
17-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>4,635.61</b>	<b>27,847.21</b>	<b>50.22 %</b>	<b>4,621.00</b>	<b>55,450.00</b>	<b>27,602.79</b>	<b>27,773.16</b>	<b>59,388.11</b>
<b>Expense</b>									
RE IMPROVEMENT FUND									
17-2009	PROFESSIONAL	0.00	0.00	0.00 %	0.00	0.00	0.00	(1,000.00)	(1,000.00)
17-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
17-2025	RE IMPROVEMENTS	16,278.00	42,771.29	16.96 %	21,010.00	252,121.63	209,350.34	1,061.13	13,978.48
17-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	14,583.00	175,000.00	175,000.00	0.00	2,908.45
17-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>16,278.00</b>	<b>42,771.29</b>	<b>10.01 %</b>	<b>35,593.00</b>	<b>427,121.63</b>	<b>384,350.34</b>	<b>61.13</b>	<b>15,886.93</b>
PROFIT / (LOSS) :		<b>(11,642.39)</b>	<b>(14,924.08)</b>		<b>(30,972.00)</b>	<b>(371,671.63)</b>	<b>(356,747.55)</b>	<b>27,712.03</b>	<b>43,501.18</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
Golf Course									
18-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1004	OTHER INCOME	4,267.04	6,263.30	41.76 %	1,250.00	15,000.00	8,736.70	2,813.80	46,797.42
18-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1007	TRANSFER	11,941.67	71,650.02	50.00 %	11,942.00	143,300.00	71,649.98	68,749.98	53,199.17
18-1008	DONATIONS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1009	RENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1017	STREET ASSESSMENT PRICIPAL	0.00	13.75	0.00 %	0.00	0.00	(13.75)	0.00	227.71
18-1032	COLLECTIONS	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	0.00
18-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1052	LATE FEES & RECONNECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1058	Golf Liquor	0.00	901.47	2.25 %	3,333.00	40,000.00	39,098.53	552.36	39,411.78
18-1059	Golf Food	0.00	120.38	1.20 %	833.00	10,000.00	9,879.62	68.91	9,931.26
18-1060	Golf Green Fee	0.00	1,958.29	9.79 %	1,667.00	20,000.00	18,041.71	862.57	40,241.50
18-1061	Golf Cart Fee	2,235.90	3,797.84	18.99 %	1,667.00	20,000.00	16,202.16	1,119.25	30,291.91
<b>TOTAL Revenue</b>		<b>18,444.61</b>	<b>84,705.05</b>	<b>31.57 %</b>	<b>22,359.00</b>	<b>268,300.00</b>	<b>183,594.95</b>	<b>74,166.87</b>	<b>220,100.75</b>

<b>Expense</b>									
Golf Course									
18-2001	SALARIES	4,074.42	30,700.89	30.70 %	8,333.00	100,000.00	69,299.11	29,470.34	82,933.96
18-2002	EMPLOYEE INSURANCE	1,586.46	9,557.47	29.87 %	2,667.00	32,000.00	22,442.53	12,737.13	24,516.65
18-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2004	SUPPLIES	0.00	841.03	2.80 %	2,500.00	30,000.00	29,158.97	2,237.65	6,508.01
18-2005	REPAIR & MAINTENANCE	0.00	3,675.39	30.63 %	1,000.00	12,000.00	8,324.61	2,487.32	13,794.47
18-2006	UTILITIES-ELECTRIC	946.47	5,655.17	51.41 %	917.00	11,000.00	5,344.83	4,961.98	10,585.25
18-2007	UTILITIES-SOURCE GAS	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
18-2008	TELEPHONE	106.34	636.69	53.06 %	100.00	1,200.00	563.31	633.09	1,271.17
18-2009	PROFESSIONAL	0.00	0.00	0.00 %	42.00	500.00	500.00	45.00	45.00
18-2010	INSURANCE	296.00	5,000.50	125.01 %	333.00	4,000.00	(1,000.50)	5,153.96	6,186.91
18-2011	PRINTING & PUBLICATION	0.00	12.05	1.20 %	83.00	1,000.00	987.95	12.05	170.05
18-2012	MISCELLANEOUS	0.00	600.00	7.06 %	708.00	8,500.00	7,900.00	2,001.13	22,045.13
18-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	123.25
18-2015	CHEMICAL & INSECT	0.00	0.00	0.00 %	708.00	8,500.00	8,500.00	167.92	8,800.43
18-2016	MISC. SUPPLIES	39.00	389.39	0.00 %	0.00	0.00	(389.39)	332.95	811.17
18-2021	LABOR & MACHINE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2022	TRAVEL & CONF. MILE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2023	OFFICE EQUIPMENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	8,558.50
18-2027	GAS & OIL	0.00	7.65	0.15 %	417.00	5,000.00	4,992.35	687.60	2,764.59
18-2045	MERCHANDISE FOR RESALE	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
18-2083	Liquor Purchased	291.85	472.69	2.36 %	1,667.00	20,000.00	19,527.31	(103.64)	15,868.23

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Expense (Continued)</b>									
Golf Course									
18-2084	FOOD PURCHASE	0.00	95.26	4.76 %	167.00	2,000.00	1,904.74	0.00	6,138.39
18-2095	CITY SHARE FICA	252.62	1,903.49	32.82 %	483.00	5,800.00	3,896.51	1,827.18	5,142.00
18-2096	CITY SHARE MEDICARE	59.08	445.16	23.43 %	158.00	1,900.00	1,454.84	427.28	1,202.49
18-2097	CITY SHARE IRA	122.24	794.25	46.26 %	143.00	1,717.00	922.75	790.53	1,581.06
18-2098	CITY SHARE ROTH	81.48	529.42	44.75 %	99.00	1,183.00	653.58	527.02	1,054.04
<b>TOTAL Expense</b>		<b>7,855.96</b>	<b>61,316.50</b>	<b>22.85 %</b>	<b>22,358.00</b>	<b>268,300.00</b>	<b>206,983.50</b>	<b>64,396.49</b>	<b>220,100.75</b>

<b>PROFIT / (LOSS) :</b>	<b>10,588.65</b>	<b>23,388.55</b>		<b>1.00</b>	<b>0.00</b>	<b>(23,388.55)</b>	<b>9,770.38</b>	<b>0.00</b>
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<b>Revenue</b>									
TIF									
19-1001	PROPERTY TAX	374.22	374.22	0.00 %	0.00	0.00	(374.22)	0.00	0.00
19-1005	INTEREST	0.57	3.01	0.00 %	0.00	0.00	(3.01)	0.00	0.00
19-1071	TIF RECEIPTS	0.00	2,000.00	10.70 %	1,558.00	18,692.00	16,692.00	0.00	2,000.00
<b>TOTAL Revenue</b>		<b>374.79</b>	<b>2,377.23</b>	<b>12.72 %</b>	<b>1,558.00</b>	<b>18,692.00</b>	<b>16,314.77</b>	<b>0.00</b>	<b>2,000.00</b>

<b>Expense</b>									
TIF									
19-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	1,246.00	14,954.00	14,954.00	0.00	0.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>1,246.00</b>	<b>14,954.00</b>	<b>14,954.00</b>	<b>0.00</b>	<b>0.00</b>

<b>PROFIT / (LOSS) :</b>	<b>374.79</b>	<b>2,377.23</b>		<b>312.00</b>	<b>3,738.00</b>	<b>1,360.77</b>	<b>0.00</b>	<b>2,000.00</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
KENO									
20-1005	INTEREST	3.97	18.17	0.00 %	0.00	0.00	(18.17)	0.00	0.00
20-1080	KENO RECEIPTS	4,586.55	20,709.06	129.43 %	1,333.00	16,000.00	(4,709.06)	4,111.84	15,660.96
<b>TOTAL Revenue</b>		<b>4,590.52</b>	<b>20,727.23</b>	<b>129.55 %</b>	<b>1,333.00</b>	<b>16,000.00</b>	<b>(4,727.23)</b>	<b>4,111.84</b>	<b>15,660.96</b>
<b>Expense</b>									
KENO									
20-2012	MISCELLANEOUS	0.00	2,016.00	57.60 %	292.00	3,500.00	1,484.00	0.00	1,964.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>2,016.00</b>	<b>57.60 %</b>	<b>292.00</b>	<b>3,500.00</b>	<b>1,484.00</b>	<b>0.00</b>	<b>1,964.00</b>
<b>PROFIT / (LOSS) :</b>		<b>4,590.52</b>	<b>18,711.23</b>		<b>1,041.00</b>	<b>12,500.00</b>	<b>(6,211.23)</b>	<b>4,111.84</b>	<b>13,696.96</b>

Date Range : 3/1/2021 To 3/31/2021  
 Report is for 00-0000 through ZZ-ZZZZ.  
 Only Active accounts are included.  
 Report order = Fund  
 Transaction Source Code = Include All

# PROCLAMATION

A Proclamation honoring the 150<sup>th</sup> anniversary of the arrival of the Soldier's Free Homestead Colony, and declaring April 7, 2021 to be "Gibbon Day", in Gibbon, Nebraska.

WHEREAS, on July 10, 1865, the first rail of the Union Pacific Railroad was laid in Nebraska, and

WHEREAS, by 1866 the rails had reached Buffalo County and a siding was made for the work train just east of the present sight of Gibbon, and

WHEREAS, this siding was called "Gibbon Switch", in honor of General John Gibbon, who had participated in many campaigns of the Civil War, and who was placed in command at Fort Kearny, and

WHEREAS, the Union Pacific Railroad entered into an agreement with Colonel John Thorp of West Farmington, Ohio, to locate a colony on homesteads in Buffalo County, and

WHEREAS, on Friday, April 7, 1871, at 2:00 p.m., the Soldier's Free Homestead Colony, consisting of families from New Hampshire, Massachusetts, Connecticut, New York, Delaware, Virginia, Pennsylvania, Ohio, Indiana, Michigan, Illinois, Wisconsin, Tennessee, Missouri, and Arkansas, arrived at Gibbon Switch, and

WHEREAS, due to the grit, determination, and entrepreneurial spirit of the colonists, their families and the many others who followed over the past 150 years, Gibbon Switch has grown into a city of almost 2,000 residents who continue to work together to sustain a caring, inclusive community, proud to embrace, support, respect and celebrate each other,

NOW, THEREFORE, I, Deborah VanMatre, Mayor of the City of Gibbon, do hereby proclaim April 7, 2021 as "Gibbon Day" and 2021 a year of celebration of Gibbon's sesquicentennial.



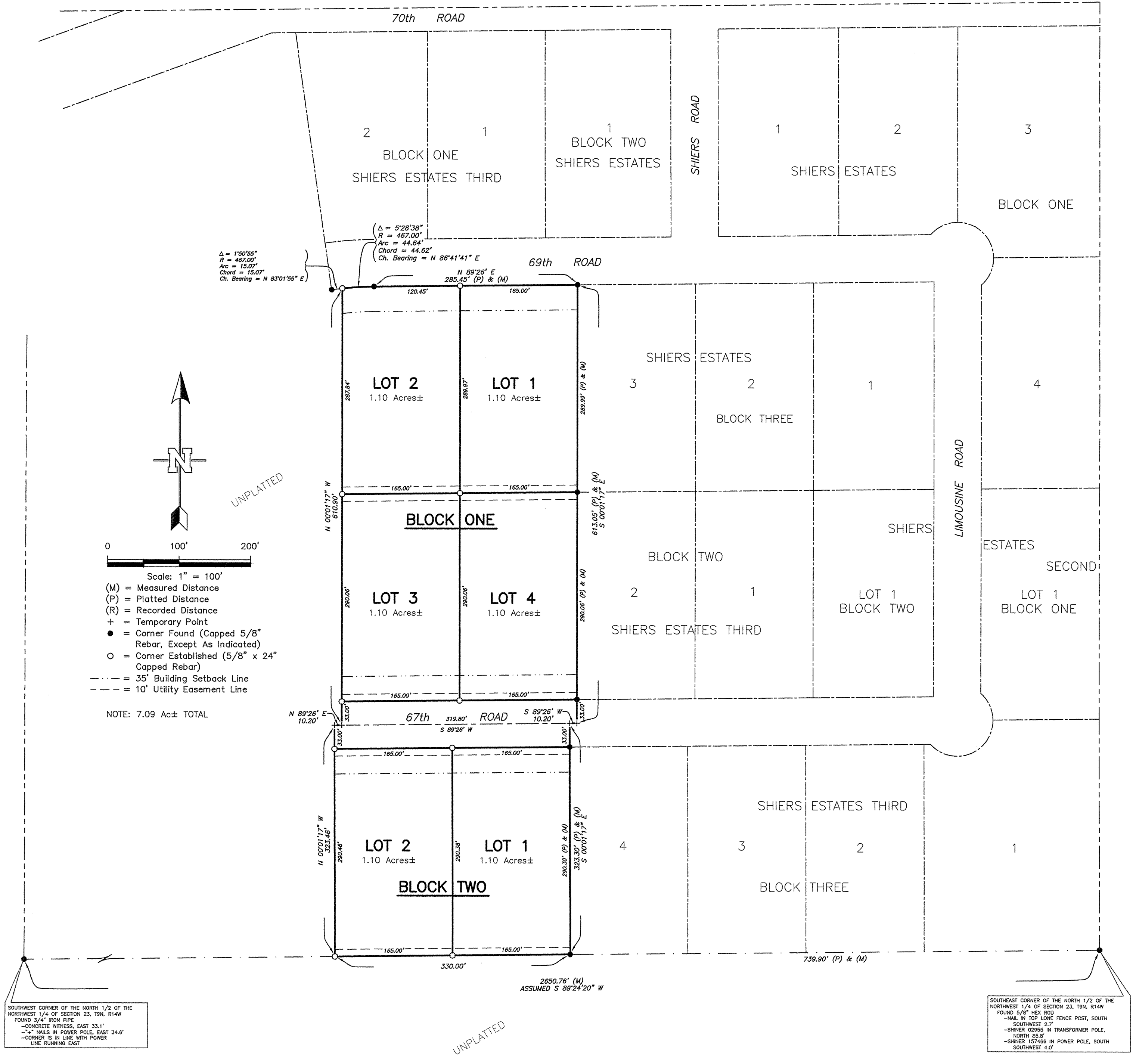
Attest:

*Pamela Rasmussen*  
\_\_\_\_\_  
Pamela Rasmussen, City Clerk

*Deborah VanMatre*  
\_\_\_\_\_  
Deborah VanMatre, Mayor

# SHIERS ESTATES FOURTH

A SUBDIVISION BEING PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



$\Delta = 1'50.55''$   
 $R = 467.00'$   
 $Arc = 15.07'$   
 $Ch. Bearing = N 83'01'55'' E$

$\Delta = 5'28'38''$   
 $R = 467.00'$   
 $Arc = 44.64'$   
 $Ch. Bearing = N 85'41'41'' E$

$N 89'26'' E$   
 $285.45' (P) \& (M)$

**N**

UNPLATTED

0 100' 200'

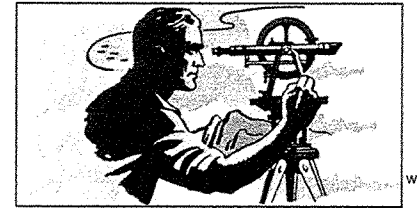
Scale: 1" = 100'

(M) = Measured Distance  
(P) = Platted Distance  
(R) = Recorded Distance  
+ = Temporary Point  
● = Corner Found (Capped 5/8" Rebar, Except As Indicated)  
○ = Corner Established (5/8" x 24" Capped Rebar)  
--- = 35' Building Setback Line  
- - - = 10' Utility Easement Line

SOUTHWEST CORNER OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 23, T9N, R14W  
FOUND 3/4" IRON PIPE  
-CONCRETE WITNESS, EAST 33.1'  
-3" MAILS IN POWER POLE, EAST 34.6'  
-CORNER IS IN LINE WITH POWER LINE RUNNING EAST

SOUTHEAST CORNER OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 23, T9N, R14W  
FOUND 5/8" HEX ROD  
-NAIL IN TOP LOWE FENCE POST, SOUTH  
-SOUTHWEST 2.7'  
-SHINER CROSS IN TRANSFORMER POLE, NORTH 85.6'  
-SHINER 157466 IN POWER POLE, SOUTH  
SOUTHWEST 4.0'

TRENTON D. SNOW, LLC  
A Land Surveying Company



1309 Central Avenue  
P.O. Box 1772  
Kearney, NE 68848  
Office: (308) 234-1764  
Fax: (308) 237-7679  
Cellular: (308) 293-1086  
www.nebraskasurveys.com

SHIERS ESTATES FOURTH

A SUBDIVISION BEING PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA

LEGAL DESCRIPTION

A tract of land being part of the North Half of the Northwest Quarter (N1/2 NW1/4) of Section Twenty-three (23), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian, Buffalo County, Nebraska, more particularly described as follows: Referring to Southeast corner of the North 1/2 of the Northwest 1/4 of said Section 23 and assuming the south line of said North 1/2 of the Northwest 1/4 as bearing S 89°24'20" W and all bearings contained herein are relative thereto; thence S 89°24'20" W on the aforesaid south line a distance of 739.90 feet to the ACTUAL PLACE OF BEGINNING, said point being the southwest corner of Lot 4, Block 3, Shiers Estates Third, a subdivision being part of the North 1/2 of the Northwest 1/4 of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska; thence continuing S 89°24'20" W on the afore described course a distance of 330.00 feet; thence N 00°01'17" W a distance of 323.46 feet to a point on the centerline of 67th Road (if extended), a road in said Shiers Estates Third; thence N 89°26' E on the aforesaid centerline (if extended) a distance of 10.20 feet; thence N 00°01'17" W a distance of 610.90 feet to a point on a non-tangent curve, said point being on the south line of 69th Road, a road in said Shiers Estates Third; thence on the aforesaid south line on a 467.00 foot non-tangent radius curve to the right, concave southerly, forming a central angle of 05°28'38" an arc distance of 44.64 feet to the point of tangency, said point being N 86°41'41" E a chord distance of 44.62 feet from the previously described point; thence N 89°26' E on the aforesaid south line a distance of 285.45 feet to the northwest corner of Lot 3, Block 3, Shiers Estates, a subdivision being part of the North Half of the Northwest Quarter of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska; thence S 00°01'17" E on the west line of said Shiers Estates and the west line of said Shiers Estates Third a distance of 613.05 feet to a point on the centerline of 67th Road; thence S 89°26' W on the aforesaid centerline a distance of 10.20 feet; thence S 00°01'17" E on the west line of said Shiers Estates Third a distance of 323.30 feet to the place of beginning.

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that David L. Shiers and Carol A. Shiers, husband and wife, being the sole owners of the land described hereon have caused the same to be surveyed, subdivided, platted and designated as "SHIERS ESTATES FOURTH", a subdivision being part of the North 1/2 of the Northwest 1/4 of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, and said owners hereby ratify and approve the disposition of the property as shown on the above plat, and hereby dedicate to the use and benefit of the public, the streets and utility easements (if any) as shown upon said plat, and acknowledges said subdivision to be made with the free consent and in accord with the desires of said owners.

Dated this \_\_\_ day of \_\_\_\_\_, 20\_\_.

David L. Shiers, husband of Carol A. Shiers

Carol A. Shiers, wife of David L. Shiers

ACKNOWLEDGMENTS

STATE OF \_\_\_\_\_ )
COUNTY OF \_\_\_\_\_ )ss

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 20\_\_, by David L. Shiers, husband of Carol A. Shiers.

(signature) (S E A L)
Notary Public
My Commission Expires \_\_\_\_\_

STATE OF \_\_\_\_\_ )
COUNTY OF \_\_\_\_\_ )ss

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 20\_\_, by Carol A. Shiers, wife of David L. Shiers.

(signature) (S E A L)
Notary Public
My Commission Expires \_\_\_\_\_

APPROVAL OF GIBBON, NEBRASKA, CITY PLANNING COMMISSION

The undersigned, \_\_\_\_\_, Chairperson or Vice-Chairperson of the City Planning Commission of the City of Gibbon, Buffalo County, Nebraska, does hereby certify that the foregoing plat of "SHIERS ESTATES FOURTH", a subdivision being part of the North 1/2 of the Northwest 1/4 of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, was submitted to the Gibbon, Nebraska, Planning Commission for a public meeting and review and that recommendation by the Gibbon, Nebraska, Planning Commission was made to the City Council on the \_\_\_ day of \_\_\_\_\_, 20\_\_.

(signature) Title
(print name)
Chairman or Vice-Chairman

APPROVAL OF GIBBON, NEBRASKA, CITY COUNCIL

The above and foregoing plat was submitted to the City Council in and for the City of Gibbon, Buffalo County, Nebraska, and duly considered by this Council at its regular meeting assembled on the \_\_\_ day of \_\_\_\_\_, 20\_\_, and upon motion duly made and recorded, the same was approved, in all respects by a majority vote of the members of such council.

Dated this \_\_\_ day of \_\_\_\_\_, 20\_\_.

(signature)
DEBORAH VANMATRE
MAYOR

ATTEST: (S E A L)
(signature)
(print name)
CITY CLERK

ORDINANCE No. \_\_\_\_\_

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF GIBBON, NEBRASKA, that the plat of "SHIERS ESTATES FOURTH", a subdivision being part of the North 1/2 of the Northwest 1/4 of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, duly made out, acknowledged and certified, and the same hereby is approved and accepted and ordered filed and recorded in the Office of the Register of Deeds of Buffalo County, Nebraska;

PASSED AND APPROVED THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

(signature)
DEBORAH VANMATRE
MAYOR

ATTEST: (S E A L)
(signature)
(print name)
CITY CLERK

TRENTON D. SNOW, LLC
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21-0022-2885 SHEET 2

## LEGAL DESCRIPTION

A tract of land being part of the North Half of the Northwest Quarter (N1/2 NW1/4) of Section Twenty-three (23), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian, Buffalo County, Nebraska, more particularly described as follows: Referring to Southeast corner of the North 1/2 of the Northwest 1/4 of said Section 23 and assuming the south line of said North 1/2 of the Northwest 1/4 as bearing S 89°24'20" W and all bearings contained herein are relative thereto; thence S 89°24'20" W on the aforesaid south line a distance of 739.90 feet to the ACTUAL PLACE OF BEGINNING, said point being the southwest corner of Lot 4, Block 3, Shiers Estates Third, a subdivision being part of the North 1/2 of the Northwest 1/4 of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska; thence continuing S 89°24'20" W on the afore described course a distance of 330.00 feet; thence N 00°01'17" W a distance of 323.46 feet to a point on the centerline of 67th Road (if extended), a road in said Shiers Estates Third; thence N 89°26' E on the aforesaid centerline (if extended) a distance of 10.20 feet; thence N 00°01'17" W a distance of 610.90 feet to a point on a non-tangent curve, said point being on the south line of 69th Road, a road in said Shiers Estates Third; thence on the aforesaid south line on a 467.00 foot non-tangent radius curve to the right, concave southerly, forming a central angle of 05°28'38" an arc distance of 44.64 feet to the point of tangency, said point being N 86°41'41" E a chord distance of 44.62 feet from the previously described point; thence N 89°26' E on the aforesaid south line a distance of 285.45 feet to the northwest corner of Lot 3, Block 3, Shiers Estates, a subdivision being part of the North Half of the Northwest Quarter of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska; thence S 00°01'17" E on the west line of said Shiers Estates and the west line of said Shiers Estates Third a distance of 613.05 feet to a point on the centerline of 67th Road; thence S 89°26' W on the aforesaid centerline a distance of 10.20 feet; thence S 00°01'17" E on the west line of said Shiers Estates Third a distance of 323.30 feet to the place of beginning.

**MINUTE RECORD**  
**GIBBON CITY COUNCIL**  
Monday March 15, 2021

The Gibbon City Council, Buffalo County, Nebraska met in open public session at 7:00 p.m. at City Hall on Monday, March 15 2021. Notice of the meeting was given in The Shelton Clipper on March 11, 2021 and by posting at Gibbon City Hall, Gibbon Post Office and Gibbon Exchange Bank.

Mayor Deb VanMatre called the meeting to order at 7:00 p.m. The Pledge of Allegiance was recited. The Open Meetings Notice is posted on the north wall of the Council Chambers. The City of Gibbon abides by the Open Meetings Act in conducting business.

Roll Call: Jeff Burmood: Present  
Bob Krier: Present  
Leon Stall: Present  
Derrick Clevenger: Present  
Present: 4: Absent: 0

Submittal of Requests for Future Items: None

Reserve Time to Speak on Agenda Items: Ron Robinson

**Presentations and Proclamations:**

Buffalo County Sheriff Department— Sargent Valenzuela: Sargent Valenzuela reported nothing out of the ordinary for calls. The sandhill cranes are back and there is more traffic in the area for viewing. The department is trying to be proactive with viewers parking in no parking zones.

Mayor Report—Deb VanMatre: Mayor VanMatre officially introduced and welcomed Larry Homan as the new city administrator. Larry began his duties on March 1. She indicated his leadership skills have been apparent since day one, especially in the areas of personnel development, communication and relationship building, and that he will be a real asset to our community. She indicated that day-to-day duties and responsibilities as well as most of the ongoing tasks have been turned over to Larry to handle.

VanMatre reported that negotiations for the acquisition of the lot next to the library was successful, and with council approval it will provide additional city parking, as well as room for library events. The library board and foundation will be involved with improvements and potential cost sharing.

The mayor provided an update on the fire hall/city hall/community room project. The deadline to receive letters of interest from design-build contractors was March 8, and five were submitted. The notice of request for proposals (RFP) will be published in The Shelton Clipper in the March 18 issue, which is the next step, and RFPs will be issued to the design-builders who submitted letters of interest. A site meeting will be held on March 25 for any contractors wishing to continue with the process. Proposals will be due on April 26. At the April meeting, a committee will be appointed for the evaluation of the proposals along with Dana Peterson, which will be done the last week of April. Following the evaluation and ranking, invitations will be issued to interview with the council to present their proposals. VanMatre anticipates this to be done by the May meeting, at which time the council would approve a design-build team and begin negotiations. The voter approved sales tax increase of one-half percent goes into effect on April 1. A meeting was held with Brad Slaughter on the building bond, and with current conditions, it may be prudent to lock in rates sooner than later. An ordinance will be prepared for council approval at the April meeting, and Brad will attend to explain the options.

Gibbon turns 150 on April 7. The Heritage Center board has taken lead on the celebration, with the help of committee members from other organizations and interested individuals. The first event will be on April 7, which will include an open house at the center from 1:00-8:00 p.m., and a program at 7:00 p.m. The next event will be a spiritual roots event on April 10.

City Attorney –Barry Hemmerling: Mr. Hemmerling reported on the omissions to the new Code of Ordinances on parking violations. It was previously in the draft code book but was not in the final version and now needs to be added by ordinance.

City Administrator—Larry Homan: Mr. Homan reported on the keno receipts for January of \$5,909.38 and for February of \$4,586.55. The sales tax numbers for February 2021 were

\$30,035.13, up from February 2020 by \$10,519.19 and for March 2021 at \$22,337.15, up from March 2020 by \$2,671.31, which is still showing an upward trend.

The abated property located at 210 Murnen will be moving forward. The owner has until April 1, 2021 to remove any personal possessions. The city will make arrangements for asbestos testing and removal, with costs assessed to the property owner.

Mr. Homan also talked about issuing a bond to secure the current favorable rates for the Fire Hall/City Hall/Community Room project.

The city-wide cleanup date has been set for May 1 between the hours of 8:00 a.m. to 3:00 p.m. Crews have been working on water leaks and he complimented the city employees.

Mr. Homan indicated the upcoming meeting agenda will include a hearing for Shiers Subdivision and for the council to consider a fee for a flood plain zone building permit.

City Treasurer—Susan Tonniges: Susan reported on the financials and went over the fund report. The city is five months into the fiscal year and the balances are showing 40% of budget and staying on track.

Professional Services Agreement and Nebraska Drinking Water State Revolving Fund Grant—Olsson--Jess Hurlbert: Mr. Hurlbert went over the professional services and benefits Olsson's would be providing by doing a Water System Evaluation. The process will help with grant applications, as well as being helpful with economic development opportunities. Grants typically need a current study, so it is best to have this in place, as there may be grant opportunities available yet this year. Gibbon's last study was done in 1999. This evaluation will also include the new well field.

#### Public Hearing:

##### One- and Six-Year Street Improvement Hearing:

A motion was made by Leon Stall to open the hearing at 7:38 p.m., seconded by Derrick Clevenger.

Leon Stall: Yea; Derrick Clevenger: Yea; Jeff Burmood: Yea; Bob Krier: Yea

Yea: 4; Nay: 0. Motion carried.

The purpose of the hearing is to hear support, opposition, criticism, suggestions or observations from the public on the One- and Six-Year Street Improvements. Jess Hurlbert from Olsson was present to go over the proposed improvements. He explained that in 2020 there was no new street paving done, however maintenance was done on some streets. The Mayor asked if there were any comments. Jeff Burmood asked if the BC Estates street would be added as it will be new subdivision. It will be added for the state report, however, it is the developer's responsibility for the paving costs.

Leon Stall moved to close the hearing at 7:47 p.m., seconded by Bob Krier.

Leon Stall: Yea; Bob Krier: Yea; Jeff Burmood: Yea; Derrick Clevenger: Yea

Yea: 4; Nay: 0. Motion carried.

##### Class C Liquor License Application Hearing for 2KRD2 dba Axes, Gibbon, 707 Front Street:

A motion was made by Jeff Burmood to open the hearing at 7:47 p.m., seconded by Leon Stall.

Jeff Burmood: Yea; Leon Stall: Yea; Bob Krier: Yea; Derrick Clevenger: Yea

Yea: 4; Nay: 0. Motion carried.

The hearing was held to hear any support, opposition, criticism, suggestions or observations of the public to the passage of the liquor license. The Mayor asked if there were any comments. Kyle Vohland provided considerable information and explained the guidelines they will be using in their business.

A motion by Derrick Clevenger to close the hearing at 8:08 p.m., seconded by Bob Krier.

Derrick Clevenger: Yea; Bob Krier: Yea; Leon Stall: Yea; Jeff Burmood: Yea

Yea: 4; Nay: 0. Motion carried.

##### Acquisition of Real Property Hearing located at 108 LaBarre Street:

A motion was made by Leon Stall to open the hearing at 8:09 p.m., seconded by Derrick Clevenger.

Leon Stall: Yea; Derrick Clevenger: Yea; Jeff Burmood: Yea; Bob Krier: Yea

Yea: 4; Nay: 0. Motion carried.

The hearing was held to hear any support, opposition, criticism, suggestions or observations of the public on the acquisition of Real Property located at 108 LaBarre. The Mayor asked if there were any comments. Sharon Schukei, Library Board Chair, explained the benefits of the purchase for the library. The Library does several outdoor activities and this would give them more room for parking too. Missy Onate, Library Director, noted the same benefits with outdoor activities and parking. Ron Robinson voiced his support for the purchase. Ivan Klein, Library Board member, agreed with the purchase as it would provide a benefit with parking for library activities and Pioneer Park, as well as for other outdoor activities uptown.

A motion was made by Derrick Clevenger to close the hearing at 8:12 p.m., seconded by Bob Krier.

Derrick Clevenger: Yea; Bob Krier: Yea; Leon Stall: Yea; Jeff Burmood: Yea  
Yea: 4; Nay: 0. Motion carried.

Ordinance:

Ordinance No. 622 Increase Water Rates

Ordinance No. 622 now came up for second reading. Ordinance No. 622 AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA INCREASING MUNICIPAL WATER RATES

Motion was made by Leon Stall and seconded by Derrick Clevenger to approve Ordinance No. 622 on its second reading.

Leon Stall: Yea; Derrick Clevenger: Yea; Bob Krier: Yea; Jeff Burmood: Yea

Yea: 4; Nay: 0 Motion carried.

Mayor declared said Ordinance No. 622 approved on its second reading.

Ordinance No. 623 Increase Sewer Rates

Ordinance No. 623 now came up for second reading. Ordinance No. 623 AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA INCREASING MUNICIPAL SEWER RATES

Motion was made by Bob Krier and seconded by Leon Stall to approve Ordinance No. 623 on its second reading.

Bob Krier: Yea; Leon Stall: Yea; Jeff Burmood: Yea; Derrick Clevenger: Yea

Yea: 4; Nay: 0 Motion carried.

Mayor declared said Ordinance No. 623 approved on its second reading.

Ordinance No. 624 Parking in Yards, Establish a Time Limit for Parking Recreational and Farm Machinery and Trucks in Residential Districts.

Council Member Bob Krier introduced Ordinance No. 624 entitled:

AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA TO PROHIBIT PARKING IN YARDS, ESTABLISH A TIME LIMIT FOR PARKING RECREATIONAL AND FARM MACHINERY, AND ESTABLISH A TIME LIMIT FOR PARKING TRUCKS IN RESIDENTIAL DISTRICTS and moved that the statutory rule requiring reading on three different days be suspended. Council Member Leon Stall seconded the motion to suspend the rule.

Bob Krier: Yea; Leon Stall: Yea; Jeff Burmood: Yea; Derrick Clevenger: Yea

Yea: 4; Nay: 0 Motion carried.

Said Ordinance No. 624 was then read by title: AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA TO PROHIBIT PARKING IN YARDS, ESTABLISH A TIME LIMIT FOR PARKING RECREATIONAL AND FARM MACHINERY, AND ESTABLISH A TIME LIMIT FOR PARKING TRUCKS IN RESIDENTIAL DISTRICTS and thereafter Council Member Jeff Burmood moved for final passage of the Ordinance, which motion was seconded by Council Member Leon Stall. The Mayor then stated the question "Shall Ordinance No 624 be passed and adopted?"

Jeff Burmood: Yea; Leon Stall: Yea; Jeff Burmood: Yea; Bob Krier: Yea

Yea: 4; Nay: 0 Motion carried.

The passage and adoption of said Ordinance having been concurred by a majority of all members of the Council, the Mayor declared the Ordinance adopted and the Mayor in the presence of the Council signed and approved the Ordinance and the Clerk attested the passage and approval of the same and affixed her signature thereto and ordered the Ordinance to be published in pamphlet form as provided therein.

Consent Agenda:

A motion was made by Leon Stall to approve the Consent Agenda, seconded by Derrick Clevenger.

Leon Stall: Yea; Derrick Clevenger: Yea; Bob Krier: Yea; Jeff Burmood: Yea

Yea: 4; Nay: 0; Motion carried.

The items approved in the Consent Agenda are as follows:

Minutes of the February 16, 2021 Council Meeting

Claims for the month of March

Buffalo County Sheriff Department Report

Waste Water Treatment Plant Report

Treasurers Report

Planning Commission Report

Building Permit 2021-01—Dustin Lang—1007 2<sup>nd</sup> Street—Deck  
Building Permit 2021-02—Derrick & Angie Clevenger—1318 7<sup>th</sup> Street-Addition  
Building Permit 2021-03—Raul Escandon, Jr.—1219 7<sup>th</sup> Street—Addition  
Building Permit 2021-04—Joe & Caleesha Almazan—Shiers Estate—Single Family Home  
Library Report  
Heritage Center Report  
Reappointment of Nicole Schuster—Cemetery Board  
Reappointment of Heather Smallcomb—Cemetery Board  
GVFD Membership Application—Taylor Gellerman

Resolutions and Motions:

Resolution No. 2021-03--One- and Six-Year Street Improvement Plans

Whereas, In accordance with the statutes of the State of Nebraska and as prescribed by the Board of Public Roads Classifications and Standards, Notice of Hearing has been given publication in the legal newspaper of Gibbon, Nebraska, and by posting in three public places within the City, of a Hearing on the One and Six Year Plans of Street Improvements of Gibbon, to be held at the City Office on the 15<sup>th</sup> day of March, 2021, at 7:15 p.m. for the purpose of hearing comments and objections to said plans.

Whereas, upon said Hearing, the City Council finds that the plans submitted are adequate for the purpose prescribed by law and that the same should be approved.

Now therefore, be it resolved by the Mayor and City Council of Gibbon, Nebraska that the One-and-Six Year Plan for specific improvements during the current year are hereby approved and adopted.

A motion was made by Jeff Burmood to approve Resolution #2021-03, seconded by Derrick Clevenger.

Jeff Burmood: Yea; Derrick Clevenger: Yea; Leon Stall: Yea; Bob Krier: Yea

Yea: 4; Nay: 0. Motion carried.

Resolution No. 2021-04 Authorizing the Application for a Drinking Water State Revolving Fund Planning Grant from the Nebraska Department of Environment and Energy

RESOLUTION NO. 2021-04

WHEREAS, the City of Gibbon, Nebraska recognizes that a properly functioning public water supply system is necessary to the health and welfare of the citizens of Gibbon; and

WHEREAS, the Mayor and City Council have determined that portions of the City of Gibbon public water supply system are in need of significant repair and improvements: and

WHEREAS, funding for the cost of the Preliminary Engineering Report and/or other eligible planning grant activities of the City of Gibbon public water supply system may be obtained by grant from the Nebraska Department of Environment and Energy, subject to certain requirements and obligations;

NOW, THEREFORE BE IT RESOLVED by the Mayor and City Council of the City of Gibbon, Nebraska that they should make application for a grant from the Nebraska Department of Environment and Energy; and

BE IT FURTHER RESOLVED, Deborah VanMatre, Mayor, is hereby directed to execute the application and all other documents necessary to facilitate the grant between the Nebraska Department of Environment and Energy to the City of Gibbon, Nebraska for the purpose of planning for the repairing and improving the City's public water supply system; and

BE IT FURTHER RESOLVED THAT Larry L. Homan, City Administrator, be authorized and directed to sign the payment or outlay request forms, sign all necessary document to furnish such assurances to the State of Nebraska as may be required by law or regulations, and to receive payment on behalf of the applicant.

A motion was made by Leon Stall to approve Resolution No. 2021-04, seconded by Bob Krier.

Leon Stall: Yea; Bob Krier: Yea; Derrick Clevenger: Yea; Derrick Clevenger: Yea

Yea: 4; Nay: 0. Motion carried.

A motion was made by Derrick Clevenger to approve the Letter of Agreement for Professional Services with Olsson for the Evaluation of the Existing Water System and Analysis of the Existing and Proposed Water Supply, Storage and Distribution Systems, seconded by Leon Stall.

Derrick Clevenger: Yea; Leon Stall: Yea; Bob Krier: Yea; Jeff Burmood: Yea

Yea: 4; Nay: 0. Motion carried.

A motion was made by Derrick Clevenger to approve the Class C Liquor License Application of 2KRD2, Inc. dba Axes Gibbon located at 707 Front Street, seconded by Jeff Burmood.

Derrick Clevenger: Yea; Jeff Burmood: Yea; Bob Krier: Yea; Leon Stall: Yea

Yea: 4; Nay: 0. Motion carried.

A motion was made by Bob Krier to approve the Acquisition of Real Property Located at 108 LaBarre Street for the Purchase Price of \$16, 000, seconded by Leon Stall.

Bob Krier: Yea; Leon Stall: Yea; Jeff Burmood: Yea; Derrick Clevenger: Yea

Yea: 4; Nay: 0. Motion carried.

Other Items:

The next regular Council Meeting will be on Monday, April 19, 2021 at 7:00 p.m.

Adjourn:

A motion was made by Leon Stall to adjourn the meeting, seconded by Bob Krier.

Leon Stall: Yea; Bob Krier: Yea; Jeff Burmood: Yea; Derrick Clevenger: Yea:

Yea: 4; Nay: 0 Motion carried.

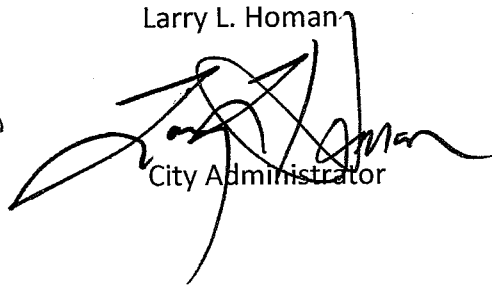
Mayor VanMatre adjourned the meeting at 8:24 p.m.

Pamela Rasmussen



City Clerk

Larry L. Homan



City Administrator

Deborah VanMatre



Mayor

SEAL



# Claims Register

City of Gibbon - 4/19/2021

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<u>Vendor Name</u>	<u>Description</u>	<u>Amount</u>
Adam's Corner Market	SUPPLIES-LIBRARY	\$4.18
Adam's Corner Market	SUPPLIES/REPAIRS-CITYHALL/GOLF	\$93.57
All Makes Auto Supply	SUPPLIES-SHOP	\$13.98
All Makes Auto Supply	SUPPLIES-PARK	\$199.99
All Makes Auto Supply	SUPPLIES-PARK	\$50.28
All Makes Auto Supply	SUPPLIES-SHOP	\$23.49
All Makes Auto Supply	SUPPLIES-SHOP	\$23.49
All Makes Auto Supply	SUPPLIES-PARK	\$6.69
All Makes Auto Supply	SUPPLIES-PARK	(\$27.00)
All Makes Auto Supply	FLAG POLE-CITY HALL	\$46.99
All Makes Auto Supply	SUPPLIES-SHOP	\$21.49
All Makes Auto Supply	SUPPLIES-STREET	\$17.57
All Makes Auto Supply	SUPPLIES-PARK	\$68.80
All Makes Auto Supply	SUPPLIES-SHOP	\$14.99
All Makes Auto Supply	SUPPLIES-SHOP	\$14.99
All Makes Auto Supply	REPAIRS-PARK	\$7.98
All Makes Auto Supply	SUPPLIES-PARK	(\$68.80)
Amazon--Synch	BOOKS/MAG/SUPPLIES-LIBRARY	\$520.64
Ask Supply Co. LLC	SUPPLIES-PARK/POOL/STREET/LIBRARY	\$1,066.64
Aurora Cooperative	FUEL/TANK-CEMETERY/GOLF/PARK/STREET/WWTP	\$4,625.48
Aussie Hydraulics LLP	REPAIRS-STREET	\$486.69
Aussie Hydraulics LLP	REPAIRS-STREET	\$284.23
BOKF, NA	GENERAL OBLIGATION BONDS SERIES	\$65,720.00
BUFFALO CHIPZ	GVFD BANQUET	\$1,286.20
Barco Municipal Products Inc.	REPAIRS-STREET	\$193.30
Barco Municipal Products Inc.	STREET SIGNS/CEMETERY SIGNS	\$512.33
Black Hills Energy	GAS SERVICE-shop	\$333.59
Black Hills Energy	GAS SERVICE-POOL	\$31.63
Black Hills Energy	GAS SERVICE-CITY HALL	\$99.24
Black Hills Energy	GAS SERVICE-FIRE/POLICE	\$396.59
Black Hills Energy	GAS SERVICE-HERITAGE CENTER	\$427.33
Black Hills Energy	GAS SERVICE-WWTP	\$244.53
Black Hills Energy	GAS SERVICE-FOX BUILDING	\$120.28
Black Hills Energy	GAS SERVICE-PARK/STREET/SEWER	\$183.38
Black Hills Energy	GAS SERVICE-WATER STORAGE	\$54.76
Blue Cross Blue Shield Of Nebraska	MEDICAL/DENTAL INSURANCE	\$20,039.73
Buffalo County Clerk	Liquor License--Golf Course	\$500.00
Buffalo County Sheriff Department	CONTRACT LAW ENFORCEMENT	\$17,441.67
Buffalo Outdoor Power LLC	SUPPLIES/REPAIRS-CEMETERY	\$193.10
Buffalo Outdoor Power LLC	SUPPLIES-PARK	\$56.55
Buffalo Outdoor Power LLC	SUPPLIES-CEMETERY	\$69.98
Buffalo Outdoor Power LLC	SUPPLIES-STREET	\$5.95
Cardmember Service	POSTAGE/SUPPLIES/REPAIRS--WATER/SEWER/GOL	\$1,829.75
Carrot-Top Industries Inc.	FLAG POLE REPAIRS-STREET	\$36.75
Cash-Wa Distributing Co.	SUPPLIES/FOOD-GOLF	\$1,181.01
Chemsearch	SUPPLIES-SP SEWER	\$357.00
Chesterman Company	FOOD SUPPLIES-GOLF	\$593.00
Clevenger's Tires and Convenience	REPAIRS-PARK	\$154.72
Clipper Publishing	LEGAL PUBLICATION	\$415.44
Clipper Publishing	SEVERE WEATHER PUBLICATION	\$75.00
Clipper Publishing	GOLF AD	\$66.00
Companion Life Insurance Company	LIFE INSURANCE	\$26.67
Construction Rental Inc.	SUPPLIES/REPAIRS-STREET/PARK	\$529.52
Construction Rental Inc.	REPAIRS-POOL	\$269.00
Core & Main LP	REPAIRS-WATER	\$107.29
Core & Main LP	REPAIRS-WATER	\$2,396.25
Culligan of Kearney	RENTAL-GOLF	\$39.00
DENISE CATLIN	REIMBURSEMENT FOOD/TRAINING-GOLF	\$44.63
DOUBLE J PLUMBING & CONTRACTING, LLC	HERITAGE CENTER REPAIRS	\$1,522.19
Dawson Public Power District	ELECTRICITY-CEMETERY	\$40.58
Dawson Public Power District	ELECTRICITY-GOLF	\$2,337.45
Dawson Public Power District	ELECTRICITY-GOLF	\$493.71
Eakes Office Solutions	OFFICE SUPPLIES	\$32.74
Electric Pump	REPAIRS-SP SEWER	\$1,501.70
Fastenal Co.	SIGNS-STREET	\$13.22
Guideposts	BOOKS-LIBRARY	\$21.24
Gibbon Fire Department	FIRE DEPARTMENT ALLOWANCE	\$800.00

# Claims Register

City of Gibbon - 4/19/2021

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<u>Vendor Name</u>	<u>Description</u>	<u>Amount</u>
Grainger	SUPPLIES-PARK	\$188.81
HOA Solutions, Inc.	REPAIRS-SP SEWER	\$642.00
HiTech Inc.	FLAGS/STREET-UNLOAD TRUCK/PARK	\$257.00
Hometown Leasing	Copier Lease	\$174.54
Ingram Library Services	BOOKS-LIBRARY	\$937.28
Kearney Concrete Co.	REPAIRS-WATER	\$840.07
Kearney Powersports	REPAIRS-CEMETERY	\$25.95
Kearney Towing & Repair Center Inc.	REPAIRS JET TRUCK	\$1,036.34
Kearney Towing & Repair Center Inc.	REPAIRS-SP SEWER	\$185.00
Kelly Supply Company	SUPPLIES-WATER	\$130.41
Kelly Supply Company	SUPPLIES-SP SEWER	\$846.50
Kelly Supply Company	REPAIRS-SP SEWER	\$201.55
LARM	INSURANCE-GOLF LIQUOR LIABILITY	\$795.00
LARRY HOMAN	REIMBURSEMENTS/MILEAGE	\$442.99
Logan Contractors Supply, Inc.	COLDPATCH POTHOLL REPAIRS-STREET	\$822.00
MASTERS TRUE VALUE	SUPPLIES-SP SEWER	\$31.89
MacQueen Equipment Group	REPAIRS-STREET	\$488.29
Mellen & Associates, Inc.	REPAIR/SUPPLIES-STREET (STORM GATE)/SP SEW	\$12,233.30
Menards--Kearney	SUPPLIES/REPAIRS-PARK/STREET	\$515.40
Menards--Kearney	SUPPLIES-PARK	\$184.41
Menards--Kearney	FLAG/SUPPLIES-STREET	\$106.29
Menards--Kearney	SUPPLES/REPAIRS-CEMETERY/STREET	\$318.27
Menards--Kearney	SUPPLIES-CEMTERY/STREET	\$71.94
Menards--Kearney	SUPPLIES/REPAIRS-GOLF/STREET/PARK	\$111.27
Mid-Nebraska Aggregate Inc.	GRAVEL-RIVER STREET	\$1,905.85
Mid-Nebraska Disposal, Inc.	GARBAGE SERVICE	\$8,545.20
Mid-Nebraska Disposal, Inc.	GARBAGE SERVICE-GOLF	\$55.32
Municipal Supply Inc.	SUPPLIES-WATER	\$52.48
Municipal Supply Inc.	SUPPLIES-WATER	\$819.25
NCTC	PHONE SERVICE-POLICE	\$63.63
NCTC	PHONE SERVICE-PARK	\$30.99
NCTC	PHONE SERVICE-GOLF	\$106.49
NCTC	PHONE SERVICE-CEMETERY	\$281.15
NCTC	PHONE SERVICE-LIBRARY	\$160.77
NCTC	PHONE SERVICE-POOL	\$36.48
NCTC	PHONE SERVICE-SP SEWER	\$91.88
NCTC	PHONE SERVICE-CITY/SHOP	\$296.53
NCTC	PHONE SERVICE-SP SEWER	\$174.61
NCTC	PHONE SERVICE-WATER	\$16.04
NDEQ	WATER COURSE GARDE IV--TRENT	\$260.00
NE Fire Sprinkler	ANNUAL FIRE SPRINKLER INSPECTION-SHOP	\$215.00
NEBRASKA CHILD SUPPORT	CHILD SUPPORT	\$225.70
NMC Exchange LLC	SUPPLIES-STREET/WATER	\$2,573.74
NMPP	MEMBER DUES	\$1,001.57
NPPD	ELECTRICITY-DAVIS WELLS-WATER	\$704.40
NPPD	ELECTRICITY-SOUTH LIFT STATION-SEWER	\$217.03
NPPD	ELECTRICITY-HERSHEY LIFT STATION-SEWER	\$156.62
NPPD	ELECTRICITY-HERITAGE CENTER	\$107.08
NPPD	ELECTRICITY-LIBRARY	\$509.11
NPPD	ELECTRICITY-NORTH WELL-WATER	\$164.73
NPPD	ELECTRICITY	\$29,328.69
Nationwide	Bond-Larry	\$100.00
Nebraska Dept Rev (ACH)	January Sales Tax	\$4,470.26
Nebraska Generator Service LLC	REPAIRS-SP SEWER	\$327.88
Nebraska Public Health Lab	ROUTINE WATER TESTS	\$335.00
Nebraska Public Health Lab	ROUTINE WATER TESTS	\$105.00
ODEYS, INC	LEGION BALL FIELDS UPGRADE-PARKS	\$22,255.50
Olsson	FRONT STREET LIFT STATION	\$5,361.71
Olsson	WWTP PERMIT/WELL FIELD	\$7,808.71
Olsson	1 & 6 YR STREET PLAN/WWTP	\$2,491.70
One Call Concepts, Inc.	NE-811	\$24.96
Philip Carkoski Construction & Trenching	REPAIRS-WATER	\$9,032.00
Platte Valley Lab	TESTS-SP SEWER	\$4,947.50
QUAD-C CONSULTING	ASBESTOS INSPECTION-JARMIN HOUSE-FIRE/CITY	\$435.00
QUADIENT LEASING USA, INC.	POSTAGE	\$700.00
QUADIENT LEASING USA, INC.	POSTAGE MACHINE LEASE	\$158.85
Rembolt Ludtke LLP	GO REFUNDING BONDS SERIES 2021	\$1,360.00

# Claims Register

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City of Gibbon - 4/19/2021

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<u>Vendor Name</u>	<u>Description</u>	<u>Amount</u>
SUSAN J TONNIGES CPA PC	TREASURER SERVICE	\$983.60
Social Security Administration	Federal	\$1,742.29
Social Security Administration	Medicare	\$752.04
Social Security Administration	SS	\$3,215.70
Social Security Administration	Federal	\$1,686.70
Social Security Administration	Medicare	\$737.88
Social Security Administration	SS	\$3,154.90
Social Security Administration	Federal	\$1,717.83
Social Security Administration	Medicare	\$786.34
Social Security Administration	SS	\$3,362.08
Sprinkler Service	SUPPLIES-PARK	\$672.00
TRENT STRATMAN	MILEAGE/MEALS REIMBURSEMENT--WWTP	\$172.86
Tractor Supply Co.	SUPPLIES-STREET	\$79.98
USA Blue Book	SUPPLIES-WATER	\$295.18
USA Blue Book	SUPPLIES-WATER	(\$120.76)
Van Diest Supply Co.	FERTILIZER/CHEMICALS-PARK/STREET/CEM/WWTP	\$1,817.90
Van Diest Supply Co.	CHEMICAL-STREET	\$353.50
Van Diest Supply Co.	CHEMICAL/FERTILIZER-PARK/STREET	\$1,232.00
Van Diest Supply Co.	SUPPLIES/CHEMICAL-PARK/STREET	\$320.00
Van Diest Supply Co.	SUPPLIES-CEMETERY	\$788.75
Verizon Wireless	CELL PHONES/TABLETS	\$807.73
Verizon Wireless	CELL PHONES-ALL DEPTS	\$607.66
WILKINSON INDUSTRIAL	WASH & PAINT TANK-WATER	\$6,605.70
WIN-911 SOFTWARE	SOFTWARE ON SCADA-SP SEWER	\$660.00
Willis Repair LLC	REPAIRS-STREET	\$69.62
Willis Repair LLC	SUPPLIES-STREET	\$3.48
Wolfe, Snowden, Hurd, Luers & AHL, LLP	ATTORNEY FEE	\$747.50
YAMAHA MOTOR FINANCE CORP	GOLF CARTS PAYMENT-GOLF	\$6,900.00
		\$300,043.73

The claims listed above were approved by the City Of Gibbon City Council on 4/19/2021

\_\_\_\_\_  
Council Member Bob Krier

\_\_\_\_\_  
Council Member Leon Stall

\_\_\_\_\_  
Council Member Derrick Clevenger

\_\_\_\_\_  
Council Member Jeff Burmood

SEAL:

PAYROLL		
PAYROLL 3-16-21 THRU 4-19-21		
<u>VENDOR</u>	<u>FOR</u>	<u>AMOUNT</u>
Employee Checks 3-18-2021	Net	\$ 20,107.13
Employee Checks 4-1-2021	Net	\$ 19,753.60
Employee Checks 4-15-2021	Net	\$ 21,286.80
	<b>Total</b>	<b>\$ 61,147.53</b>



# Buffalo County Sheriff's Office

Neil A. Miller, Sheriff



## City of Gibbon Calls For Service March, 2021

<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/1/2021 7:30:04AM	1030 COURT ST	DIRECTED PATROL
3/1/2021 9:04:33AM	15 GARFIELD ST	PARKING VIOLATION
3/1/2021 9:12:42AM	45 GARFIELD ST	PARKING VIOLATION
3/1/2021 1:44:58PM	1030 COURT ST	DIRECTED PATROL
3/1/2021 2:30:01PM	913 COURT ST	FRAUD
3/1/2021 10:04:29PM	413-114 1ST ST	HARASSMENT
3/1/2021 10:43:58PM	667 LABARRE ST	TRAFFIC STOP
3/2/2021 1:22:33PM	BEATTY ST/HWY 30	TRAFFIC STOP
3/2/2021 5:31:23PM	7TH ST/GARFIELD ST	ANIMAL
3/2/2021 5:55:12PM	1203-1 7TH ST	ANIMAL
3/2/2021 6:48:46PM	1203-8 7TH ST	FOLLOW UP
3/3/2021 7:31:43AM	1030 COURT ST	DIRECTED PATROL
3/3/2021 1:06:51PM	910 WEST AVE	ANIMAL
3/3/2021 2:29:58PM	413-119 1ST ST	CHECK WELFARE
3/3/2021 2:34:56PM	319 KELSEY AVE	CIVIL PAPER SERVICE
3/3/2021 2:48:34PM	218 HWY 30	CIVIL PAPER SERVICE
3/3/2021 3:11:36PM	312 COURT ST	CIVIL PAPER SERVICE
3/3/2021 3:22:57PM	1203-15 7TH ST	CIVIL PAPER SERVICE
3/3/2021 3:29:58PM	402 LAWN AVE	CIVIL PAPER SERVICE
3/3/2021 3:35:32PM	210 LAWN AVE	CIVIL PAPER SERVICE
3/3/2021 3:38:51PM	717 3RD ST	CIVIL PAPER SERVICE
3/3/2021 3:41:57PM	804 WEST AVE	FOLLOW UP
3/3/2021 3:43:58PM	412 3RD ST	CIVIL PAPER SERVICE
3/3/2021 3:46:55PM	701 5TH ST	CIVIL PAPER SERVICE
3/3/2021 3:57:43PM	28 SUN VALLEY TRLR CT	SEX OFFENDER REGISTRY
3/3/2021 4:24:22PM	712-6 WEST AVE	SEX OFFENDER REGISTRY
3/3/2021 4:43:37PM	1029 COURT ST	CIVIL PAPER SERVICE
3/3/2021 4:55:07PM	319 KELSEY AVE	CIVIL PAPER SERVICE
3/3/2021 6:13:24PM	310 WEST AVE	ANIMAL
3/4/2021 7:29:24AM	769 COURT ST	DIRECTED PATROL
3/4/2021 10:18:12AM	620 COURT ST	JUVENILE
3/4/2021 1:45:04PM	28 SUN VALLEY TRLR CT	SEX OFFENDER REGISTRY
3/4/2021 2:13:49PM	620 WEST AVE	PARKING VIOLATION
3/4/2021 3:54:06PM	1031 COURT ST	DISTURBANCE
3/4/2021 5:16:15PM	1601 7TH ST	FALL

4/12/2021  
7:52:58AM

Chief Deputy D. Schleusener

<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/4/2021 7:03:08PM	200 WEST AVE	SEX OFFENDER REGISTRY
3/4/2021 10:45:54PM	714 1ST ST	CHEST PAIN
3/5/2021 7:31:43AM	1030 COURT ST	DIRECTED PATROL
3/5/2021 10:17:51AM	411 LAWN AVE	PARKING VIOLATION
3/5/2021 3:00:21PM	900 LAWN AVE	DIRECTED PATROL
3/5/2021 3:50:45PM	790 FRONT ST	CHECK WELFARE
3/6/2021 1:11:00AM	1503 7TH ST	DISTURBANCE
3/6/2021 7:02:43AM	503 WEST AVE	SUSPICIOUS ACTIVITY
3/6/2021 2:21:03PM	1503 7TH ST	FOLLOW UP
3/7/2021 7:23:49AM	909 WEST AVE	CORONER INVESTIGATION
3/8/2021 7:55:35AM	1030 COURT ST	DIRECTED PATROL
3/8/2021 4:58:11PM	2ND ST/GILMORE ST	TRAFFIC OFFENSE
3/8/2021 6:05:17PM	218 HWY 30	ACCIDENT NON INJURY
3/8/2021 6:56:41PM	1100 HWY 30	TRAFFIC STOP
3/9/2021 1:25:11AM	818 HWY 30	SUSPICIOUS ACTIVITY
3/9/2021 7:49:57AM	1030 COURT ST	DIRECTED PATROL
3/9/2021 3:54:56PM	317 COURT ST	PARKING VIOLATION
3/10/2021 4:13:29AM	PARK RD/CENTER ST	GAS LEAK
3/10/2021 7:46:58AM	1030 COURT ST	DIRECTED PATROL
3/10/2021 12:04:21PM	119 WEST AVE	FOLLOW UP
3/10/2021 2:16:18PM	119 WEST AVE	FOLLOW UP
3/10/2021 2:36:01PM	2ND ST/COURT ST	MOTORIST ASSIST
3/10/2021 3:28:02PM	1030 COURT ST	DIRECTED PATROL
3/10/2021 4:29:20PM	1115-22 7TH ST	PROPERTY LOST OR FOUND
3/10/2021 9:24:29PM	1507 7TH ST	DISTURBANCE
3/11/2021 3:02:18AM	1589 4TH ST	SUSPICIOUS ACTIVITY
3/11/2021 7:36:40AM	1030 COURT ST	DIRECTED PATROL
3/11/2021 1:49:20PM	218 HWY 30	CHEST PAIN
3/11/2021 6:30:21PM	1002-1 FRONT ST	SEX OFFENDER REGISTRY
3/12/2021 6:54:56AM	507 PINE AVE	SUSPICIOUS ACTIVITY
3/12/2021 9:25:27AM	317 COURT ST	PARKING VIOLATION
3/12/2021 9:32:57AM	317 COURT ST	PARKING VIOLATION
3/12/2021 3:03:09PM	210 LAWN AVE	CIVIL PAPER SERVICE
3/12/2021 3:10:43PM	1115-16 7TH ST	CIVIL PAPER SERVICE
3/12/2021 3:23:52PM	210-1 GARFIELD ST	CIVIL PAPER SERVICE
3/13/2021 2:13:39AM	218 HWY 30	TRAFFIC OFFENSE
3/13/2021 3:11:21PM	1029 COURT ST	MOTORIST ASSIST
3/13/2021 4:40:51PM	818 HWY 30	SUSPICIOUS ACTIVITY
3/13/2021 7:04:30PM	514 MAY AVE	DISTURBANCE
3/14/2021 7:38:53PM	156 HWY 30	TRAFFIC STOP
3/16/2021 8:27:32AM	683 3RD ST	PARKING VIOLATION
3/16/2021 7:50:10PM	1115 7TH ST	PROTECTIVE CUSTODY EFFORT
3/17/2021 8:22:52AM	1030 COURT ST	DIRECTED PATROL

4/12/2021  
7:52:58AM

Chief Deputy D. Schleusener

<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/17/2021 10:18:31AM	1214 7TH ST	PARKING VIOLATION
3/17/2021 1:57:39PM	413-138 1ST ST	CHECK WELFARE
3/18/2021 2:29:05AM	718-B HWY 30	DISTURBANCE
3/18/2021 7:47:07AM	1030 COURT ST	DIRECTED PATROL
3/18/2021 10:25:58AM	1203-20 7TH ST	FOLLOW UP
3/19/2021 4:00:26AM	816 2ND ST	MOTORIST ASSIST
3/19/2021 8:44:29PM	420 HWY 30	TRAFFIC STOP
3/19/2021 11:58:59PM	718-B HWY 30	DISTURBANCE
3/20/2021 7:37:41AM	30 LABARRE ST	SECURITY ALARM
3/20/2021 7:05:54PM	1120 TRAIL DR	TRAFFIC STOP
3/21/2021 12:47:57AM	818 HWY 30	SECURITY ALARM
3/21/2021 8:07:53AM	712-6 WEST AVE	DISTURBANCE
3/21/2021 10:53:47AM	609 FRONT ST	FOLLOW UP
3/21/2021 2:20:04PM	918 2ND ST	PARKING VIOLATION
3/21/2021 7:10:27PM	413-114 1ST ST	HARASSMENT
3/21/2021 8:00:18PM	514 MAY AVE	CHECK WELFARE
3/22/2021 3:41:01AM	1203-4 7TH ST	ANIMAL
3/22/2021 7:51:16AM	1030 COURT ST	DIRECTED PATROL
3/22/2021 9:19:50AM	933 2ND ST	DIRECTED PATROL
3/22/2021 3:05:26PM	1054 7TH ST	DIRECTED PATROL
3/23/2021 12:52:20AM	1601 7TH ST	SPECIAL SERVICE
3/23/2021 1:17:32PM	672 RIVER ST	DIRECTED PATROL
3/23/2021 2:46:50PM	1121 7TH ST	DIRECTED PATROL
3/23/2021 4:00:45PM	1200 7TH ST	PARKING VIOLATION
3/23/2021 8:04:28PM	818 HWY 30	OUTSIDE AGENCY ASSIST
3/24/2021 8:11:46AM	210 LAWN AVE	SEX OFFENSE
3/24/2021 9:22:37AM	210 LAWN AVE	FOLLOW UP
3/24/2021 4:24:25PM	116 LABARRE ST	FOLLOW UP
3/24/2021 6:50:31PM	1103 TRAIL DR	OUTSIDE AGENCY ASSIST
3/24/2021 8:11:09PM	1373 TRAIL DR	TRAFFIC STOP
3/25/2021 10:02:41AM	210 LAWN AVE	OUTSIDE AGENCY ASSIST
3/25/2021 6:41:57PM	1424 7TH ST	TRAFFIC STOP
3/25/2021 6:57:24PM	1117 COURT ST	TRAFFIC STOP
3/25/2021 9:53:36PM	218 HWY 30	CHECK WELFARE
3/26/2021 9:34:38AM	624 MAY AVE	PARKING VIOLATION
3/26/2021 3:30:10PM	520 1ST ST	CIVIL PAPER SERVICE
3/26/2021 3:43:09PM	711 3RD ST	CIVIL PAPER SERVICE
3/26/2021 3:47:32PM	810 2ND ST	CIVIL PAPER SERVICE
3/26/2021 3:50:31PM	208 WOODLAND DR	CIVIL PAPER SERVICE
3/26/2021 4:01:53PM	210 LAWN AVE	CIVIL PAPER SERVICE
3/26/2021 4:11:59PM	409 MAY AVE	CIVIL PAPER SERVICE
3/26/2021 4:25:25PM	1503 7TH ST	CIVIL PAPER SERVICE
3/26/2021 4:30:39PM	1203-23B 7TH ST	CIVIL PAPER SERVICE

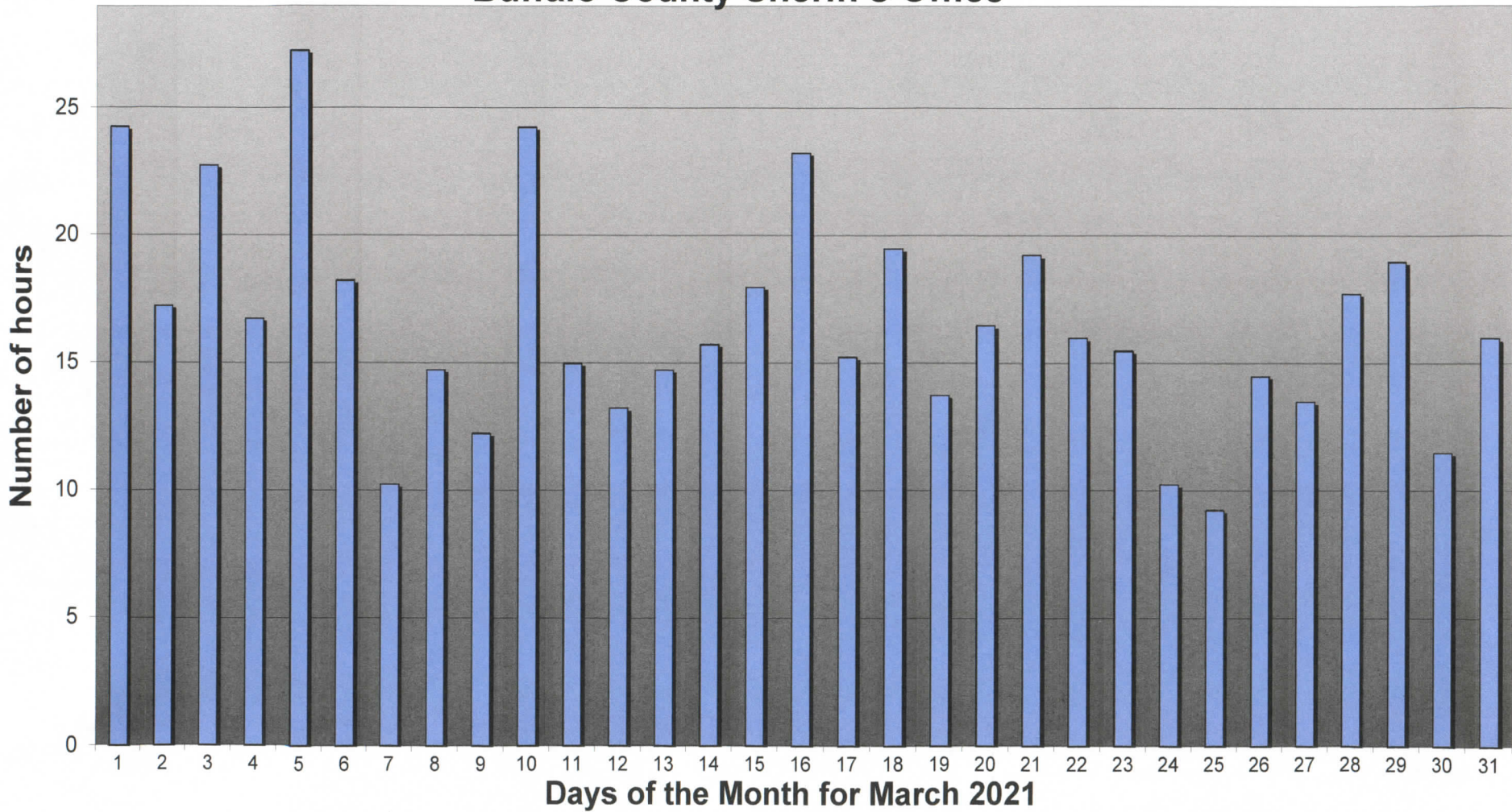
4/12/2021  
7:52:58AM

Chief Deputy D. Schleusener

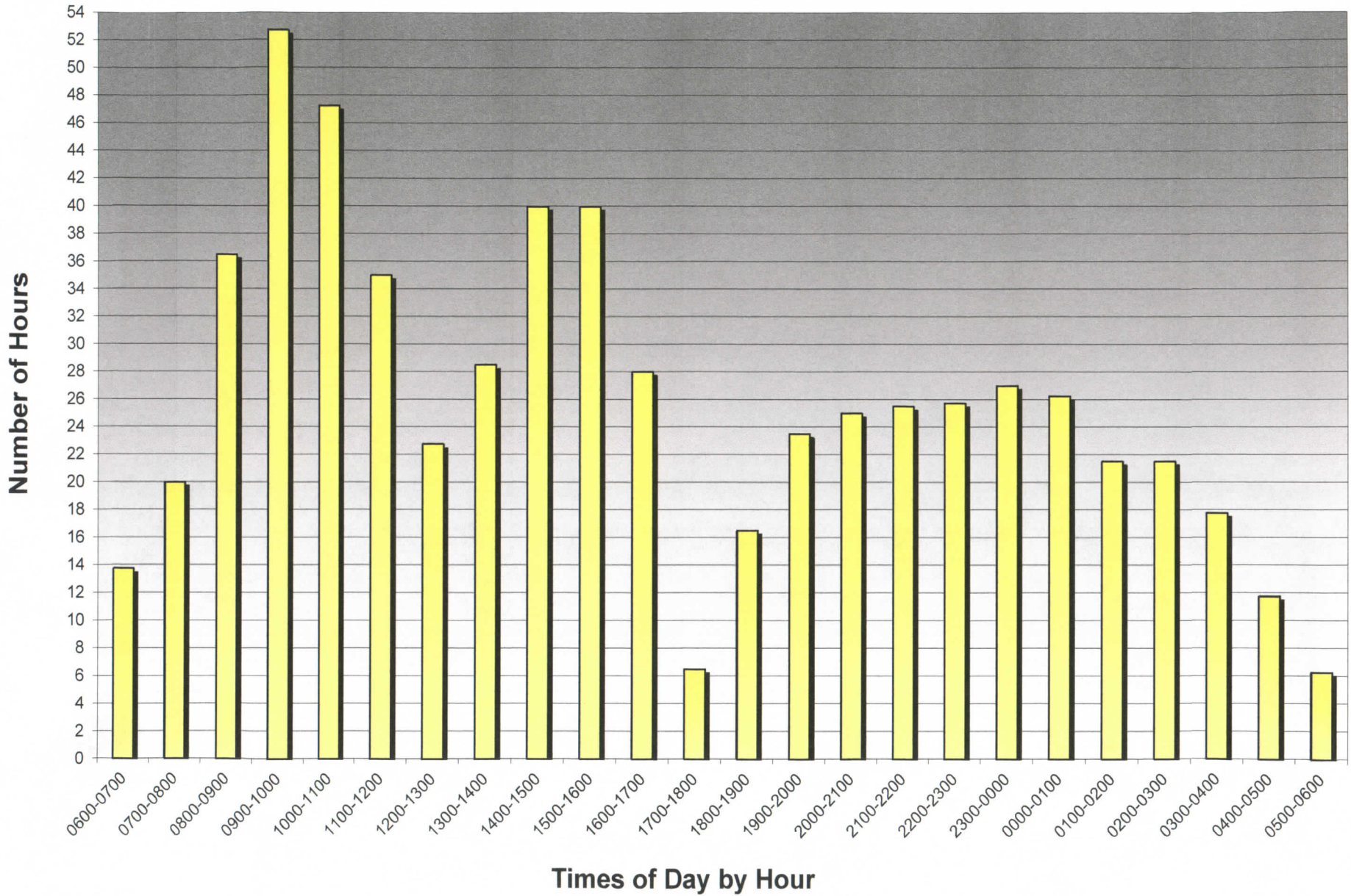
<u>Call Time</u>	<u>Street</u>	<u>Nature of Call</u>
3/26/2021 4:42:12PM	1203-8 7TH ST	CIVIL PAPER SERVICE
3/26/2021 5:01:48PM	805-4 FRONT ST	CIVIL PAPER SERVICE
3/26/2021 8:40:52PM	119 CENTER ST	CHECK WELFARE
3/28/2021 1:39:22AM	1031 COURT ST	SUSPICIOUS ACTIVITY
3/28/2021 2:13:34AM	17 FILER ST	DISTURBANCE
3/28/2021 7:05:08AM	24 FILER ST	SUSPICIOUS ACTIVITY
3/28/2021 9:44:41AM	17 FILER ST	DISTURBANCE
3/28/2021 4:58:08PM	500 PINE AVE	ILLNESS
3/29/2021 3:52:15AM	1031 COURT ST	CHECK PREMISE
3/29/2021 9:00:19AM	611 3RD ST	PAIN
3/29/2021 1:50:21PM	1030 COURT ST	DIRECTED PATROL
3/29/2021 1:58:39PM	1021 1ST ST	SPECIAL SERVICE
3/29/2021 7:22:55PM	LOWELL RD/CARPENTER F	TRAFFIC OFFENSE
3/30/2021 5:04:57AM	103 GLENN AVE	VANDALISM
3/30/2021 3:24:50PM	1030 COURT ST	DIRECTED PATROL
3/30/2021 3:24:50PM	1030 COURT ST	DIRECTED PATROL
3/30/2021 5:06:18PM	15 FILER ST	CIVIL
3/30/2021 6:28:25PM	500 PINE AVE	JUVENILE
3/30/2021 10:36:47PM	413-114 1ST ST	PROTECTION ORDER VIOL
3/31/2021 8:08:47AM	1030 COURT ST	DIRECTED PATROL
3/31/2021 9:37:27AM	800 HERSHEY ST	PARKING VIOLATION
3/31/2021 11:57:48AM	714 3RD ST	ILLNESS
3/31/2021 3:41:06PM	MURNEN AVE/HWY 30	ACCIDENT NON INJURY

4/12/2021  
7:52:58AM

## Buffalo County Sheriff's Office

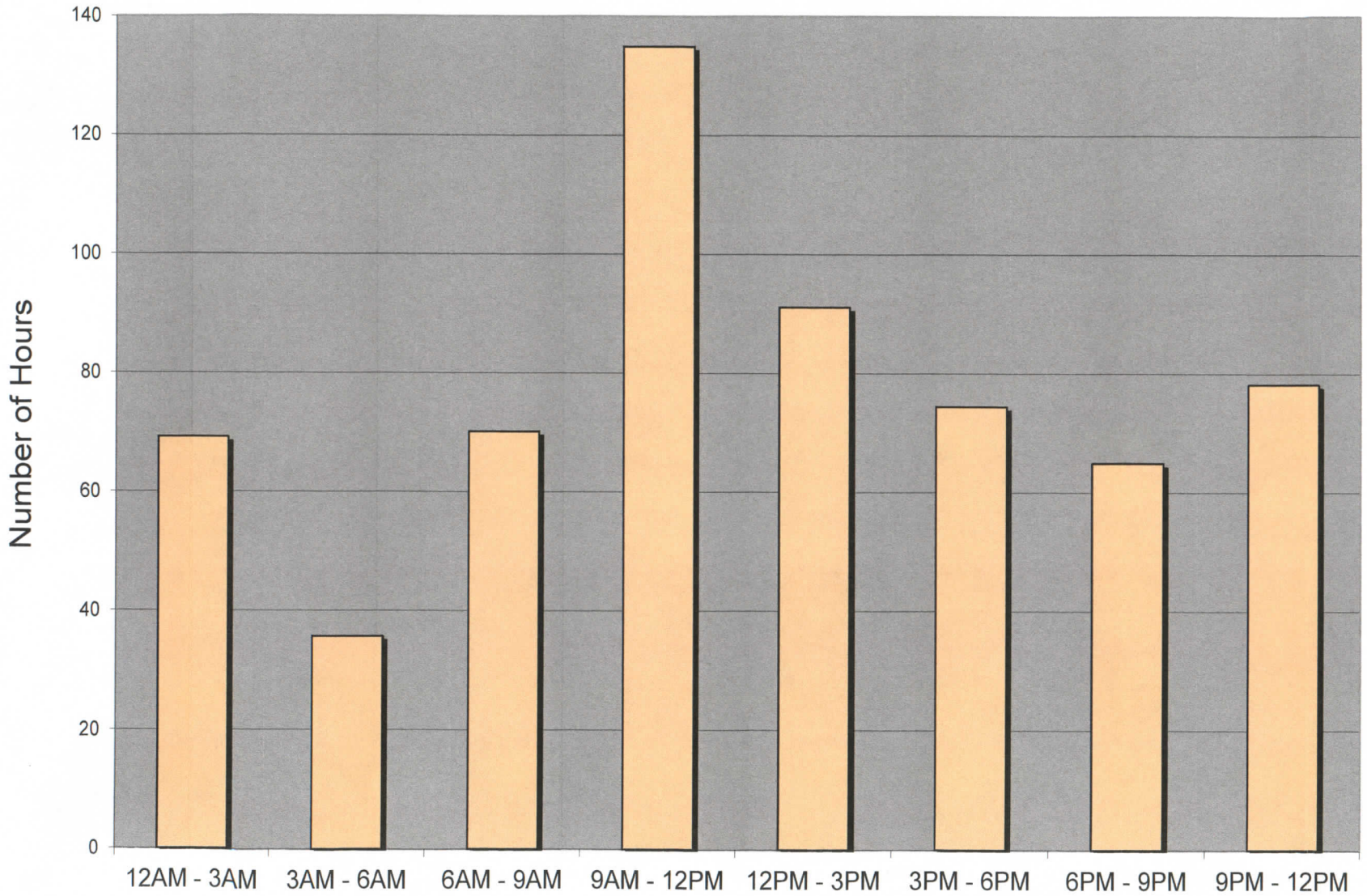


# Buffalo County Sheriff's Office Gibbon Contract Hours



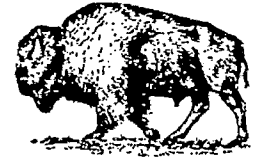
March 2021

# Buffalo County Sheriff's Office Gibbon Contract Hours



Times of Day

March 2021



BUFFALO COUNTY SHERIFF'S OFFICE  
 CONTRACT LAW ENFORCEMENT  
 CITY OF GIBBON, NEBRASKA

March 2021

CONTRACTUAL TIME TOTALS

Contractual Law Enforcement Coverage Time	465.00 Hours
Actual Law Enforcement Coverage Time	515.50 Hours
Actual Contract CSO Time	112.25 Hours
Supervisory Law Enforcement Coverage Time	<u>5.00 Hours</u>
<b>Total Law Enforcement Coverage Time</b>	<b>632.75 Hours</b>

PATROL AND ENFORCEMENT

Citations Issued	2
Warnings Issued	5
Violations Issued	2
Parking Warning	9
Accidents Investigated	0

CALLS FOR SERVICE

03-01-21	Directed Patrol	1030 Court St.
03-01-21	Parking Violation	10 Block Garfield St.
03-01-21	Parking Violation	10 Block Garfield St.
03-01-21	Directed Patrol	1030 Court St.
03-01-21	Fraud	913 Court St.
03-01-21	Harassment	413 1 <sup>st</sup> St. #114.
03-02-21	Animal – Dog	7 <sup>th</sup> St./Garfield St.
03-02-21	Dog Bite	#8 Sun Valley Trlr. Cr.
03-03-21	Directed Patrol	1030 Court St.
03-03-21	Animal – Dog	910 West Ave.
03-03-21	Mental Health Investigation	413 1 <sup>st</sup> St. #119.
03-03-21	Animal – Dog	310 West Ave.
03-04-21	Directed Patrol	700 Block Court St.

03-04-21	Abuse/Neglect Investigation	620 Court St.
03-04-21	Parking Violation	620 West Ave.
03-04-21	Disturbance	1031 Court St.
03-04-21	Medical Call	1607 7 <sup>th</sup> St
03-05-21	Medical Call	714 1 <sup>st</sup> St.
03-05-21	Directed Patrol	1030 Court St.
03-05-21	Parking Violation	411 Lawn Ave.
03-05-21	Directed Patrol	900 Block Lawn Ave.
03-05-21	Trespassing	700 Block RR Tracks.
03-06-21	Disturbance	1503 7 <sup>th</sup> St.
03-06-21	Suspicious Activity	503 West Ave.
03-07-21	Coroner's Investigation	909 West Ave.
03-08-21	Directed Patrol	1030 Court St.
03-08-21	Traffic Complaint	200 Block Gilmore St.
03-08-21	Motor Vehicle Accident	218 Hwy. 30.
03-09-21	Suspicious Activity	818 Hwy. 30.
03-09-21	Directed Patrol	1030 Court St.
03-09-21	Parking Violation	317 Court St.
03-10-21	Leaving the Scene of an Accident	Park Rd./Center St.
03-10-21	Directed Patrol	1030 Court St.
03-10-21	Motorist Assist	200 Block Court St.
03-10-21	Directed Patrol	1030 Court St.
03-10-21	Lost Property	#22 L&J Trlr. Cr.
03-10-21	Disturbance	1507 7 <sup>th</sup> St.
03-11-21	Suspicious Activity	1500 Block 4 <sup>th</sup> St.
03-11-21	Directed Patrol	1030 Court St.
03-11-21	Medical Call	218 Hwy. 30.
03-12-21	Suspicious Activity	507 Pine Ave.
03-12-21	Parking Violation	317 Court St.
03-12-21	Parking Violation	317 Court St.
03-13-21	Traffic Complaint	218 Hwy. 30.
03-13-21	Motorist Assist	1029 Court St.
03-13-21	Suspicious Activity	818 Hwy. 30.
03-13-21	Disturbance	514 May Ave.
03-15-21	Medical Call	218 Hwy. 30.
03-15-21	Traffic Complaint	1700 Block Hwy. 30.
03-16-20	Parking Violation	600 Block 3 <sup>rd</sup> St.
03-16-20	Mental Health Investigation	1115 7 <sup>th</sup> St.
03-17-20	Directed Patrol	1030 Court St.

03-17-21	Parking Violation	1214 7 <sup>th</sup> St.
03-17-21	Check Welfare	413 1 <sup>st</sup> St. #138.
03-18-21	Loud Music	718 Hwy. 30 #B.
03-18-21	Directed Patrol	1030 Court St.
03-19-21	Keys Locked in Vehicle	816 2 <sup>nd</sup> St.
03-19-21	Loud Music	718 Hwy. 30 #B.
03-20-21	Security Alarm	30 Labarre St.
03-21-21	Security Alarm	818 Hwy. 30.
03-21-21	Disturbance	712 West Ave. #6.
03-21-21	Parking Violation	918 2 <sup>nd</sup> St.
03-21-21	Harassment	413 1 <sup>st</sup> St. #114
03-21-21	Mental Health Investigation	514 May Ave.
03-22-21	Barking Dog	#4 Sun Valley Trlr. Crt.
03-22-21	Directed Patrol	1030 Court St.
03-22-21	Directed Patrol	900 Block 2 <sup>nd</sup> St.
03-22-21	Directed Patrol	1000 Block 7 <sup>th</sup> St.
03-23-21	Special Service	1601 7 <sup>th</sup> St.
03-23-21	Directed Patrol	600 Block River St.
03-23-21	Directed Patrol	1100 Block 7 <sup>th</sup> St.
03-23-21	Parking Violation	1200 Block 7 <sup>th</sup> St.
03-23-21	Outside Agency Service	818 Hwy. 30.
03-24-21	Sex Offense Investigation	210 Lawn Ave.
03-24-21	Outside Agency Service	1103 Trail Dr.
03-25-21	Outside Agency Service	210 Lawn Ave.
03-25-21	Check Welfare	218 Hwy. 30.
03-26-21	Parking Violation	600 Block May Ave.
03-26-21	Check Welfare	119 Center St.
03-28-21	Suspicious Activity	1031 Court St.
03-28-21	Trespassing / Sexual Assault	17 Filer St.
03-28-21	Suspicious Activity	24 Filer St.
03-28-21	Vandalism	17 Filer St.
03-28-21	D.U.I. Arrest	500 Block Pine Ave.
03-29-21	Check Premise	1031 Court St.
03-29-21	Medical Call	611 3 <sup>rd</sup> St.
03-29-21	Directed Patrol	1030 Court St.
03-29-21	Special Service	1021 1 <sup>st</sup> St.
03-30-21	Vandalism	103 Glenn Ave.
03-30-21	Directed Patrol	1030 Court St.
03-30-21	Civil Dispute	17 Filer St.

03-30-21	Juvenile Issues	500 Pine Ave.
03-30-21	Traffic Complaint	1700 Block Hwy. 30.
03-30-21	Suspicious Activity	413 1 <sup>st</sup> St. #114.
03-31-21	Directed Patrol	1030 Court St.
03-31-21	Parking Violation	800 Block Hershey St.
03-31-21	Medical Call	714 3 <sup>rd</sup> St.
03-31-21	Train Derailment	Rail Road Tracks

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WWTP Operating Report  
For the...  
**CITY OF GIBBON**

**April, 2021**

**Presented by: *Matt Smalleomb***

# **GIBBON WWTP**

## **MONTHLY REPORT**

### **March, 2021**

#### **LOADING SUMMARY:**

##### **Influent (Averages)**

Flow	1.199 MGD
BOD	3488 mg/l
TSS	3366 mg/l
FOG	599 mg/l
TKN (Ammonia)	225.1 mg/l
Chlorides	195 mg/l

##### **Effluent (Averages)**

CBOD	3 mg/l
TSS	8 mg/l
Ammonia	.1 mg/l
Total Nitrogen	95 mg/l
Total Phosph.	19 mg/l
Chloride	189 mg/l

##### **Plant Performance/Efficiency**

BOD Removal	99%
TSS Removal	99 %
FOG Removal	99 %
Ammonia	99%

#### **OPERATIONS:**

- 1) Had to send in hydraulic power unit for north grinder for repairs.
- 2) Non-compliance for High TSS.
- 3) Pump water off covers lagoons as well as sludge lagoons.

#### **UNSCHEDULED MAINTENANCE:**

***System Report City of Gibbon  
March 2021***

- *Read water meters*
- *Repaired water leak on scout. Replaced service from main to curb stop*
- *Repaired water leak on 1<sup>st</sup> street by fire hall.*
- *Replaced fire hydrant at River st and Beatty ave.*
- *Removed fire hydrant by Gibbon pack.*
- *Front St lift station flooded the dry pit. We pumped down and replaced 1 of the pumps. Still leaking currently.*
- *Replaced 3 water meters.*
- *Completed 8 locates.*



MONTHLY SUMMARY OF ALL FUNDS						
COMBINED CASH TRANSACTIONS & BALANCES						
FOR THE MONTH ENDING						
3/31/2021						
FUND	BALANCE	RECEIPTS	NET TRANS	EXPENSES	BALANCE	
1 GENERAL	508,533.51	110,898.58	0.00	147,306.40	472,125.69	
2 STREET	217,564.70	51,816.17	0.00	28,946.66	240,434.21	
3 SALES TAX	0.00	0.00	0.00	0.00	0.00	
4 CEMETERY	104,859.52	9,599.14	0.00	2,736.89	111,721.77	
5 POLICE	270.03	17,687.92	0.00	17,765.39	192.56	
6 POOL	20,367.64	5,683.33	0.00	583.33	25,467.64	
7 PARK	39,188.53	18,633.33	0.00	10,731.89	47,089.97	
8 FIRE	31,399.68	5,933.33	0.00	3,332.67	34,000.34	
9 LIBRARY	-1,008.41	8,616.55	0.00	7,038.09	570.05	
10 STREET LIGHTS	6,059.33	3,499.17	0.00	3,022.18	6,536.32	
12 SEWER	315,030.72	20,607.46	0.00	12,542.36	323,095.82	
13 GARBAGE	11,978.12	9,744.00	0.00	8,545.20	13,176.92	
14 WATER	157,072.09	23,780.55	0.00	20,861.68	159,990.96	
15 SP SEWER PLANT	641,981.09	253,338.50	0.00	45,716.96	849,602.63	
16 BOND & INTEREST	-1,018,454.05	16,666.67	0.00	9,478.92	-1,011,266.30	
17 RE IMPROVEMENTS	366,341.12	4,635.61	0.00	16,278.00	354,698.73	
18 GOLF COURSE	12,799.90	18,444.61	0.00	7,855.96	23,388.55	
19 TIF	4,002.44	374.79	0.00	0.00	4,377.23	
20 KENO	27,817.67	4,590.52	0.00	0.00	32,408.19	
21 FIRE/CITY HALL CONST DONATIONS FOR SPECIAL PROJECTS	0.00	0.00	0.00	0.00	0.00	
	0.00	20,000.00	0.00	0.00	20,000.00	
<b>TOTALS</b>	<b>1,445,803.63</b>	<b>604,550.23</b>	<b>0.00</b>	<b>342,742.58</b>	<b>1,707,611.28</b>	
YEAR TO DATE TOTALS						
FOR THE MONTH ENDING						
3/31/2021						
1 GENERAL	804,258.16	544,067.75	0.00	876,200.22	472,125.69	0.00
2 STREET	79,778.34	365,523.86	0.00	204,867.99	240,434.21	0.00
3 SALES TAX	0.00	0.00	0.00	0.00	0.00	0.00
4 CEMETERY	62,727.32	80,463.61	0.00	31,469.16	111,721.77	0.00
5 POLICE	0.00	106,127.52	0.00	105,934.96	192.56	0.00
6 POOL	0.00	34,099.95	0.00	8,632.31	25,467.64	0.00
7 PARK	0.00	111,799.98	0.00	64,710.01	47,089.97	0.00
8 FIRE	28,174.16	35,224.98	0.00	29,398.80	34,000.34	0.00
9 LIBRARY	0.00	51,808.18	0.00	51,238.13	570.05	0.00
10 STREET LIGHTS	5,343.22	18,997.07	0.00	17,803.97	6,536.32	0.00
12 SEWER	283,768.03	144,992.61	0.00	105,664.82	323,095.82	0.00
13 GARBAGE	11,243.71	55,848.39	0.00	53,915.18	13,176.92	0.00
14 WATER	143,810.66	152,013.73	0.00	135,833.43	159,990.96	0.00
15 SP SEWER PLANT	296,187.02	944,788.38	0.00	391,372.77	849,602.63	0.00
16 BOND & INTEREST	-394,499.23	160,866.85	0.00	777,633.92	-1,011,266.30	0.00
17 RE IMPROVEMENTS	369,622.81	27,847.21	0.00	42,771.29	354,698.73	0.00
18 GOLF COURSE	0.00	84,705.05	0.00	61,316.50	23,388.55	0.00
19 TIF	2,000.00	2,377.23	0.00	0.00	4,377.23	0.00
20 KENO	13,696.96	20,727.23	0.00	2,016.00	32,408.19	0.00
21 FIRE/CITY HALL CONST DONATIONS FOR SPECIAL PROJECTS	0.00	0.00	0.00	0.00	0.00	0.00
	0.00	20,000.00	0.00	0.00	20,000.00	0.00
<b>TOTALS</b>	<b>1,706,111.16</b>	<b>2,962,279.58</b>	<b>0.00</b>	<b>2,960,779.46</b>	<b>1,707,611.28</b>	

No assurance is provided on these financial statements

CITY OF GIBBON						
BUDGET SUMMARY						
3/31/2021						
FUND	BUDGET RECEIPTS	RECEIVED FOR MONTH	RECEIVED YTD	BALANCE REMAINING	% OF BUDGET REMAINING	
1	GENERAL	1,416,208.28	110,898.58	544,067.75	872,140.53	61.58%
2	STREET	519,674.00	51,816.17	365,523.86	154,150.14	29.66%
3	SALES TAX		0.00	0.00	0.00	
4	CEMETERY	104,900.00	9,599.14	80,463.61	24,436.39	23.29%
5	POLICE	213,300.00	17,687.92	106,127.52	107,172.48	50.24%
6	POOL	77,700.00	5,683.33	34,099.95	43,600.05	56.11%
7	PARK	224,600.00	18,633.33	111,799.98	112,800.02	50.22%
8	FIRE	75,600.00	5,933.33	35,224.98	40,375.02	53.41%
9	LIBRARY	104,400.00	8,616.55	51,808.18	52,591.82	50.38%
10	STREET LIGHTS	42,000.00	3,499.17	18,997.07	23,002.93	54.77%
12	SEWER	370,500.00	20,607.46	144,992.61	225,507.39	60.87%
13	GARBAGE	108,500.00	9,744.00	55,848.39	52,651.61	48.53%
14	WATER	272,525.00	23,780.55	152,013.73	120,511.27	44.22%
15	SP SEWER PLANT	1,553,457.00	253,338.50	944,788.38	608,668.62	39.18%
16	BOND & INTEREST	1,005,402.00	16,666.67	160,866.85	844,535.15	84.00%
17	RE IMPROVEMENTS	55,450.00	4,635.61	27,847.21	27,602.79	49.78%
18	GOLF COURSE	268,300.00	18,444.61	84,705.05	183,594.95	68.43%
19	TIF	18,692.00	374.79	2,377.23	16,314.77	87.28%
20	KENO	16,000.00	20,000.00	20,000.00	-4,000.00	-25.00%
<b>TRANSFER TOTALS</b>		<b>6,447,208.28</b>	<b>599,959.71</b>	<b>2,941,552.35</b>	<b>3,505,655.93</b>	<b>54.37%</b>
FUND	BUDGET EXPENSES	EXPENSES FOR MONTH	EXPENSES YTD	BALANCE REMAINING	% OF BUDGET REMAINING	
1	GENERAL	1,770,495.00	147,306.40	876,200.22	894,294.78	50.51%
2	STREET	479,100.00	28,946.66	204,867.99	274,232.01	57.24%
3	SALES TAX		0.00	0.00	0.00	
4	CEMETERY	89,500.00	2,736.89	31,469.16	58,030.84	64.84%
5	POLICE	213,300.00	17,765.39	105,934.96	107,365.04	50.34%
6	POOL	77,700.00	583.33	8,632.31	69,067.69	88.89%
7	PARK	224,600.00	10,731.89	64,710.01	159,889.99	71.19%
8	FIRE	75,600.00	3,332.67	29,398.80	46,201.20	61.11%
9	LIBRARY	104,400.00	7,038.09	51,238.13	53,161.87	50.92%
10	STREET LIGHTS	42,000.00	3,022.18	17,803.97	24,196.03	57.61%
12	SEWER	548,178.00	12,542.36	105,664.82	442,513.18	80.72%
13	GARBAGE	108,500.00	8,545.20	53,915.18	54,584.82	50.31%
14	WATER	394,881.00	20,861.68	135,833.43	259,047.57	65.60%
15	SP SEWER PLANT	1,787,982.00	45,716.96	391,372.77	1,396,609.23	78.11%
16	BOND & INTEREST	1,043,015.00	9,478.92	777,633.92	265,381.08	25.44%
17	RE IMPROVEMENTS	427,121.63	16,278.00	42,771.29	384,350.34	89.99%
18	GOLF COURSE	268,300.00	7,855.96	61,316.50	206,983.50	77.15%
19	TIF	14,954.00	0.00	0.00	14,954.00	100.00%
20	KENO	3,500.00	0.00	0.00	3,500.00	100.00%
<b>TRANSFER TOTAL</b>		<b>7,673,126.63</b>	<b>342,742.58</b>	<b>2,958,763.46</b>	<b>4,714,363.17</b>	<b>61.44%</b>

No assurance is provided on these financial statements

CITY OF GIBBON				
CHECKS OUTSTANDING				
		3/31/2021		
PAYEE	CK. NO.	DATE		AMOUNT
JCB	14476	4/19/2016		8.50
KMART PHARMACY	15154	11/21/2016		63.26
JARED RIGGERT	15370	1/23/2017		100.00
RYAN KENNEDY	15375	1/25/2017		13.28
JASON MARKHAM	15377	1/25/2017		41.35
TAYLOR OSTRANDER	15382	1/26/2017		100.00
MAURILIA MARTINEZ	15829	7/5/2017		29.86
PRECISION POURS, INC	15944	8/7/2017		149.00
RYAN SMITH	15949	8/7/2017		14.50
ERIKA STOLZ	16037	9/8/2017		7.54
KATHRYN LOUISE WHELAN	16640	5/1/2018		18.53
GODFREY ELECTRIC, LLC	16826	7/2/2018		3.13
THE FOUNTAIN GUYS, LTD	16840	7/2/2018		304.00
KENNETH KAST	16915	7/30/2018		20.18
KELLI PETERSON	16916	7/30/2018		69.94
DANILO LURSSSEN	17162	9/18/2018		100.00
ROLAND & MICHELE MOSEL	17171	9/18/2018		38.90
TERRY RITTERBUSH	17187	9/18/2018		100.00
JOSE L RODRIGUEZ	17193	9/18/2018		100.00
JODI WOOD	17212	9/18/2018		100.00
RACHAMIN AVITAL	17292	10/31/2018		0.67
NATIONWIDE	17716	4/15/2019		100.00
Eric Rodriguez	17746	12/31/2019		66.50
Mike Bennett	19313	12/8/2020		39.51
Sandy Hubbard	19320	12/8/2020		100.00
Jaimee Moore	19327	12/8/2020		32.51
Erin Nelson	19328	12/8/2020		39.51
Marcos Solarez	19335	12/8/2020		100.00
American Fence Company	19420/19605	1/19/2021		9,515.00
NMVCA	19480	2/2/2021		105.00
Ask Supply Co. LLC	19548	3/15/2021		231.61
Gibbon Fire Department	19570	3/15/2021		800.00
Platte Valley Lab	19588	3/15/2021		3,714.00
Buffalo Chipz	19596	3/15/2021		1,286.20
Companion Life Insurance Company	19598	3/15/2021		26.67
Nebraska Child Support	19599	3/15/2021		225.70
Nebraska Public Health Lab	19602	3/25/2021		335.00
Quadient Leasing USA, Inc.	19603	3/25/2021		158.85
Verizon Wireless	19604	3/25/2021		807.73
Nebraska Dept of Rev		3/31/2021		1,585.73
				20,652.16

No assurance is provided on these financial statements

<b>CITY OF GIBBON</b>					
<b>BANK RECONCILIATION</b>					
<b>FOR THE MONTH ENDING</b>					
					3/31/2021
CASH ON HAND		2/28/2021			1,306,682.61
RECEIPTS FOR MONTH					604,270.11
CASH TO ACCOUNT FOR					1,910,952.72
CHECK WRITTEN FOR MONTH					342,742.58
FUND BALANCE		3/31/2021			1,568,210.14
ACCOUNTS REC					-54,974.30
ACCOUNTS PAYABLE					25,782.94
CASH BALANCE		3/31/2021			1,539,018.78
<b>PROOF OF BALANCE</b>					
DEPOSITS IN TRANSIT					262,001.95
BALANCE ON STATEMENT		3/31/2021			1,297,668.99
LESS CHECKS OUTSTANDING					20,652.16
ADJ. BANK BALANCE		3/31/2021			1,539,018.78
RECONCILED BANK BALANCES					1,539,018.78
		BEG. BAL	INT MONTH	YTD INT	END. BAL.
EB CD 105692	Street	79,778.34		220.81	79,999.15
EB CD 106080	Cemetery	24,473.24		27.72	24,500.96
EB CD 8420	Cemetery	8,043.10	19.87	39.87	8,082.97
EB CD 105789	Cemetery	12,780.27	20.50	41.15	12,821.42
EB CD 106458	Cemetery	13,958.61	18.94	38.03	13,996.64
					0.00
TOTAL CD'S		139,033.56	59.31	367.58	139,401.14
TOTAL OF ALL FUNDS AVAILABLE					1,678,419.92

No assurance is provided on these financial statements



# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>GENERAL</b>									
01-1001	PROPERTY TAX	25,173.53	89,466.21	17.08 %	43,645.00	523,738.28	434,272.07	96,546.16	520,932.18
01-1002	CONSUMERS 5%	0.00	2,464.26	7.04 %	2,917.00	35,000.00	32,535.74	2,361.39	48,327.56
01-1003	BUILDING PERMIT	150.00	350.00	35.00 %	83.00	1,000.00	650.00	370.00	1,455.00
01-1004	OTHER INCOME	20,321.21	23,384.56	584.61 %	333.00	4,000.00	(19,384.56)	2,507.39	6,776.90
01-1005	INTEREST	91.26	687.48	144.73 %	40.00	475.00	(212.48)	461.67	1,027.31
01-1006	NPPD	35,276.42	228,131.90	48.03 %	39,583.00	475,000.00	246,868.10	228,994.02	456,760.92
01-1007	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
01-1009	RENT	750.00	4,450.00	49.44 %	750.00	9,000.00	4,550.00	4,500.00	9,025.00
01-1012	MOTOR VEHICLE TAX	2,404.91	18,160.40	60.53 %	2,500.00	30,000.00	11,839.60	13,473.47	24,351.61
01-1013	LOCAL SALES TAX	22,337.15	151,773.96	64.58 %	19,583.00	235,000.00	83,226.04	116,117.29	257,263.53
01-1014	PRO RATE	0.00	370.97	53.00 %	58.00	700.00	329.03	270.48	1,232.04
01-1020	SOURCE GAS FRANCHISE	0.00	3,760.70	94.02 %	333.00	4,000.00	239.30	4,185.30	4,185.30
01-1021	FINES & LICENSE	325.00	1,275.00	42.50 %	250.00	3,000.00	1,725.00	1,890.00	2,200.00
01-1022	CABLE FRANCHISE	12,798.17	12,798.17	106.65 %	1,000.00	12,000.00	(798.17)	0.00	13,234.96
01-1049	ACE REBATE	0.00	4,298.00	171.92 %	208.00	2,500.00	(1,798.00)	4,631.00	4,631.00
01-1051	MUNICIPAL EQUAL FUND	11,270.93	22,696.11	29.55 %	6,400.00	76,795.00	54,098.89	30,494.00	101,106.82
01-1054	UTILITY DEPOSITS	0.00	0.00	0.00 %	333.00	4,000.00	4,000.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>130,898.58</b>	<b>564,067.72</b>	<b>39.83 %</b>	<b>118,016.00</b>	<b>1,416,208.28</b>	<b>852,140.56</b>	<b>506,802.17</b>	<b>1,452,510.13</b>

<b>Expense</b>									
<b>GENERAL</b>									
01-2001	SALARIES	2,210.24	23,510.34	37.32 %	5,250.00	63,000.00	39,489.66	22,498.23	45,170.32
01-2002	EMPLOYEE INSURANCE	871.18	6,697.05	35.25 %	1,583.00	19,000.00	12,302.95	7,881.61	15,981.18
01-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
01-2004	SUPPLIES	372.74	1,369.84	68.49 %	167.00	2,000.00	630.16	3,178.12	4,527.44
01-2005	REPAIR & MAINTENANCE	0.00	923.91	8.03 %	958.00	11,500.00	10,576.09	519.89	967.41
01-2006	UTILITIES-ELECTRIC	64.04	359.80	23.99 %	125.00	1,500.00	1,140.20	490.43	1,048.14
01-2007	UTILITIES-SOURCE GAS	156.22	585.17	39.01 %	125.00	1,500.00	914.83	622.07	903.72
01-2008	TELEPHONE	493.34	1,915.28	47.88 %	333.00	4,000.00	2,084.72	1,824.71	3,445.51
01-2009	PROFESSIONAL	16,647.00	47,040.52	78.40 %	5,000.00	60,000.00	12,959.48	53,485.53	81,263.04
01-2010	INSURANCE	100.00	7,429.86	44.76 %	1,383.00	16,600.00	9,170.14	6,493.03	2,865.20
01-2011	PRINTING & PUBLICATION	169.81	4,413.04	73.55 %	500.00	6,000.00	1,586.96	1,628.76	4,702.69
01-2012	MISCELLANEOUS	62.75	1,986.59	39.73 %	417.00	5,000.00	3,013.41	2,339.37	2,526.82
01-2013	OFFICE SUPPLIES	0.00	2,408.64	34.41 %	583.00	7,000.00	4,591.36	2,642.99	5,093.23
01-2014	ELECTION	0.00	1,723.99	34.48 %	417.00	5,000.00	3,276.01	2,226.65	2,985.96
01-2015	CHEMICAL & INSECT	0.00	0.00	0.00 %	42.00	500.00	500.00	250.00	500.00
01-2016	MISC. SUPPLIES	0.00	358.63	28.69 %	104.00	1,250.00	891.37	0.00	0.00
01-2017	COPIER PAYMENT	174.54	1,496.63	49.89 %	250.00	3,000.00	1,503.37	1,693.28	3,300.57
01-2018	TRANSFER SCHOOL	0.00	950.00	31.67 %	250.00	3,000.00	2,050.00	1,250.00	2,050.00
01-2020	ECON. DEVELOPMENT	0.00	20,000.00	100.00 %	1,667.00	20,000.00	0.00	20,000.00	20,000.00
01-2021	LABOR & MACHINE	158.85	527.70	52.77 %	83.00	1,000.00	472.30	512.70	830.40
01-2022	TRAVEL & CONF. MILE	1,680.04	4,819.37	40.16 %	1,000.00	12,000.00	7,180.63	10,715.13	13,154.15
01-2023	OFFICE EQUIPMENT	0.00	0.00	0.00 %	417.00	5,000.00	5,000.00	0.00	0.00
01-2024	TRANSFER	123,878.75	743,272.50	50.00 %	123,879.00	1,486,545.00	743,272.50	575,096.04	1,014,564.08
01-2025	RE IMPROVEMENTS	0.00	365.67	1.83 %	1,667.00	20,000.00	19,634.33	369.91	369.91
01-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
01-2043	DUES & CONV	0.00	330.00	11.00 %	250.00	3,000.00	2,670.00	440.00	6,406.57

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Expense (Continued)</b>									
GENERAL									
01-2071	EQUIPMENT	0.00	0.00	0.00 %	417.00	5,000.00	5,000.00	0.00	0.00
01-2079	REFUNDS	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
01-2093	H CENTER TAXES	0.00	1,186.94	98.91 %	100.00	1,200.00	13.06	1,204.30	1,204.30
01-2095	CITY SHARE FICA	137.09	1,457.74	55.53 %	219.00	2,625.00	1,167.26	1,395.35	2,801.35
01-2096	CITY SHARE MEDICARE	32.04	341.02	54.13 %	52.00	630.00	288.98	326.65	655.71
01-2097	CITY SHARE IRA	62.86	441.20	42.02 %	88.00	1,050.00	608.80	499.98	1,000.22
01-2098	CITY SHARE ROTH	34.91	288.79	48.54 %	50.00	595.00	306.21	333.29	666.72
<b>TOTAL Expense</b>		<b>147,306.40</b>	<b>876,200.22</b>	<b>49.49 %</b>	<b>147,543.00</b>	<b>1,770,495.00</b>	<b>894,294.78</b>	<b>719,918.02</b>	<b>1,238,984.64</b>

PROFIT / (LOSS) :

	(16,407.82)	(312,132.50)	(29,527.00)	(354,286.72)	(42,154.22)	(213,115.85)	213,525.49
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>STREET FUND</b>									
02-1001	PROPERTY TAX	531.41	531.41	0.00 %	0.00	0.00	(531.41)	0.00	0.00
02-1004	OTHER INCOME	5,222.59	13,107.69	524.31 %	208.00	2,500.00	(10,607.69)	131.00	7,402.60
02-1005	INTEREST	19.66	35.57	14.23 %	21.00	250.00	214.43	156.77	211.09
02-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-1007	TRANSFER	23,750.00	142,500.00	50.00 %	23,750.00	285,000.00	142,500.00	12,241.02	39,101.79
02-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-1015	HIGHWAY ALLOCATION	20,527.05	120,987.51	54.52 %	18,494.00	221,924.00	100,936.49	117,838.96	215,815.75
02-1016	STREET ASSESSMENT	1,544.65	76,383.86	0.00 %	0.00	0.00	(76,383.86)	0.00	0.00
02-1018	MOTOR VEHICLE	0.00	11,757.01	117.57 %	833.00	10,000.00	(1,757.01)	7,999.41	15,880.24
02-1045	BOND PROCEEDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>51,595.36</b>	<b>365,303.05</b>	<b>70.29 %</b>	<b>43,306.00</b>	<b>519,674.00</b>	<b>154,370.95</b>	<b>138,367.16</b>	<b>278,411.47</b>
<b>Expense</b>									
<b>STREET FUND</b>									
02-2001	SALARIES	13,343.57	83,282.43	50.47 %	13,750.00	165,000.00	81,717.57	87,825.20	157,412.58
02-2002	EMPLOYEE INSURANCE	5,766.83	44,346.59	43.05 %	8,583.00	103,000.00	58,653.41	41,608.70	80,659.80
02-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-2004	SUPPLIES	682.40	4,550.20	25.28 %	1,500.00	18,000.00	13,449.80	5,543.30	12,016.21
02-2005	REPAIR & MAINTENANCE	1,011.53	12,648.07	42.16 %	2,500.00	30,000.00	17,351.93	16,599.70	38,178.29
02-2006	UTILITIES-ELECTRIC	211.82	1,267.34	31.68 %	333.00	4,000.00	2,732.66	1,254.01	2,404.53
02-2007	UTILITIES-SOURCE GAS	1,117.17	3,379.96	37.56 %	750.00	9,000.00	5,620.04	4,313.94	5,087.37
02-2008	TELEPHONE	218.69	1,767.71	88.39 %	167.00	2,000.00	232.29	1,121.24	2,206.22
02-2009	PROFESSIONAL	0.00	1,860.00	18.60 %	833.00	10,000.00	8,140.00	9,493.70	13,881.95
02-2010	INSURANCE	0.00	12,816.03	64.08 %	1,667.00	20,000.00	7,183.97	12,967.48	13,641.66
02-2012	MISCELLANEOUS	0.00	0.00	0.00 %	250.00	3,000.00	3,000.00	1,305.50	3,205.50
02-2015	CHEMICAL & INSECT	0.00	105.00	3.50 %	250.00	3,000.00	2,895.00	0.00	6,152.41
02-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
02-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	64,200.00
02-2027	GAS & OIL	1,421.89	4,892.91	48.93 %	833.00	10,000.00	5,107.09	3,479.00	6,645.69
02-2028	SNOW REMOVAL	0.00	0.00	0.00 %	0.00	0.00	0.00	3,336.69	3,336.69
02-2029	SAND & GRAVEL	2,943.73	21,450.58	429.01 %	417.00	5,000.00	(16,450.58)	14,940.94	16,050.52
02-2030	CONC & BLACK TOP	0.00	781.30	5.21 %	1,250.00	15,000.00	14,218.70	3,793.24	4,525.24
02-2031	SIGNS	0.00	257.23	0.00 %	0.00	0.00	(257.23)	9,672.60	13,188.51
02-2032	PAVEMENT MARK	0.00	274.65	13.73 %	167.00	2,000.00	1,725.35	0.00	1,939.16
02-2033	FLAGS/FLAR/BAR	668.09	668.09	19.09 %	292.00	3,500.00	2,831.91	1,046.36	1,046.36
02-2034	BOND & INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	22,500.00
02-2035	STREET IMPROVEMENTS	0.00	0.00	0.00 %	3,017.00	36,200.00	36,200.00	0.00	202.47
02-2095	CITY SHARE FICA	827.30	5,163.52	53.31 %	807.00	9,686.44	4,522.92	5,445.07	9,759.43
02-2096	CITY SHARE MEDICARE	193.51	1,207.67	40.07 %	251.00	3,013.56	1,805.89	1,273.41	2,282.40
02-2097	CITY SHARE IRA	396.83	2,561.05	53.51 %	399.00	4,786.49	2,225.44	2,554.39	4,379.47
02-2098	CITY SHARE ROTH	143.30	1,587.66	54.49 %	243.00	2,913.51	1,325.85	1,703.00	2,919.77
<b>TOTAL Expense</b>		<b>28,946.66</b>	<b>204,867.99</b>	<b>42.76 %</b>	<b>39,926.00</b>	<b>479,100.00</b>	<b>274,232.01</b>	<b>229,277.47</b>	<b>487,822.23</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
PROFIT / (LOSS) :		<b>22,648.70</b>	<b>160,435.06</b>		<b>3,380.00</b>	<b>40,574.00</b>	<b>(119,861.06)</b>	<b>(90,910.31)</b>	<b>(209,410.76)</b>
<b>Revenue</b>									
SALES TAX FUND									
03-1004	OTHER INCOME	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-1023	STATE SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Expense</b>									
SALES TAX FUND									
03-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2036	SALES TAX PD TO ST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2037	TAX RELIEF-CEM	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2049	EQUIPMENT PARK	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
03-2091	EQUIPMENT GENERAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
PROFIT / (LOSS) :		<b>0.00</b>	<b>0.00</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
CEMETERY FUND									
04-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1004	OTHER INCOME	0.00	360.00	14.40 %	208.00	2,500.00	2,140.00	230.00	510.00
04-1005	INTEREST	6.50	22.61	22.61 %	8.00	100.00	77.39	20.54	36.59
04-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1007	TRANSFER	7,233.33	43,399.98	50.00 %	7,233.00	86,800.00	43,400.02	33,900.00	54,840.00
04-1008	DONATIONS	0.00	22,746.35	274.64 %	83.00	1,000.00	(21,746.35)	500.00	1,675.00
04-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1024	GRAVE OPENING	400.00	3,250.00	65.00 %	417.00	5,000.00	1,750.00	4,150.00	8,550.00
04-1025	CEMETERY LOTS	1,600.00	8,010.00	160.20 %	417.00	5,000.00	(3,010.00)	1,600.00	8,405.00
04-1050	COLMBARIUM RECEIPTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-1055	RECLAIMED LOT SALES	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
04-1062	PERPETUAL CARE	300.00	2,400.00	68.57 %	292.00	3,500.00	1,100.00	1,650.00	4,500.00
<b>TOTAL Revenue</b>		<b>9,539.83</b>	<b>80,188.94</b>	<b>76.44 %</b>	<b>8,741.00</b>	<b>104,900.00</b>	<b>24,711.06</b>	<b>42,050.54</b>	<b>78,516.59</b>
<b>Expense</b>									
CEMETERY FUND									
04-2001	SALARIES	1,371.00	9,474.99	24.93 %	3,167.00	38,000.00	28,525.01	12,632.30	43,861.63
04-2002	EMPLOYEE INSURANCE	438.15	1,685.32	18.94 %	742.00	8,900.00	7,214.68	1,678.08	4,031.71
04-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
04-2004	SUPPLIES	588.41	1,322.07	26.44 %	417.00	5,000.00	3,677.93	1,023.05	4,920.85
04-2005	REPAIR & MAINTENANCE	0.00	164.66	3.29 %	417.00	5,000.00	4,835.34	775.35	3,321.83
04-2006	UTILITIES-ELECTRIC	40.14	634.65	70.52 %	75.00	900.00	265.35	280.73	1,056.99
04-2008	TELEPHONE	49.72	310.86	28.26 %	92.00	1,100.00	789.14	558.15	1,046.33
04-2010	INSURANCE	0.00	2,656.00	88.53 %	250.00	3,000.00	344.00	2,708.09	2,906.38
04-2012	MISCELLANEOUS	0.00	305.35	15.27 %	167.00	2,000.00	1,694.65	916.85	1,290.50
04-2026	CAPITAL OUTLAY	0.00	13,643.96	389.83 %	292.00	3,500.00	(10,143.96)	0.00	1,296.11
04-2027	GAS & OIL	76.03	307.65	6.15 %	417.00	5,000.00	4,692.35	1,205.16	2,385.76
04-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	1,000.00	12,000.00	12,000.00	0.00	12,021.30
04-2095	CITY SHARE FICA	85.01	587.45	27.74 %	176.00	2,118.00	1,530.55	783.19	2,719.42
04-2096	CITY SHARE MEDICARE	19.88	137.39	15.58 %	74.00	882.00	744.61	183.19	636.03
04-2097	CITY SHARE IRA	41.13	143.28	11.94 %	100.00	1,200.00	1,056.72	222.96	702.15
04-2098	CITY SHARE ROTH	27.42	95.53	10.61 %	75.00	900.00	804.47	148.61	468.10
<b>TOTAL Expense</b>		<b>2,736.89</b>	<b>31,469.16</b>	<b>35.16 %</b>	<b>7,461.00</b>	<b>89,500.00</b>	<b>58,030.84</b>	<b>23,115.71</b>	<b>82,665.09</b>
<b>PROFIT / (LOSS) :</b>		<b>6,802.94</b>	<b>48,719.78</b>		<b>1,280.00</b>	<b>15,400.00</b>	<b>(33,319.78)</b>	<b>18,934.83</b>	<b>(4,148.50)</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>POLICE FUND</b>									
05-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1004	OTHER INCOME	0.00	0.00	0.00 %	85.00	1,025.00	1,025.00	0.00	0.00
05-1005	INTEREST	0.00	0.00	0.00 %	2.00	20.00	20.00	0.00	0.00
05-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1007	TRANSFER	17,687.92	106,127.52	50.00 %	17,688.00	212,255.00	106,127.48	90,499.98	178,989.42
05-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>17,687.92</b>	<b>106,127.52</b>	<b>49.76 %</b>	<b>17,775.00</b>	<b>213,300.00</b>	<b>107,172.48</b>	<b>90,499.98</b>	<b>178,989.42</b>

<b>Expense</b>									
<b>POLICE FUND</b>									
05-2001	SALARIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2004	SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2005	REPAIR & MAINTENANCE	0.00	0.00	0.00 %	17.00	200.00	200.00	0.00	0.00
05-2006	UTILITIES-ELECTRIC	34.03	202.68	28.95 %	58.00	700.00	497.32	283.02	575.16
05-2007	UTILITIES-SOURCE GAS	225.97	702.29	39.02 %	150.00	1,800.00	1,097.71	702.36	851.30
05-2008	TELEPHONE	63.72	379.97	47.50 %	67.00	800.00	420.03	374.28	749.31
05-2010	INSURANCE	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	0.00
05-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2022	TRAVEL & CONF. MILE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2027	GAS & OIL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2041	DOG EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2042	CLEANING	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2043	DUES & CONV	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2044	SHERIFF ALLOWANCE	17,441.67	104,650.02	50.00 %	17,442.00	209,300.00	104,649.98	73,419.45	176,813.65
05-2090	N CASH RESERVE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2095	CITY SHARE FICA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2096	CITY SHARE MEDICARE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
05-2098	CITY SHARE ROTH	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>17,765.39</b>	<b>105,934.96</b>	<b>49.66 %</b>	<b>17,776.00</b>	<b>213,300.00</b>	<b>107,365.04</b>	<b>74,779.11</b>	<b>178,989.42</b>

PROFIT / (LOSS) :

<b>(77.47)</b>	<b>192.56</b>	<b>(1.00)</b>	<b>0.00</b>	<b>(192.56)</b>	<b>15,720.87</b>	<b>0.00</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
POOL FUND									
06-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1004	OTHER INCOME	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	100.00
06-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1007	TRANSFER	5,683.33	34,099.98	50.00 %	5,683.00	68,200.00	34,100.02	33,600.00	11,397.85
06-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1019	POOL RECEIPTS	0.00	0.00	0.00 %	750.00	9,000.00	9,000.00	75.12	75.12
06-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-1057	POOL BONDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>5,683.33</b>	<b>34,099.98</b>	<b>43.89 %</b>	<b>6,475.00</b>	<b>77,700.00</b>	<b>43,600.02</b>	<b>33,675.12</b>	<b>11,572.97</b>

<b>Expense</b>									
POOL FUND									
06-2001	SALARIES	0.00	0.00	0.00 %	3,000.00	36,000.00	36,000.00	0.00	0.00
06-2002	EMPLOYEE INSURANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2004	SUPPLIES	421.74	519.84	8.66 %	500.00	6,000.00	5,480.16	102.48	102.48
06-2005	REPAIR & MAINTENANCE	0.00	0.00	0.00 %	333.00	4,000.00	4,000.00	98.00	1,925.19
06-2006	UTILITIES-ELECTRIC	51.20	331.05	6.02 %	458.00	5,500.00	5,168.95	397.34	788.49
06-2007	UTILITIES-SOURCE GAS	33.98	170.11	34.02 %	42.00	500.00	329.89	220.00	441.93
06-2008	TELEPHONE	36.38	217.41	24.16 %	75.00	900.00	682.59	215.10	430.29
06-2010	INSURANCE	0.00	7,353.90	147.08 %	417.00	5,000.00	(2,353.90)	7,209.67	7,566.59
06-2012	MISCELLANEOUS	0.00	0.00	0.00 %	125.00	1,500.00	1,500.00	106.00	318.00
06-2024	TRANSFER	40.00	40.00	0.00 %	0.00	0.00	(40.00)	0.00	0.00
06-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	667.00	8,000.00	8,000.00	0.00	0.00
06-2045	MERCHANDISE FOR RESALE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2046	CHEMICALS	0.00	0.00	0.00 %	625.00	7,500.00	7,500.00	0.00	0.00
06-2048	POOL PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2090	N CASH RESERVE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2095	CITY SHARE FICA	0.00	0.00	0.00 %	175.00	2,100.00	2,100.00	0.00	0.00
06-2096	CITY SHARE MEDICARE	0.00	0.00	0.00 %	58.00	700.00	700.00	0.00	0.00
06-2097	CITY SHARE IRA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
06-2098	CITY SHARE ROTH	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>583.30</b>	<b>8,632.31</b>	<b>11.11 %</b>	<b>6,475.00</b>	<b>77,700.00</b>	<b>69,067.69</b>	<b>8,348.59</b>	<b>11,572.97</b>

PROFIT / (LOSS) :

	<b>5,100.03</b>	<b>25,467.67</b>		<b>0.00</b>	<b>0.00</b>	<b>(25,467.67)</b>	<b>25,326.53</b>	<b>0.00</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>PARK FUND</b>									
07-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1004	OTHER INCOME	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	475.00	534.57
07-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1007	TRANSFER	18,633.33	111,799.98	50.00 %	18,633.00	223,600.00	111,800.02	104,732.52	219,840.89
07-1008	DONATIONS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1028	REIMBURSEMENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>18,633.33</b>	<b>111,799.98</b>	<b>49.78 %</b>	<b>18,716.00</b>	<b>224,600.00</b>	<b>112,800.02</b>	<b>105,207.52</b>	<b>220,375.46</b>
<b>Expense</b>									
<b>PARK FUND</b>									
07-2001	SALARIES	3,291.32	25,396.84	30.60 %	6,917.00	83,000.00	57,603.16	20,581.93	92,961.59
07-2002	EMPLOYEE INSURANCE	3,054.45	10,830.70	32.82 %	2,750.00	33,000.00	22,169.30	8,486.00	24,765.15
07-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2004	SUPPLIES	2,166.51	4,522.84	30.15 %	1,250.00	15,000.00	10,477.16	7,579.57	17,669.46
07-2005	REPAIR & MAINTENANCE	199.40	1,367.68	6.84 %	1,667.00	20,000.00	18,632.32	2,933.21	12,192.42
07-2006	UTILITIES-ELECTRIC	500.07	3,110.37	51.84 %	500.00	6,000.00	2,889.63	3,302.90	6,674.58
07-2008	TELEPHONE	135.43	1,012.02	50.60 %	167.00	2,000.00	987.98	685.18	1,425.16
07-2010	INSURANCE	0.00	9,301.70	93.02 %	833.00	10,000.00	698.30	7,832.69	8,229.27
07-2012	MISCELLANEOUS	0.00	816.29	40.81 %	167.00	2,000.00	1,183.71	1,178.52	1,222.52
07-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2026	CAPITAL OUTLAY	0.00	914.19	3.66 %	2,083.00	25,000.00	24,085.81	2,985.71	29,010.56
07-2027	GAS & OIL	67.58	1,338.91	14.88 %	750.00	9,000.00	7,661.09	1,875.40	5,796.90
07-2049	EQUIPMENT PARK	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
07-2050	MOWING	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2051	GOLF COURSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2052	BALL DIAMOND IMPROV	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2053	PARK IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2054	HERITAGE CENTER	823.30	2,737.61	45.63 %	500.00	6,000.00	3,262.39	5,666.19	6,020.41
07-2055	COMMUNITY CENTER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2056	STUMP REMOVAL TREES	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	650.00	1,400.00
07-2057	NEW BALL PARK	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
07-2085	Heritage Center & CC Expense	107.08	186.51	0.00 %	0.00	0.00	(186.51)	229.06	2,843.99
07-2095	CITY SHARE FICA	204.05	1,574.56	29.52 %	444.00	5,333.00	3,758.44	1,280.54	5,768.12
07-2096	CITY SHARE MEDICARE	47.73	368.25	34.51 %	89.00	1,067.00	698.75	299.47	1,349.01
07-2097	CITY SHARE IRA	98.73	756.66	39.41 %	160.00	1,920.00	1,163.34	617.48	1,827.82
07-2098	CITY SHARE ROTH	36.24	474.88	37.10 %	107.00	1,280.00	805.12	411.62	1,218.50
<b>TOTAL Expense</b>		<b>10,731.89</b>	<b>64,710.01</b>	<b>28.81 %</b>	<b>18,718.00</b>	<b>224,600.00</b>	<b>159,889.99</b>	<b>66,595.47</b>	<b>220,375.46</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>PROFIT / (LOSS) :</b>		<b>7,901.44</b>	<b>47,089.97</b>		<b>(2.00)</b>	<b>0.00</b>	<b>(47,089.97)</b>	<b>38,612.05</b>	<b>0.00</b>
<b>Revenue</b>									
<b>FIRE FUND</b>									
08-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1004	OTHER INCOME	925.00	1,027.50	102.75 %	83.00	1,000.00	(27.50)	420.00	420.00
08-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1007	TRANSFER	5,008.33	30,049.98	50.00 %	5,008.00	60,100.00	30,050.02	30,025.02	60,050.04
08-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1030	RURAL FIRE DIST.	0.00	4,147.50	28.60 %	1,208.00	14,500.00	10,352.50	0.00	4,040.10
08-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1037	WARRANTS/LOAN	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1048	OCCUPATION TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>5,933.33</b>	<b>35,224.98</b>	<b>46.59 %</b>	<b>6,299.00</b>	<b>75,600.00</b>	<b>40,375.02</b>	<b>30,445.02</b>	<b>64,510.14</b>
<b>Expense</b>									
<b>FIRE FUND</b>									
08-2004	SUPPLIES	1,286.20	1,286.20	25.72 %	417.00	5,000.00	3,713.80	1,316.50	1,316.50
08-2005	REPAIR & MAINTENANCE	432.24	442.03	8.84 %	417.00	5,000.00	4,557.97	643.25	996.98
08-2006	UTILITIES-ELECTRIC	136.30	813.27	27.11 %	250.00	3,000.00	2,186.73	1,054.29	2,135.99
08-2007	UTILITIES-SOURCE GAS	677.93	2,163.03	54.08 %	333.00	4,000.00	1,836.97	2,107.12	2,553.94
08-2008	TELEPHONE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2010	INSURANCE	0.00	11,804.27	36.89 %	2,667.00	32,000.00	20,195.73	11,641.67	29,523.87
08-2012	MISCELLANEOUS	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
08-2022	TRAVEL & CONF. MILE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2026	CAPITAL OUTLAY	0.00	8,090.00	53.93 %	1,250.00	15,000.00	6,910.00	0.00	0.00
08-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2058	ALLOWANCE	800.00	4,800.00	50.00 %	800.00	9,600.00	4,800.00	4,800.00	9,600.00
08-2095	CITY SHARE FICA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
08-2096	CITY SHARE MEDICARE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>3,332.67</b>	<b>29,398.80</b>	<b>38.89 %</b>	<b>6,301.00</b>	<b>75,600.00</b>	<b>46,201.20</b>	<b>21,562.83</b>	<b>46,127.28</b>
<b>PROFIT / (LOSS) :</b>		<b>2,600.66</b>	<b>5,826.18</b>		<b>(2.00)</b>	<b>0.00</b>	<b>(5,826.18)</b>	<b>8,882.19</b>	<b>18,382.86</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
LIBRARY FUND									
09-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1004	OTHER INCOME	33.28	385.57	77.11 %	42.00	500.00	114.43	385.11	562.79
09-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1007	TRANSFER	8,566.67	51,400.02	50.00 %	8,567.00	102,800.00	51,399.98	49,107.48	93,722.50
09-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1031	LIBRARY FEES	16.60	16.60	1.66 %	83.00	1,000.00	983.40	221.54	293.19
09-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-1056	LOST BOOK	0.00	5.99	5.99 %	8.00	100.00	94.01	2.99	2.99
<b>TOTAL Revenue</b>		<b>8,616.55</b>	<b>51,808.18</b>	<b>49.62 %</b>	<b>8,700.00</b>	<b>104,400.00</b>	<b>52,591.82</b>	<b>49,717.12</b>	<b>94,581.47</b>
<b>Expense</b>									
LIBRARY FUND									
09-2001	SALARIES	4,540.60	29,437.91	50.32 %	4,875.00	58,500.00	29,062.09	26,725.96	52,887.03
09-2002	EMPLOYEE INSURANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2004	SUPPLIES	28.60	1,950.02	55.71 %	292.00	3,500.00	1,549.98	1,919.63	3,331.77
09-2005	REPAIR & MAINTENANCE	100.05	2,056.55	51.41 %	333.00	4,000.00	1,943.45	2,063.52	4,219.98
09-2006	UTILITIES-ELECTRIC	1,206.95	3,416.99	41.67 %	683.00	8,200.00	4,783.01	3,555.51	6,288.35
09-2010	INSURANCE	0.00	3,601.91	72.04 %	417.00	5,000.00	1,398.09	3,450.90	3,609.53
09-2012	MISCELLANEOUS	92.08	369.19	24.61 %	125.00	1,500.00	1,130.81	638.52	1,358.35
09-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2026	CAPITAL OUTLAY	0.00	1,031.13	51.56 %	167.00	2,000.00	968.87	0.00	1,996.49
09-2038	FUTURE CAPITAL	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	2,100.00
09-2060	UPKEEP	10.99	154.65	9.10 %	142.00	1,700.00	1,545.35	244.59	1,188.60
09-2061	BOOKS	574.14	5,007.21	47.69 %	875.00	10,500.00	5,492.79	4,194.78	10,074.38
09-2062	MAGAZINES	137.32	1,960.58	43.57 %	375.00	4,500.00	2,539.42	1,924.75	3,481.20
09-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2090	N CASH RESERVE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2095	CITY SHARE FICA	281.52	1,825.15	49.77 %	306.00	3,667.00	1,841.85	1,657.01	3,278.99
09-2096	CITY SHARE MEDICARE	65.84	426.84	32.02 %	111.00	1,333.00	906.16	387.50	766.80
09-2097	CITY SHARE IRA	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
09-2098	CITY SHARE ROTH	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>7,038.09</b>	<b>51,238.13</b>	<b>49.08 %</b>	<b>8,701.00</b>	<b>104,400.00</b>	<b>53,161.87</b>	<b>46,762.67</b>	<b>94,581.47</b>
<b>PROFIT / (LOSS) :</b>		<b>1,578.46</b>	<b>570.05</b>		<b>(1.00)</b>	<b>0.00</b>	<b>(570.05)</b>	<b>2,954.45</b>	<b>0.00</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
STREET LIGHTS									
10-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.29
10-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
10-1004	OTHER INCOME	0.00	(1,997.95)	0.00 %	0.00	0.00	1,997.95	0.00	0.00
10-1005	INTEREST	0.00	0.00	0.00 %	1.00	10.00	10.00	0.00	0.00
10-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
10-1007	TRANSFER	3,499.17	20,995.02	50.00 %	3,499.00	41,990.00	20,994.98	20,995.02	41,162.48
10-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>3,499.17</b>	<b>18,997.07</b>	<b>45.23 %</b>	<b>3,500.00</b>	<b>42,000.00</b>	<b>23,002.93</b>	<b>20,995.02</b>	<b>41,162.77</b>
<b>Expense</b>									
STREET LIGHTS									
10-2006	UTILITIES-ELECTRIC	3,022.18	17,748.65	44.37 %	3,333.00	40,000.00	22,251.35	17,378.24	35,037.93
10-2012	MISCELLANEOUS	0.00	55.32	2.77 %	167.00	2,000.00	1,944.68	582.81	582.81
10-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>3,022.18</b>	<b>17,803.97</b>	<b>42.39 %</b>	<b>3,500.00</b>	<b>42,000.00</b>	<b>24,196.03</b>	<b>17,961.05</b>	<b>35,620.74</b>
<b>PROFIT / (LOSS) :</b>		<b>476.99</b>	<b>1,193.10</b>		<b>0.00</b>	<b>0.00</b>	<b>(1,193.10)</b>	<b>3,033.97</b>	<b>5,542.03</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
HEALTH CENTER									
11-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-1007	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-1009	RENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Expense</b>									
HEALTH CENTER									
11-2004	SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2005	REPAIR & MAINTENANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2007	UTILITIES-SOURCE GAS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2010	INSURANCE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
11-2093	H CENTER TAXES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>PROFIT / (LOSS) :</b>		<b>0.00</b>	<b>0.00</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>SEWER FUND</b>									
12-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-1004	OTHER INCOME	0.00	10,530.99	0.00 %	0.00	0.00	(10,530.99)	1,500.00	1,500.00
12-1005	INTEREST	44.96	272.45	54.49 %	42.00	500.00	227.55	362.35	783.36
12-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-1007	TRANSFER	0.00	10,416.67	8.33 %	10,417.00	125,000.00	114,583.33	0.00	124,769.90
12-1032	COLLECTIONS	20,247.50	121,710.00	50.71 %	20,000.00	240,000.00	118,290.00	120,478.00	241,638.50
12-1052	LATE FEES & RECONNECT	315.00	2,062.50	41.25 %	417.00	5,000.00	2,937.50	2,340.00	4,447.50
12-1054	UTILITY DEPOSITS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>20,607.46</b>	<b>144,992.61</b>	<b>39.13 %</b>	<b>30,876.00</b>	<b>370,500.00</b>	<b>225,507.39</b>	<b>124,680.35</b>	<b>373,139.26</b>
<b>Expense</b>									
<b>SEWER FUND</b>									
12-2001	SALARIES	5,093.98	35,658.24	47.54 %	6,250.00	75,000.00	39,341.76	33,903.11	67,671.13
12-2002	EMPLOYEE INSURANCE	2,172.06	14,556.36	39.34 %	3,083.00	37,000.00	22,443.64	14,750.26	30,609.29
12-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-2004	SUPPLIES	790.35	912.98	91.30 %	83.00	1,000.00	87.02	1,417.16	1,732.25
12-2005	REPAIR & MAINTENANCE	0.00	5,105.60	34.04 %	1,250.00	15,000.00	9,894.40	31,252.58	38,135.29
12-2006	UTILITIES-ELECTRIC	1,054.32	3,866.55	48.33 %	667.00	8,000.00	4,133.45	4,132.02	8,560.00
12-2007	UTILITIES-SOURCE GAS	110.57	311.83	41.58 %	62.00	750.00	438.17	450.03	549.75
12-2008	TELEPHONE	80.05	400.36	0.00 %	0.00	0.00	(400.36)	272.07	677.15
12-2009	PROFESSIONAL	0.00	1,568.00	0.00 %	0.00	0.00	(1,568.00)	9,433.70	13,802.67
12-2010	INSURANCE	0.00	3,067.50	153.38 %	167.00	2,000.00	(1,067.50)	3,086.87	3,245.50
12-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
12-2015	CHEMICAL & INSECT	0.00	0.00	0.00 %	33.00	400.00	400.00	0.00	0.00
12-2024	TRANSFER	0.00	26,943.75	21.85 %	10,277.00	123,325.00	96,381.25	0.00	0.00
12-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	984.00	11,803.00	11,803.00	0.00	0.00
12-2026	CAPITAL OUTLAY	0.00	5,502.00	14.11 %	3,250.00	39,000.00	33,498.00	5,777.38	120,629.42
12-2027	GAS & OIL	73.21	786.46	78.65 %	83.00	1,000.00	213.54	764.08	1,242.72
12-2046	CHEMICALS	0.00	0.00	0.00 %	125.00	1,500.00	1,500.00	0.00	0.00
12-2063	CLEAN SEWER/CULVERTS	2,432.00	2,432.00	24.32 %	833.00	10,000.00	7,568.00	0.00	10,530.40
12-2064	SEWER LINES	0.00	0.00	0.00 %	0.00	0.00	0.00	20,695.80	20,695.80
12-2065	ENGINEERING	134.97	134.97	1.12 %	1,000.00	12,000.00	11,865.03	13,345.03	16,069.36
12-2066	LIFT STATION	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
12-2067	B & 1940 PAYMENT	0.00	0.00	0.00 %	16,667.00	200,000.00	200,000.00	0.00	200,000.00
12-2095	CITY SHARE FICA	315.83	2,210.85	49.13 %	375.00	4,500.00	2,289.15	2,101.89	4,195.40
12-2096	CITY SHARE MEDICARE	73.87	516.99	44.96 %	96.00	1,150.00	633.01	491.52	981.08
12-2097	CITY SHARE IRA	149.36	1,035.96	46.04 %	188.00	2,250.00	1,214.04	1,017.14	2,030.21
12-2098	CITY SHARE ROTH	61.79	654.42	43.63 %	125.00	1,500.00	845.58	678.08	1,353.44
<b>TOTAL Expense</b>		<b>12,542.36</b>	<b>105,664.82</b>	<b>19.28 %</b>	<b>45,681.00</b>	<b>548,178.00</b>	<b>442,513.18</b>	<b>143,568.72</b>	<b>542,710.86</b>
<b>PROFIT / (LOSS) :</b>		<b>8,065.10</b>	<b>39,327.79</b>		<b>(14,805.00)</b>	<b>(177,678.00)</b>	<b>(217,005.79)</b>	<b>(18,888.37)</b>	<b>(169,571.60)</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
GARBAGE FUND									
13-1005	INTEREST	0.00	2.39	0.00 %	0.00	0.00	(2.39)	0.00	0.00
13-1007	TRANSFER	625.00	3,750.00	50.00 %	625.00	7,500.00	3,750.00	3,745.02	7,490.04
13-1033	RECEIPTS	8,594.00	51,396.00	51.40 %	8,333.00	100,000.00	48,604.00	51,226.61	104,263.86
13-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
13-1035	LANDFILL/GRASS	525.00	700.00	70.00 %	83.00	1,000.00	300.00	1,908.40	3,058.40
<b>TOTAL Revenue</b>		<b>9,744.00</b>	<b>55,848.39</b>	<b>51.47 %</b>	<b>9,041.00</b>	<b>108,500.00</b>	<b>52,651.61</b>	<b>56,880.03</b>	<b>114,812.30</b>
<b>Expense</b>									
GARBAGE FUND									
13-2010	INSURANCE	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	0.00
13-2068	GARBAGE SERVICE	8,545.20	51,397.60	51.40 %	8,333.00	100,000.00	48,602.40	49,619.15	100,041.15
13-2069	LANDFILL	0.00	2,517.58	31.47 %	667.00	8,000.00	5,482.42	1,619.46	4,085.44
13-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>8,545.20</b>	<b>53,915.18</b>	<b>49.69 %</b>	<b>9,042.00</b>	<b>108,500.00</b>	<b>54,584.82</b>	<b>51,238.61</b>	<b>104,126.59</b>
<b>PROFIT / (LOSS) :</b>		<b>1,198.80</b>	<b>1,933.21</b>		<b>(1.00)</b>	<b>0.00</b>	<b>(1,933.21)</b>	<b>5,641.42</b>	<b>10,685.71</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>WATER FUND</b>									
14-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1004	OTHER INCOME	0.00	4,687.20	234.36 %	167.00	2,000.00	(2,687.20)	250.00	5,994.43
14-1005	INTEREST	22.42	135.16	49.15 %	23.00	275.00	139.84	170.63	303.85
14-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1007	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1032	COLLECTIONS	23,473.13	145,063.90	54.74 %	22,083.00	265,000.00	119,936.10	134,220.68	314,491.68
14-1037	WARRANTS/LOAN	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-1038	HOOKUPS/TAPPING	0.00	0.00	0.00 %	21.00	250.00	250.00	0.00	2,994.44
14-1052	LATE FEES & RECONNECT	285.00	2,127.50	42.55 %	417.00	5,000.00	2,872.50	2,370.00	4,637.98
14-1054	UTILITY DEPOSITS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>23,780.55</b>	<b>152,013.76</b>	<b>55.78 %</b>	<b>22,711.00</b>	<b>272,525.00</b>	<b>120,511.24</b>	<b>137,011.31</b>	<b>328,422.38</b>
<b>Expense</b>									
<b>WATER FUND</b>									
14-2001	SALARIES	5,812.98	40,628.80	50.79 %	6,667.00	80,000.00	39,371.20	38,399.58	76,527.60
14-2002	EMPLOYEE INSURANCE	2,703.87	17,768.01	39.48 %	3,750.00	45,000.00	27,231.99	17,722.91	36,776.76
14-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2004	SUPPLIES	313.11	12,044.12	34.41 %	2,917.00	35,000.00	22,955.88	24,240.68	50,187.59
14-2005	REPAIR & MAINTENANCE	7,102.01	11,738.06	23.48 %	4,167.00	50,000.00	38,261.94	4,362.92	30,000.97
14-2006	UTILITIES-ELECTRIC	2,665.98	11,884.72	45.71 %	2,167.00	26,000.00	14,115.28	9,369.57	27,180.57
14-2007	UTILITIES-SOURCE GAS	55.12	281.70	14.08 %	167.00	2,000.00	1,718.30	410.62	775.58
14-2008	TELEPHONE	96.09	496.60	99.32 %	42.00	500.00	3.40	469.88	971.19
14-2009	PROFESSIONAL	0.00	1,728.00	57.60 %	250.00	3,000.00	1,272.00	10,933.64	15,472.89
14-2010	INSURANCE	0.00	9,796.32	115.25 %	708.00	8,500.00	(1,296.32)	9,952.26	10,467.81
14-2012	MISCELLANEOUS	260.32	107.70	10.77 %	83.00	1,000.00	892.30	371.24	623.52
14-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	42.00	500.00	500.00	0.00	35.90
14-2024	TRANSFER	0.00	2,193.33	8.33 %	2,193.00	26,320.00	24,126.67	0.00	26,320.00
14-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2026	CAPITAL OUTLAY	0.00	15,303.20	30.61 %	4,167.00	50,000.00	34,696.80	133,674.54	137,327.88
14-2027	GAS & OIL	73.21	786.44	157.29 %	42.00	500.00	(286.44)	644.89	1,375.29
14-2065	ENGINEERING	539.88	2,628.20	26.28 %	833.00	10,000.00	7,371.80	13,840.01	24,577.35
14-2071	EQUIPMENT	0.00	1,949.94	39.00 %	417.00	5,000.00	3,050.06	0.00	0.00
14-2072	TESTS & CHLORINE	556.74	1,442.87	24.05 %	500.00	6,000.00	4,557.13	735.96	2,075.27
14-2073	REFUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	100.00
14-2074	WATER LINES	0.00	0.00	0.00 %	1,697.00	20,361.00	20,361.00	0.00	118.38
14-2075	WELLS	0.00	0.00	0.00 %	1,250.00	15,000.00	15,000.00	0.00	0.00
14-2076	PEOPLE SERVICE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2079	REFUNDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
14-2095	CITY SHARE FICA	360.40	2,519.00	54.68 %	384.00	4,607.00	2,088.00	2,380.67	4,744.52
14-2096	CITY SHARE MEDICARE	84.27	588.99	36.97 %	133.00	1,593.00	1,004.01	556.69	1,109.44
14-2097	CITY SHARE IRA	170.93	1,195.82	48.71 %	205.00	2,455.00	1,259.18	1,152.06	2,295.97
14-2098	CITY SHARE ROTH	66.77	751.61	48.65 %	129.00	1,545.00	793.39	767.95	1,530.44
<b>TOTAL Expense</b>		<b>20,861.68</b>	<b>135,833.43</b>	<b>34.40 %</b>	<b>32,910.00</b>	<b>394,881.00</b>	<b>259,047.57</b>	<b>269,986.07</b>	<b>450,594.92</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
PROFIT / (LOSS) :		2,918.87	16,180.33		(10,199.00)	(122,356.00)	(138,536.33)	(132,974.76)	(122,172.54)

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
SPECIAL SEWER									
15-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-1004	OTHER INCOME	0.00	616.00	41.07 %	125.00	1,500.00	884.00	34,675.33	35,275.33
15-1005	INTEREST	91.62	474.91	86.35 %	46.00	550.00	75.09	326.69	707.04
15-1007	TRANSFER	0.00	10,277.08	0.00 %	0.00	0.00	(10,277.08)	0.00	0.00
15-1026	INT & PRIN INDUSTRIES	77,962.00	272,866.45	59.57 %	38,174.00	458,082.00	185,215.55	272,866.23	467,770.68
15-1028	REIMBURSEMENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-1032	COLLECTIONS	0.00	0.00	0.00 %	10,277.00	123,325.00	123,325.00	0.00	0.00
15-1039	COLLECTIONS-AM FOODS	151,042.00	513,197.00	60.38 %	70,833.00	850,000.00	336,803.00	530,020.20	892,175.20
15-1040	COLLECTIONS--DARLING	24,242.88	147,356.94	122.80 %	10,000.00	120,000.00	(27,356.94)	95,647.29	198,869.87
<b>TOTAL Revenue</b>		<b>253,338.50</b>	<b>944,788.38</b>	<b>60.82 %</b>	<b>129,455.00</b>	<b>1,553,457.00</b>	<b>608,668.62</b>	<b>933,535.74</b>	<b>1,594,798.12</b>

<b>Expense</b>									
SPECIAL SEWER									
15-2001	SALARIES	7,977.68	54,076.56	51.50 %	8,750.00	105,000.00	50,923.44	51,144.20	102,007.43
15-2002	EMPLOYEE INSURANCE	3,473.40	22,416.18	40.03 %	4,667.00	56,000.00	33,583.82	21,996.23	45,680.31
15-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2004	SUPPLIES	796.44	3,984.69	13.28 %	2,500.00	30,000.00	26,015.31	25,516.84	37,352.18
15-2005	REPAIR & MAINTENANCE	279.58	21,168.81	10.58 %	16,667.00	200,000.00	178,831.19	113,079.04	168,760.80
15-2006	UTILITIES-ELECTRIC	23,554.88	151,701.17	40.45 %	31,250.00	375,000.00	223,298.83	125,593.03	279,842.36
15-2007	UTILITIES-SOURCE GAS	481.25	1,389.21	46.31 %	250.00	3,000.00	1,610.79	1,658.88	2,161.44
15-2008	TELEPHONE	345.07	1,930.43	42.90 %	375.00	4,500.00	2,569.57	1,871.63	3,849.37
15-2009	PROFESSIONAL	0.00	3,139.48	156.97 %	167.00	2,000.00	(1,139.48)	9,253.70	17,703.39
15-2010	INSURANCE	0.00	19,724.01	151.72 %	1,083.00	13,000.00	(6,724.01)	19,906.62	20,937.72
15-2012	MISCELLANEOUS	0.00	0.00	0.00 %	167.00	2,000.00	2,000.00	0.00	0.00
15-2024	TRANSFER	0.00	52,423.50	8.33 %	52,424.00	629,082.00	576,658.50	0.00	629,082.00
15-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2026	CAPITAL OUTLAY	0.00	5,502.00	2.20 %	20,833.00	250,000.00	244,498.00	275,231.55	292,968.38
15-2027	GAS & OIL	344.65	1,057.93	21.16 %	417.00	5,000.00	3,942.07	628.41	1,242.98
15-2065	ENGINEERING	3,815.23	10,882.34	27.21 %	3,333.00	40,000.00	29,117.66	21,591.40	25,712.79
15-2076	PEOPLE SERVICE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2077	TESTS	3,714.00	35,189.00	87.97 %	3,333.00	40,000.00	4,811.00	33,920.95	72,700.95
15-2078	LAGOON CLEANING	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	0.00
15-2080	FUTURE CO RESER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
15-2095	CITY SHARE FICA	494.58	3,352.61	49.27 %	567.00	6,804.00	3,451.39	3,170.85	6,324.34
15-2096	CITY SHARE MEDICARE	115.66	784.10	60.50 %	108.00	1,296.00	511.90	741.47	1,478.93
15-2097	CITY SHARE IRA	235.86	1,630.68	61.54 %	221.00	2,650.00	1,019.32	1,534.25	3,060.04
15-2098	CITY SHARE ROTH	88.68	1,020.07	38.49 %	221.00	2,650.00	1,629.93	1,022.88	2,040.20
<b>TOTAL Expense</b>		<b>45,716.96</b>	<b>391,372.77</b>	<b>21.89 %</b>	<b>149,000.00</b>	<b>1,787,982.00</b>	<b>1,396,609.23</b>	<b>707,861.93</b>	<b>1,712,905.61</b>

<b>PROFIT / (LOSS) :</b>	<b>207,621.54</b>	<b>553,415.61</b>	<b>(19,545.00)</b>	<b>(234,525.00)</b>	<b>(787,940.61)</b>	<b>225,673.81</b>	<b>(118,107.49)</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
<b>BOND &amp; INTEREST</b>									
16-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1004	OTHER INCOME	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1007	TRANSFER	16,666.67	160,866.85	17.29 %	77,534.00	930,402.00	769,535.15	100,000.02	930,402.04
16-1012	MOTOR VEHICLE TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1041	PAVING ASSESSMENT	0.00	0.00	0.00 %	6,250.00	75,000.00	75,000.00	46,122.32	48,524.30
16-1043	SEWER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1044	STREET PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1045	BOND PROCEEDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1046	LOAN PAYMENTS CITY	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	22,500.00
16-1047	TRANSFER INDUSTRIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-1057	POOL BONDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>16,666.67</b>	<b>160,866.85</b>	<b>16.00 %</b>	<b>83,784.00</b>	<b>1,005,402.00</b>	<b>844,535.15</b>	<b>146,122.34</b>	<b>1,001,426.34</b>
<b>Expense</b>									
<b>BOND &amp; INTEREST</b>									
16-2079	REFUNDS	9,478.92	9,478.92	0.00 %	0.00	0.00	(9,478.92)	0.00	1,516.38
16-2081	BOND INTEREST	0.00	767,155.00	73.66 %	86,793.00	1,041,515.00	274,360.00	725,269.17	938,005.44
16-2087	WATER PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-2088	OTHER COSTS-AMERITUS	0.00	1,000.00	66.67 %	125.00	1,500.00	500.00	800.00	3,850.00
16-2089	FUTURE BONDS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-2092	POOL PROJECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
16-2094	SRF LOAN	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>9,478.92</b>	<b>777,633.92</b>	<b>74.56 %</b>	<b>86,918.00</b>	<b>1,043,015.00</b>	<b>265,381.08</b>	<b>726,069.17</b>	<b>943,371.82</b>
<b>PROFIT / (LOSS) :</b>		<b>7,187.75</b>	<b>(616,767.07)</b>		<b>(3,134.00)</b>	<b>(37,613.00)</b>	<b>579,154.07</b>	<b>(579,946.83)</b>	<b>58,054.52</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
RE IMPROVEMENT FUND									
17-1005	INTEREST	52.28	347.23	77.16 %	38.00	450.00	102.77	273.18	638.15
17-1007	TRANSFER	4,583.33	27,499.98	50.00 %	4,583.00	55,000.00	27,500.02	27,499.98	54,999.96
17-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
17-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
17-1034	STATE GRANT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	3,750.00
17-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Revenue</b>		<b>4,635.61</b>	<b>27,847.21</b>	<b>50.22 %</b>	<b>4,621.00</b>	<b>55,450.00</b>	<b>27,602.79</b>	<b>27,773.16</b>	<b>59,388.11</b>
<b>Expense</b>									
RE IMPROVEMENT FUND									
17-2009	PROFESSIONAL	0.00	0.00	0.00 %	0.00	0.00	0.00	(1,000.00)	(1,000.00)
17-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
17-2025	RE IMPROVEMENTS	16,278.00	42,771.29	16.96 %	21,010.00	252,121.63	209,350.34	1,061.13	13,978.48
17-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	14,583.00	175,000.00	175,000.00	0.00	2,908.45
17-2070	GRANT EXPENSE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
<b>TOTAL Expense</b>		<b>16,278.00</b>	<b>42,771.29</b>	<b>10.01 %</b>	<b>35,593.00</b>	<b>427,121.63</b>	<b>384,350.34</b>	<b>61.13</b>	<b>15,886.93</b>
<b>PROFIT / (LOSS) :</b>		<b>(11,642.39)</b>	<b>(14,924.08)</b>		<b>(30,972.00)</b>	<b>(371,671.63)</b>	<b>(356,747.55)</b>	<b>27,712.03</b>	<b>43,501.18</b>

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
Golf Course									
18-1001	PROPERTY TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1002	CONSUMERS 5%	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1004	OTHER INCOME	4,267.04	6,263.30	41.76 %	1,250.00	15,000.00	8,736.70	2,813.80	46,797.42
18-1005	INTEREST	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1006	NPPD	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1007	TRANSFER	11,941.67	71,650.02	50.00 %	11,942.00	143,300.00	71,649.98	68,749.98	53,199.17
18-1008	DONATIONS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1009	RENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1010	STATE AID	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1013	LOCAL SALES TAX	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1014	PRO RATE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1017	STREET ASSESSMENT PRICIPAL	0.00	13.75	0.00 %	0.00	0.00	(13.75)	0.00	227.71
18-1032	COLLECTIONS	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	0.00
18-1051	MUNICIPAL EQUAL FUND	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1052	LATE FEES & RECONNECT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-1058	Golf Liquor	0.00	901.47	2.25 %	3,333.00	40,000.00	39,098.53	552.36	39,411.78
18-1059	Golf Food	0.00	120.38	1.20 %	833.00	10,000.00	9,879.62	68.91	9,931.26
18-1060	Golf Green Fee	0.00	1,958.29	9.79 %	1,667.00	20,000.00	18,041.71	862.57	40,241.50
18-1061	Golf Cart Fee	2,235.90	3,797.84	18.99 %	1,667.00	20,000.00	16,202.16	1,119.25	30,291.91
<b>TOTAL Revenue</b>		<b>18,444.61</b>	<b>84,705.05</b>	<b>31.57 %</b>	<b>22,359.00</b>	<b>268,300.00</b>	<b>183,594.95</b>	<b>74,166.87</b>	<b>220,100.75</b>

<b>Expense</b>									
Golf Course									
18-2001	SALARIES	4,074.42	30,700.89	30.70 %	8,333.00	100,000.00	69,299.11	29,470.34	82,933.96
18-2002	EMPLOYEE INSURANCE	1,586.46	9,557.47	29.87 %	2,667.00	32,000.00	22,442.53	12,737.13	24,516.65
18-2003	EMPLOYEE IRS SIMPLE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2004	SUPPLIES	0.00	841.03	2.80 %	2,500.00	30,000.00	29,158.97	2,237.65	6,508.01
18-2005	REPAIR & MAINTENANCE	0.00	3,675.39	30.63 %	1,000.00	12,000.00	8,324.61	2,487.32	13,794.47
18-2006	UTILITIES-ELECTRIC	946.47	5,655.17	51.41 %	917.00	11,000.00	5,344.83	4,961.98	10,585.25
18-2007	UTILITIES-SOURCE GAS	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
18-2008	TELEPHONE	106.34	636.69	53.06 %	100.00	1,200.00	563.31	633.09	1,271.17
18-2009	PROFESSIONAL	0.00	0.00	0.00 %	42.00	500.00	500.00	45.00	45.00
18-2010	INSURANCE	296.00	5,000.50	125.01 %	333.00	4,000.00	(1,000.50)	5,153.96	6,186.91
18-2011	PRINTING & PUBLICATION	0.00	12.05	1.20 %	83.00	1,000.00	987.95	12.05	170.05
18-2012	MISCELLANEOUS	0.00	600.00	7.06 %	708.00	8,500.00	7,900.00	2,001.13	22,045.13
18-2013	OFFICE SUPPLIES	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	123.25
18-2015	CHEMICAL & INSECT	0.00	0.00	0.00 %	708.00	8,500.00	8,500.00	167.92	8,800.43
18-2016	MISC. SUPPLIES	39.00	389.39	0.00 %	0.00	0.00	(389.39)	332.95	811.17
18-2021	LABOR & MACHINE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2022	TRAVEL & CONF. MILE	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2023	OFFICE EQUIPMENT	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2024	TRANSFER	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2025	RE IMPROVEMENTS	0.00	0.00	0.00 %	0.00	0.00	0.00	0.00	0.00
18-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	1,667.00	20,000.00	20,000.00	0.00	8,558.50
18-2027	GAS & OIL	0.00	7.65	0.15 %	417.00	5,000.00	4,992.35	687.60	2,764.59
18-2045	MERCHANDISE FOR RESALE	0.00	0.00	0.00 %	83.00	1,000.00	1,000.00	0.00	0.00
18-2083	Liquor Purchased	291.85	472.69	2.36 %	1,667.00	20,000.00	19,527.31	(103.64)	15,868.23

# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Expense (Continued)</b>									
Golf Course									
18-2084	FOOD PURCHASE	0.00	95.26	4.76 %	167.00	2,000.00	1,904.74	0.00	6,138.39
18-2095	CITY SHARE FICA	252.62	1,903.49	32.82 %	483.00	5,800.00	3,896.51	1,827.18	5,142.00
18-2096	CITY SHARE MEDICARE	59.08	445.16	23.43 %	158.00	1,900.00	1,454.84	427.28	1,202.49
18-2097	CITY SHARE IRA	122.24	794.25	46.26 %	143.00	1,717.00	922.75	790.53	1,581.06
18-2098	CITY SHARE ROTH	81.48	529.42	44.75 %	99.00	1,183.00	653.58	527.02	1,054.04
<b>TOTAL Expense</b>		<b>7,855.96</b>	<b>61,316.50</b>	<b>22.85 %</b>	<b>22,358.00</b>	<b>268,300.00</b>	<b>206,983.50</b>	<b>64,396.49</b>	<b>220,100.75</b>

<b>PROFIT / (LOSS) :</b>	<b>10,588.65</b>	<b>23,388.55</b>		<b>1.00</b>	<b>0.00</b>	<b>(23,388.55)</b>	<b>9,770.38</b>	<b>0.00</b>
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<b>Revenue</b>									
TIF									
19-1001	PROPERTY TAX	374.22	374.22	0.00 %	0.00	0.00	(374.22)	0.00	0.00
19-1005	INTEREST	0.57	3.01	0.00 %	0.00	0.00	(3.01)	0.00	0.00
19-1071	TIF RECEIPTS	0.00	2,000.00	10.70 %	1,558.00	18,692.00	16,692.00	0.00	2,000.00
<b>TOTAL Revenue</b>		<b>374.79</b>	<b>2,377.23</b>	<b>12.72 %</b>	<b>1,558.00</b>	<b>18,692.00</b>	<b>16,314.77</b>	<b>0.00</b>	<b>2,000.00</b>

<b>Expense</b>									
TIF									
19-2026	CAPITAL OUTLAY	0.00	0.00	0.00 %	1,246.00	14,954.00	14,954.00	0.00	0.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00 %</b>	<b>1,246.00</b>	<b>14,954.00</b>	<b>14,954.00</b>	<b>0.00</b>	<b>0.00</b>

<b>PROFIT / (LOSS) :</b>	<b>374.79</b>	<b>2,377.23</b>		<b>312.00</b>	<b>3,738.00</b>	<b>1,360.77</b>	<b>0.00</b>	<b>2,000.00</b>
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# City of Gibbon

Account	Account Name	Fiscal Year 20 - 21			Budget			Fiscal Year 19 - 20	
		Current	Year To Date	%Used	Current	Total	Remaining	Year To Date	Total
<b>Revenue</b>									
KENO									
20-1005	INTEREST	3.97	18.17	0.00 %	0.00	0.00	(18.17)	0.00	0.00
20-1080	KENO RECEIPTS	4,586.55	20,709.06	129.43 %	1,333.00	16,000.00	(4,709.06)	4,111.84	15,660.96
<b>TOTAL Revenue</b>		<b>4,590.52</b>	<b>20,727.23</b>	<b>129.55 %</b>	<b>1,333.00</b>	<b>16,000.00</b>	<b>(4,727.23)</b>	<b>4,111.84</b>	<b>15,660.96</b>
<b>Expense</b>									
KENO									
20-2012	MISCELLANEOUS	0.00	2,016.00	57.60 %	292.00	3,500.00	1,484.00	0.00	1,964.00
<b>TOTAL Expense</b>		<b>0.00</b>	<b>2,016.00</b>	<b>57.60 %</b>	<b>292.00</b>	<b>3,500.00</b>	<b>1,484.00</b>	<b>0.00</b>	<b>1,964.00</b>
<b>PROFIT / (LOSS) :</b>		<b>4,590.52</b>	<b>18,711.23</b>		<b>1,041.00</b>	<b>12,500.00</b>	<b>(6,211.23)</b>	<b>4,111.84</b>	<b>13,696.96</b>

Date Range : 3/1/2021 To 3/31/2021  
 Report is for 00-0000 through ZZ-ZZZZ.  
 Only Active accounts are included.  
 Report order = Fund  
 Transaction Source Code = Include All

Gibbon Vol. Fire & Rescue

Incident Type Report (Summary)

Alarm Date Between {01/01/2021} And {01/31/2021}

Incident Type	Count	Pct of Incidents	Total Est Loss	Pct of Losses
<b>1 Fire</b>				
130 Mobile property (vehicle) fire, Other	1	6.25%	\$0	0.00%
	<u>1</u>	<u>6.25%</u>	<u>\$0</u>	<u>0.00%</u>
<b>3 Rescue &amp; Emergency Medical Service Incident</b>				
300 Rescue, EMS incident, other	9	56.25%	\$0	0.00%
322 Motor vehicle accident with injuries	3	18.75%	\$0	0.00%
360 Water & ice-related rescue, other	1	6.25%	\$0	0.00%
	<u>13</u>	<u>81.25%</u>	<u>\$0</u>	<u>0.00%</u>
<b>6 Good Intent Call</b>				
611 Dispatched & cancelled en route	1	6.25%	\$0	0.00%
	<u>1</u>	<u>6.25%</u>	<u>\$0</u>	<u>0.00%</u>
<b>7 False Alarm &amp; False Call</b>				
735 Alarm system sounded due to malfunction	1	6.25%	\$0	0.00%
	<u>1</u>	<u>6.25%</u>	<u>\$0</u>	<u>0.00%</u>
<b>Total Incident Count:</b>	<b>16</b>		<b>Total Est Loss:</b>	<b>\$0</b>

Gibbon Vol. Fire & Rescue

Staff Activity by Activity Code (Summary)

Date Between {01/01/2021} And {01/31/2021}

Activity Code	Staff Count	Total Hrs	Pct Hrs
FS Fire On Standby	19	17.46	11.38%
FX Fire At Scene	55	51.32	33.47%
MS Medical On Standby	30	36.20	23.61%
MX Medical At Scene	46	47.10	30.72%
WD Work Detail	1	1.23	0.80%
	<u>151</u>	<u>153.31</u>	

Gibbon Vol. Fire & Rescue

Incident Type Report (Summary)

Alarm Date Between {02/01/2021} And {02/28/2021}

Incident Type	Count	Pct of Incidents	Total Est Loss	Pct of Losses
<b>1 Fire</b>				
111 Building fire	1	6.66%	\$500,000	99.70%
130 Mobile property (vehicle) fire, Other	1	6.66%	\$1,500	0.29%
	<u>2</u>	<u>13.33%</u>	<u>\$501,500</u>	<u>100.00%</u>
<b>3 Rescue &amp; Emergency Medical Service Incident</b>				
300 Rescue, EMS incident, other	7	46.66%	\$0	0.00%
322 Motor vehicle accident with injuries	3	20.00%	\$0	0.00%
	<u>10</u>	<u>66.66%</u>	<u>\$0</u>	<u>0.00%</u>
<b>4 Hazardous Condition (No Fire)</b>				
412 Gas leak (natural gas or LPG)	1	6.66%	\$0	0.00%
	<u>1</u>	<u>6.66%</u>	<u>\$0</u>	<u>0.00%</u>
<b>6 Good Intent Call</b>				
611 Dispatched & cancelled en route	1	6.66%	\$0	0.00%
	<u>1</u>	<u>6.66%</u>	<u>\$0</u>	<u>0.00%</u>
<b>7 False Alarm &amp; False Call</b>				
700 False alarm or false call, Other	1	6.66%	\$0	0.00%
	<u>1</u>	<u>6.66%</u>	<u>\$0</u>	<u>0.00%</u>

Total Incident Count: 15

Total Est Loss: \$501,500

Gibbon Vol. Fire & Rescue

Staff Activity by Activity Code (Summary)

Date Between {02/01/2021} And {02/28/2021}

Activity Code	Staff Count	Total Hrs	Pct Hrs
FS Fire On Standby	27	36.40	17.87%
FX Fire At Scene	68	89.75	44.07%
MS Medical On Standby	20	26.28	12.90%
MX Medical At Scene	41	51.22	25.15%
	<u>156</u>	<u>203.65</u>	

Gibbon Vol. Fire & Rescue

Incident Type Report (Summary)

Alarm Date Between {03/01/2021} And {03/31/2021}

Incident Type	Count	Pct of Incidents	Total Est Loss	Pct of Losses
<b>1 Fire</b>				
143 Grass fire	1	7.69%	\$0	0.00%
	<u>1</u>	<u>7.69%</u>	<u>\$0</u>	<u>0.00%</u>
<b>3 Rescue &amp; Emergency Medical Service Incident</b>				
300 Rescue, EMS incident, other	10	76.92%	\$0	0.00%
322 Motor vehicle accident with injuries	1	7.69%	\$0	0.00%
	<u>11</u>	<u>84.61%</u>	<u>\$0</u>	<u>0.00%</u>
<b>4 Hazardous Condition (No Fire)</b>				
412 Gas leak (natural gas or LPG)	1	7.69%	\$0	0.00%
	<u>1</u>	<u>7.69%</u>	<u>\$0</u>	<u>0.00%</u>

Total Incident Count: 13

Total Est Loss: \$0

Gibbon Vol. Fire & Rescue

Staff Activity by Activity Code (Summary)

Date Between {03/01/2021} And {03/31/2021}

Activity Code	Staff Count	Total Hrs	Pct Hrs
FS Fire On Standby	28	31.25	18.50%
FX Fire At Scene	40	49.84	29.51%
MS Medical On Standby	29	35.16	20.82%
MX Medical At Scene	41	52.61	31.15%
	<u>138</u>	<u>168.86</u>	

# **Gibbon Planning Commission**

## **Meeting Minutes**

**April 12, 2021**

### **I. Call to order**

President Steven Ackley called to order the regular meeting of the Gibbon Planning Commission to order at 6:00 p.m. on April 12, 2021.

Members present: Steven Ackley, Jason Tracy, Brian Shafer, Kurt Mayo and Brandon Jacques.

### **II. Approval of minutes from last meeting**

Steven Ackley read the minutes from the last meeting. Motion to approve the minutes from the last meeting made by Jacques and seconded by Tracy. The minutes were approved as read.

Steven Ackley opened discussion for Shiers Estates Fourth Subdivision.

Motion to approve by Mayo and seconded by Shafer.

Permit # 2021-05 Dustin Pracht – Fence – 202 Woodland Drive

Motion to approve the permit made by Shafer and seconded by Mayo

Permit # 2021-06 Paul Reinertson – Fence – 510 LaBarre Street

Motion to approve the permit made Tracy and seconded by Jacques

Permit # 2021-07 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 1

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-08 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 2

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-09 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 3

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-10 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 4

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-11 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 5

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-12 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 8

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-13 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 9

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-14 Willis Construction – Single Family Home – Turkey Creek BLVD  
Lot 10

Motion to approve the permit made Shafer and seconded by Tracy

Permit # 2021-15 Steven Yockey – Pergola – 703 Drew Lane

Motion to approve the permit made Jacques and seconded by Tracy

Permit # 2021-16 Kris and Pam Warrington – Patio Awning – 1103 River Street

Motion to approve the permit made Mayo and seconded by Tracy

Permit # 2021-17 Mathew Komer and Andrea Slagle – Fence – 310 West Avenue

Motion to approve permit made Mayo and seconded by Jacques

Permit # 2021-18 Tracy and Wanda Salmon – Single Family Home – 45665 67<sup>th</sup> Road

Motion to approve permit made Shafer and seconded by Tracy

Permit # 2021-19 Brian and Stephanie Lessinger – Fence – 108 West Avenue

Motion to approve permit made Tracy and seconded by Mayo

Adjournment

Motion made by Tracy to adjourn the meeting, seconded by Shafer. Meeting adjourned at 6:30 P.M.

Permit No. 2021-5

Zoning Classification:(Circle One)

Date Paid: 4-6-2021

AGR, (R-1) R-2, R-3, C-1, C-2, I,

F-1, PUD-1

Fee Paid: \$ 25.00 Cash      Check # 1218

Value Of Project: \$ 3000.00

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Dustin Pracht  
Address: 202 Woodland Dr  
City, State, Zip: Gibbon NE 68840  
Phone Number: 308-991-2349  
Cell Number:                                     

Contractor:                                       
Certificate of Insurance:                                       
Address:                                       
Phone Number:                                       
Cell Number:                                     

Address of Construction Site: 202 Woodland Dr

(If none, one must be issued from the City of Gibbon)

     New Residential         Residential Addition         Accessory Building     Fence

Proposed Structure: Fence    Dimension of Structure: 6ft Privacy fence

Distance From Front Property Line: 42ft    Distance From Rear Property Line: 6"

Distance From Side Property Line: 0    Distance From 2<sup>nd</sup> Side Line: 0

Distance Between Other Buildings (minimum 5'):                                     

Height To The Top Of Roof:                                     

Footing Depth (42" minimum):                                     

Is There A Utility Easement On Either The Back Or Side Property?                                     

Approximately When Will Construction Begin? April 2021    Finish? July 2021

\*Contact:                                      308.468.6118 or                                      Regarding Set-Back Inspection.

Date of Inspection:                                     

(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel                                      and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

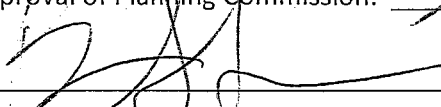
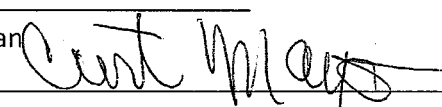
\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: 

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:                                     

Approval of Planning Commission: 

 Signature of Co-Chairman     Signature of Board Member

.....  
Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application    Approved    Denied                                         Expiration Date                                     

Signed                                       
Mayor

Attest:                                       
City Clerk

## Building Design

This Building Permit must include the following items:

- 1) All buildings must be drawn on the lot. This includes homes, garages, storage sheds, car ports, etc.
- 2) Once all buildings are drawn, you must show distances between all buildings. (This needs to be shown from the foundation.)
- 3) After showing distances between all existing buildings, draw in distances from the buildings to your lot lines.

4) Use the following for setbacks from your main building/house to your lot lines:

	<u>R-1</u>	<u>R-2</u>	<u>R-3</u>	<u>C-1</u>	<u>C-2</u>	<u>I</u>	<u>AGR</u>
Rear	10 Ft.	10 Ft.	10 Ft.	25 Ft.	0 Ft.	25 Ft	35 Ft
Side	7 Ft.	7 Ft.	7 Ft ***	None (*)	None (**)	25 Ft	20 Ft
Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

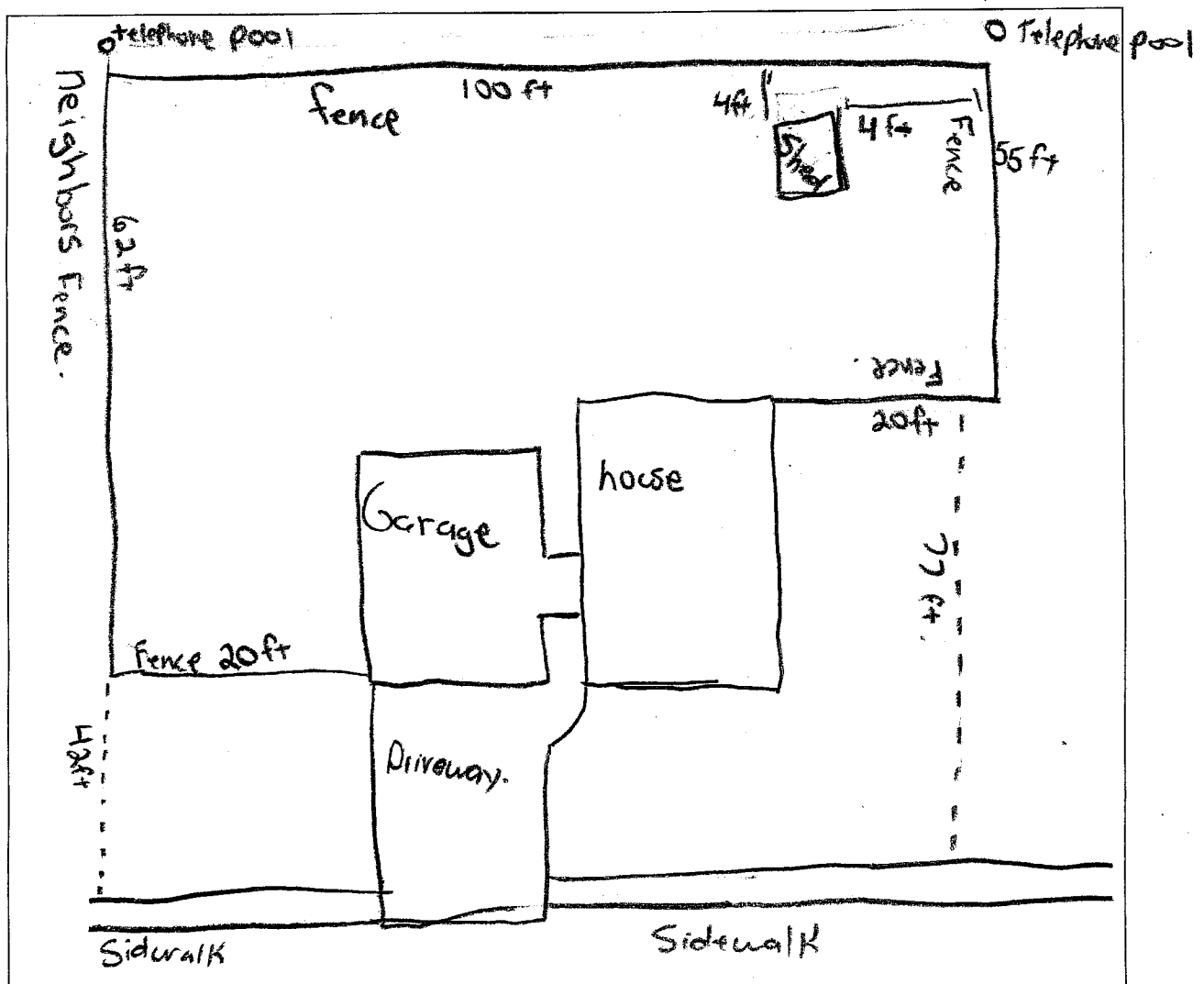
\*\*No Minimum is required except along side of a lot abutting on an A-1, TA-1 or Residential District, a side yard of not less than 15 feet shall be provided.

\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

- 5) **Accessory buildings.** No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.
- 6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

- 7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.



Is this a corner lot? Yes No (circle one)

Permit No. 2021-10

Zoning Classification: (Circle One)

AGR, (R-1), R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Date Paid: 04-06-2021

Fee Paid: \$ 25<sup>00</sup> Cash      Check # 91690

Value Of Project: \$ 4000

**APPLICATION FOR A ZONING PERMIT**  
**GIBBON, NEBRASKA**

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: PAUL REINERTSON  
Address: 510 LaBarré  
City, State, Zip: Gibbon NE 68840  
Phone Number: 308-216-1175  
Cell Number: Same

Contractor: Dan Schumaker  
Certificate of Insurance:       
Address:       
Phone Number:       
Cell Number: 402-760-0836

Address of Construction Site: 510 LaBarré Gibbon

(If none, one must be issued from the City of Gibbon)

     New Residential      Residential Addition      Accessory Building      Fence

Proposed Structure: Privacy Fence Dimension of Structure:     

Distance From Front Property Line:      Distance From Rear Property Line:     

Distance From Side Property Line:      Distance From 2<sup>nd</sup> Side Line:     

Distance Between Other Buildings (minimum 5'):     

Height To The Top Of Roof:     

Footing Depth (42" minimum):     

Is There A Utility Easement On Either The Back Or Side Property?     

Approximately When Will Construction Begin? May Finish? June

\*Contact:      308.468.6118 or      Regarding Set-Back Inspection.

Date of Inspection:     

(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel      and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: Paul Reinertson

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:     

Approval of Planning Commission:     

Signature of Chairman

Signature of Co-Chairman

Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application      Approved      Denied      Expiration Date     

Signed       
Mayor

Attest:       
City Clerk

**Building Design**

This Building Permit must include the following items:

- 1) All buildings must be drawn on the lot. This includes homes, garages, storage sheds, car ports, etc.
- 2) Once all buildings are drawn, you must show distances between all buildings. (This needs to be shown from the foundation.)
- 3) After showing distances between all existing buildings, draw in distances from the buildings to your lot lines.
- 4) Use the following for setbacks from your main building/house to your lot lines:

	<u>R-1</u>	<u>R-2</u>	<u>R-3</u>	<u>C-1</u>	<u>C-2</u>	<u>I</u>	<u>AGR</u>
Rear	10 Ft.	10 Ft.	10 Ft.	25 Ft.	0 Ft.	25 Ft	35 Ft
Side	7 Ft.	7 Ft.	7 Ft ***	None (*)	None (**)	25 Ft	20 Ft
Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

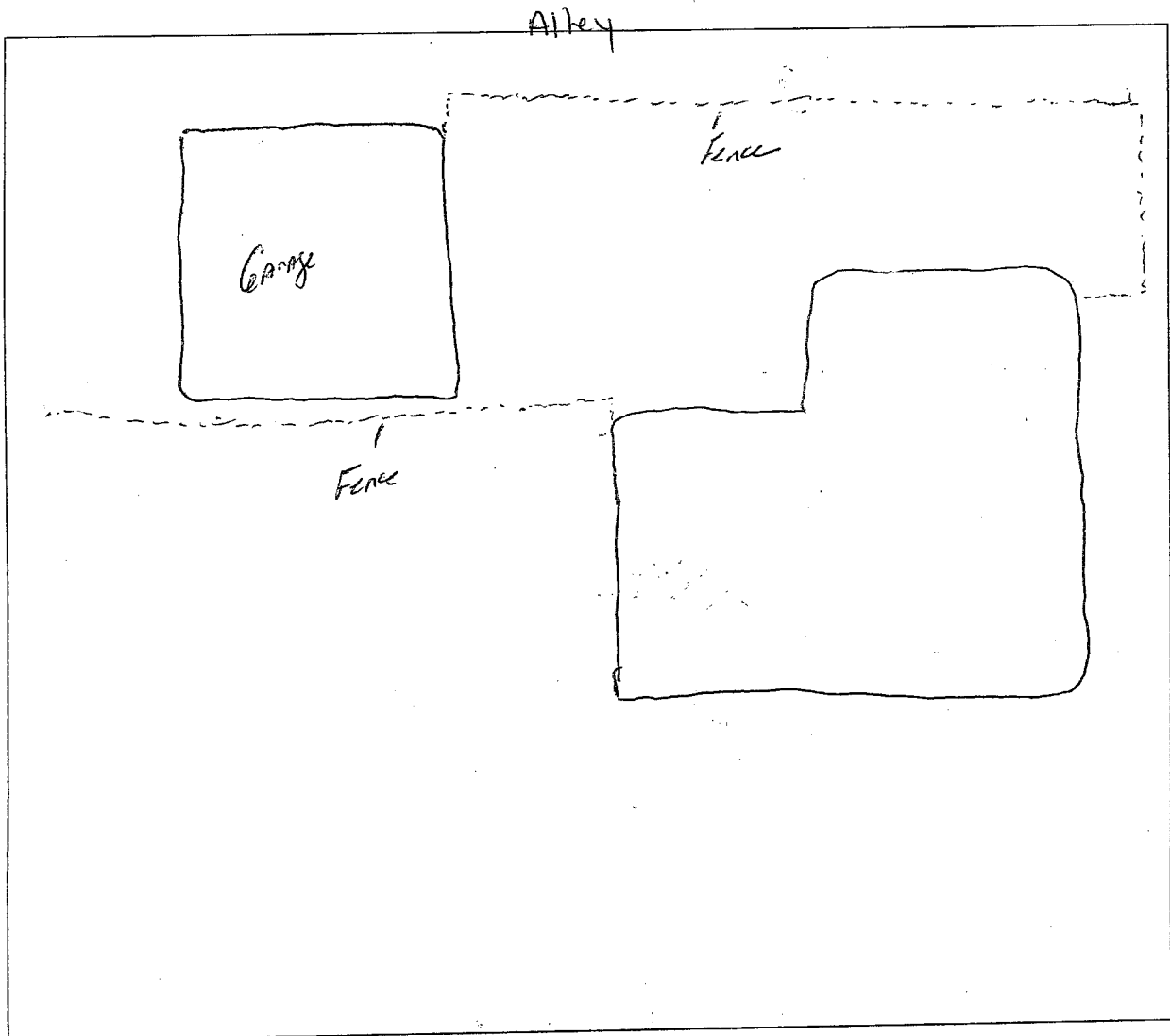
\*\*No Minimum is required except along side of a lot abutting on an A-1, TA-1, or Residential District, a side yard of not less than 15 feet shall be provided.

\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

- 5) **Accessory buildings.** No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.
- 6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

- 7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.



Is this a corner lot?      Yes   No      (circle one)

Permit No. 2021-7

Zoning Classification: (Circle One)

Date Paid: 4-10-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Fee Paid: \$ 2500 Cash Check # 2707

Value Of Project: \$ 250,000

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Will's Construction LLC Contractor: Will's Construction LLC  
Address: 2205 Turkey Creek Blvd Certificate of Insurance:  
City, State, Zip: Keosaupe NE 68305 Address: 2205 Turkey Creek Blvd  
Phone Number: 308-293-0348 Phone Number:  
Cell Number: same Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot 1  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
Distance From Side Property Line: 26' Distance From 2<sup>nd</sup> Side Line: 26'  
Distance Between Other Buildings (minimum 5'): N/A  
Height To The Top Of Roof: 15'  
Footing Depth (42" minimum): N/A on Plans  
Is There A Utility Easement On Either The Back Or Side Property? Back  
Approximately When Will Construction Begin? June 2021 Finish?

\*Contact: 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.  
Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or Subdivision.  
\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.  
\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

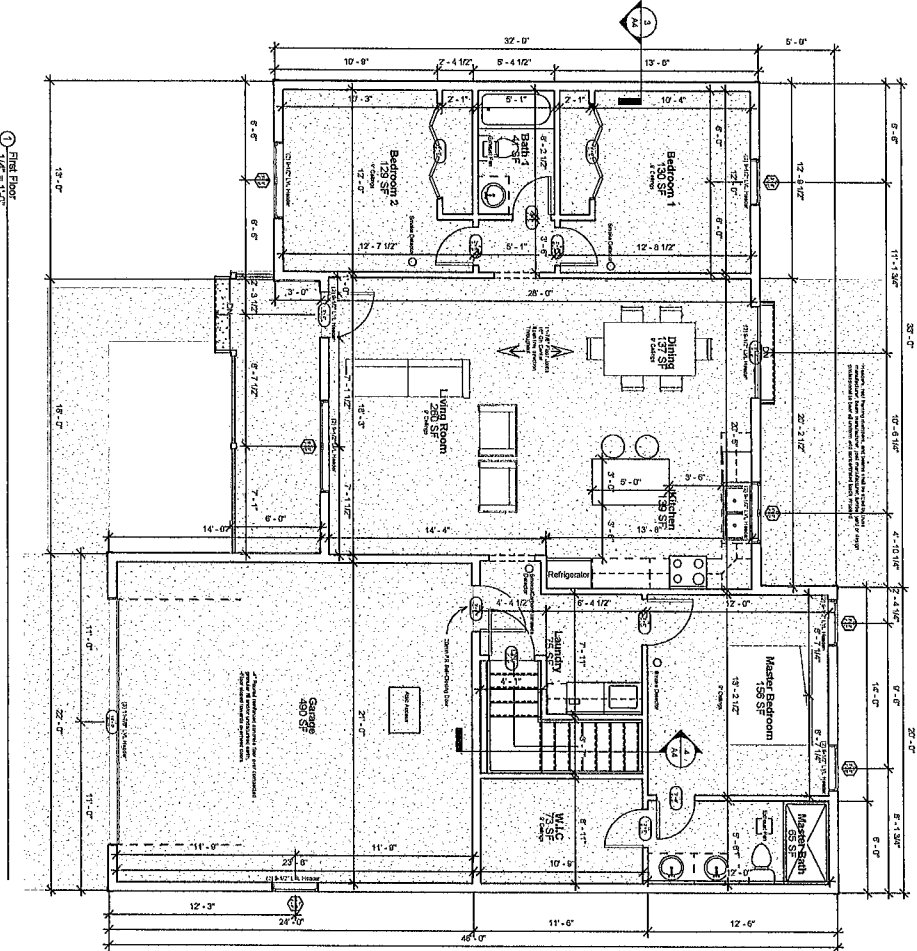
Recommendations needed before approval:  
Approval of Planning Commission: [Signature] Signature of Chairman  
[Signature] Signature of Co-Chairman [Signature] Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_ Attest: \_\_\_\_\_  
Mayor City Clerk

Door Schedule								
Door Number	Door Type	Door Size	Manufacturer	Model	Frame Type	Description	Finish	Comments
1	6-0"	36" x 80"						
2	6-0"	36" x 80"						
3	6-0"	36" x 80"						
4	6-0"	36" x 80"						
5	6-0"	36" x 80"						
6	6-0"	36" x 80"						
7	6-0"	36" x 80"						
8	6-0"	36" x 80"						
9	6-0"	36" x 80"						
10	6-0"	36" x 80"						
11	6-0"	36" x 80"						
12	6-0"	36" x 80"						
13	6-0"	36" x 80"						
14	6-0"	36" x 80"						
15	6-0"	36" x 80"						
16	6-0"	36" x 80"						
17	6-0"	36" x 80"						
18	6-0"	36" x 80"						
19	6-0"	36" x 80"						
20	6-0"	36" x 80"						
21	6-0"	36" x 80"						
22	6-0"	36" x 80"						
23	6-0"	36" x 80"						
24	6-0"	36" x 80"						
25	6-0"	36" x 80"						
26	6-0"	36" x 80"						
27	6-0"	36" x 80"						
28	6-0"	36" x 80"						
29	6-0"	36" x 80"						
30	6-0"	36" x 80"						
31	6-0"	36" x 80"						
32	6-0"	36" x 80"						



Area Schedule (Relative)				
Area Type	Level	Area	Perimeter	Comments
Building Common Area	First Floor	1472 SF	187'-6"	
Building Common Area	Basement	1484 SF	187'-0"	
Building Common Area	First Floor	1525 SF	182'-3 1/2"	


Shaul Design LLC prepares its plans carefully for use by its Customers. However, adaptation of the plans to the site conditions, construction methods, materials, and other factors is the responsibility of the contractor. In addition, Shaul Design LLC will not be responsible for any damage resulting to the structure and/or contents of the property in cases of fire, theft, or other causes. The contractor, therefore, must verify all dimensions and details in the plans for errors or omissions.

All construction to comply with all State and Local Codes. Construction to meet the following: 2018 IRC, 2018 IEBC, 2018 IRC, 2017 NEC, 2008 IECC.

Unauthorized use or copying of these plans, or the design they contain, infringes rights under the Copyright Act. Infringers face penalties that include penalties of up to \$200,000 per work infringed, and up to \$100,000 per work infringed willfully.

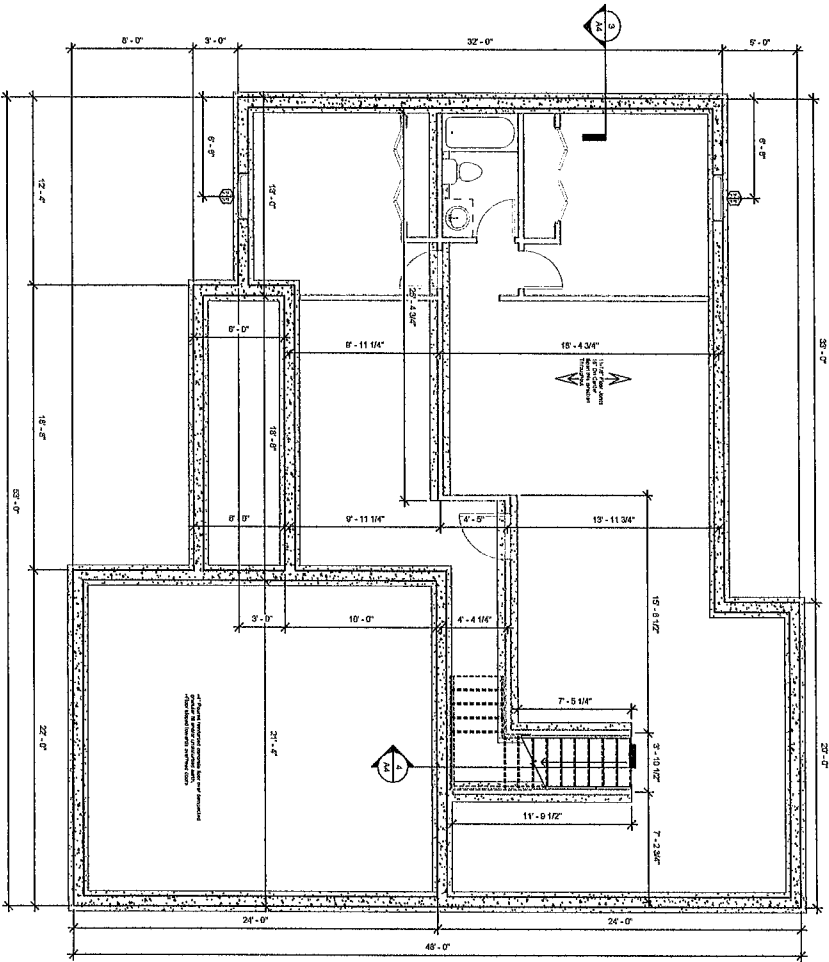
Project Number		21-145
Date		3-10-21
Drawn by		BS
Checked by		NA
Scale		1/4" = 1'-0"

Project Name		Walls
Project Address		Gibbon Spec 1
Project Location		First Floor Plan
Project Status		
Project Date		
Project Description		
Project Notes		
Project Contact		
Project Phone		
Project Email		
Project Website		


  
 Shaul Design LLC  
 2901 Design - Corning, NE 68341  
 Phone: (402) 627-4835  
 Email: info@shaul-design.com

www.shaul-designs.com  
 Shaul Design LLC  
 2901 Design - Corning, NE 68341  
 Phone: (402) 627-4835  
 Email: info@shaul-designs.com





1 To Finish  
1/4" = 1'-0"

Shaul Designs L.L.C. prepares the plans carefully for use by its Customers. However, adaptation of the plans to meet specific state and local building codes and regulations, and specific site conditions is the responsibility of the owner and general contractor. Shaul Designs L.L.C. is not responsible for any errors or omissions in the plans and shall not be held liable for any damages, including consequential damages, arising from the use of the plans. The owner, therefore, must carefully inspect all dimensions and details in the plans for errors or omissions.

All construction to comply with all State and Local Codes. Construction to meet the following 2015 IRC, 2018 IRC, 2015 UPC, 2017 NBS, 2009 IECC.

Unauthorized use or copying of these plans or the design they depict, without the express written consent of Shaul Designs L.L.C., is prohibited. Shaul Designs L.L.C. reserves the right to sue for damages up to \$100,000 per work project for any unauthorized use.

Bruce Shaul  
Shaul Designs L.L.C.  
P.O. Box 1577 • Corning, NY 68341  
www.shaul-designs.com  
bruce@shaul-designs.com

www.shaul-designs.com



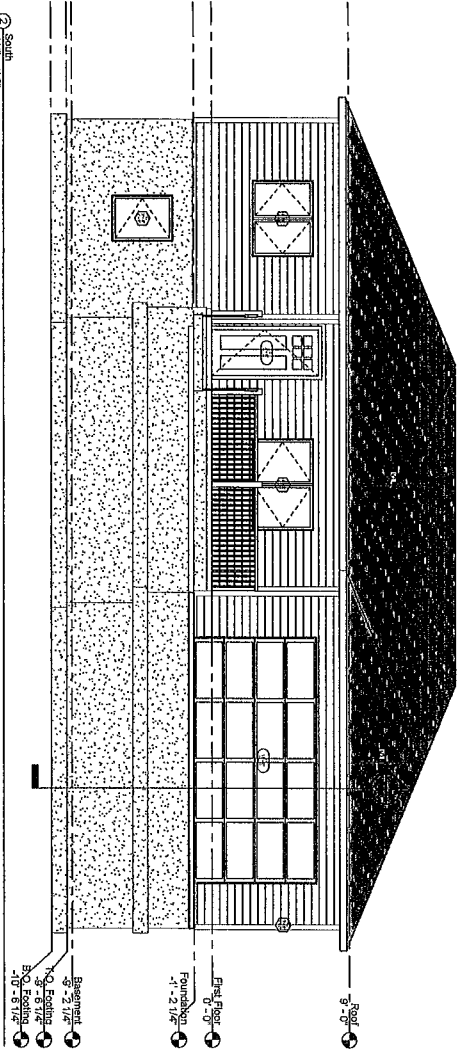
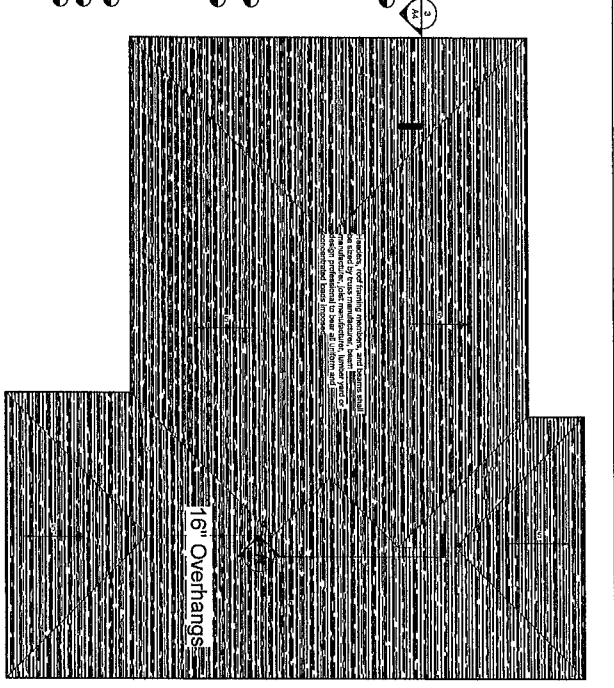
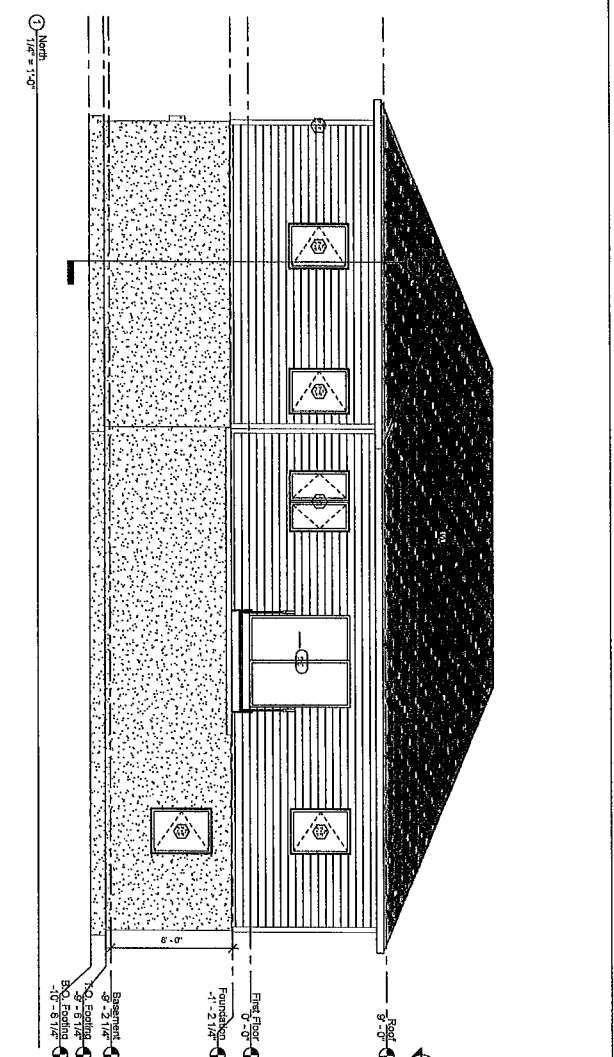
NO.	DESCRIPTION	DATE

Project Address  
Gibson, NE 68940

Willis

Gibbon Spec 1  
Foundation Plan

Project number	21-23
Drawn by	3-10-21
Checked by	BS
Scale	A5
Scale	1/4" = 1'-0"



Material Description	Material Area	Comments
Asphalt roofing shingles	2521 SF	
Plywood sheathing gable	2521 SF	
Wood railing, finished	2521 SF	

Material Name	Material Area	Comments
Exterior Wall Construction	1841 SF	20\"/>
Exterior Walls	85 SF	6\"/>
Foundation Walls	1710 SF	25\"/>
Partitions - Drywall w/ Metal Stud	3019 SF	45\"/>

Material Name	Material Area	Comments
Air Infiltration Barrier	1841 SF	
Concrete, Cast-in-Place gray	1710 SF	
Gypsum Wall Board	7234 SF	
Exterior Wall Board	1724 SF	
Wood Siding	1841 SF	
Sheetrock	1841 SF	
Insulation	1841 SF	
Roofing	2521 SF	
Decking	1841 SF	
Handrails	2521 SF	

Shaul Design LLC prepares the plans accordingly for use by the Customers. However, adaptation of the plans to meet specific state and local building codes and regulations, and specific site conditions is the responsibility of the contractor. In addition, Shaul Design LLC does not take responsibility for any design resulting in the danger, must carefully verify all dimensions and details in the plans for errors or omissions.

All construction to comply with all State and Local Codes. Construction to meet the following 2015 IRC, 2015 IBC, 2015 UPC, 2017 NEC, 2009 IECC.

Unauthorized use or copying of these plans or the design that depict, in figures, rights under the Copyright Act, infringes the Intellectual Property and Federal penalties of up to \$50,000 per work infringed, and up to \$70,000 per work infringed willfully.

Shaul Designs LLC  
 210, Bosc 1871 - Gorham, ME 05931  
 (603) 531-9700  
 info@shaul-designs.com

www.shaul-designs.com

Build Sheet  
 Shaul Design LLC  
 210, Bosc 1871 - Gorham, ME 05931  
 (603) 531-9700  
 info@shaul-designs.com

www.shaul-designs.com

Project Address  
 Gibbon, NE 05940

Project Name  
 Gibbon Spec 1

Drawn by  
 AS

Checked by  
 NA

Scale  
 AS indicated

Sheet Number  
 21.31.5

Drawn by  
 AS

Checked by  
 NA

Scale  
 AS indicated

Project Name  
 Gibbon Spec 1

Drawn by  
 AS

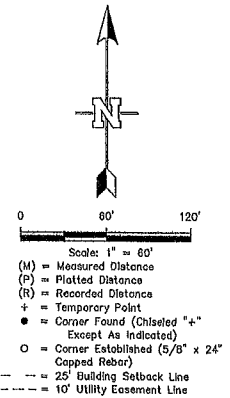
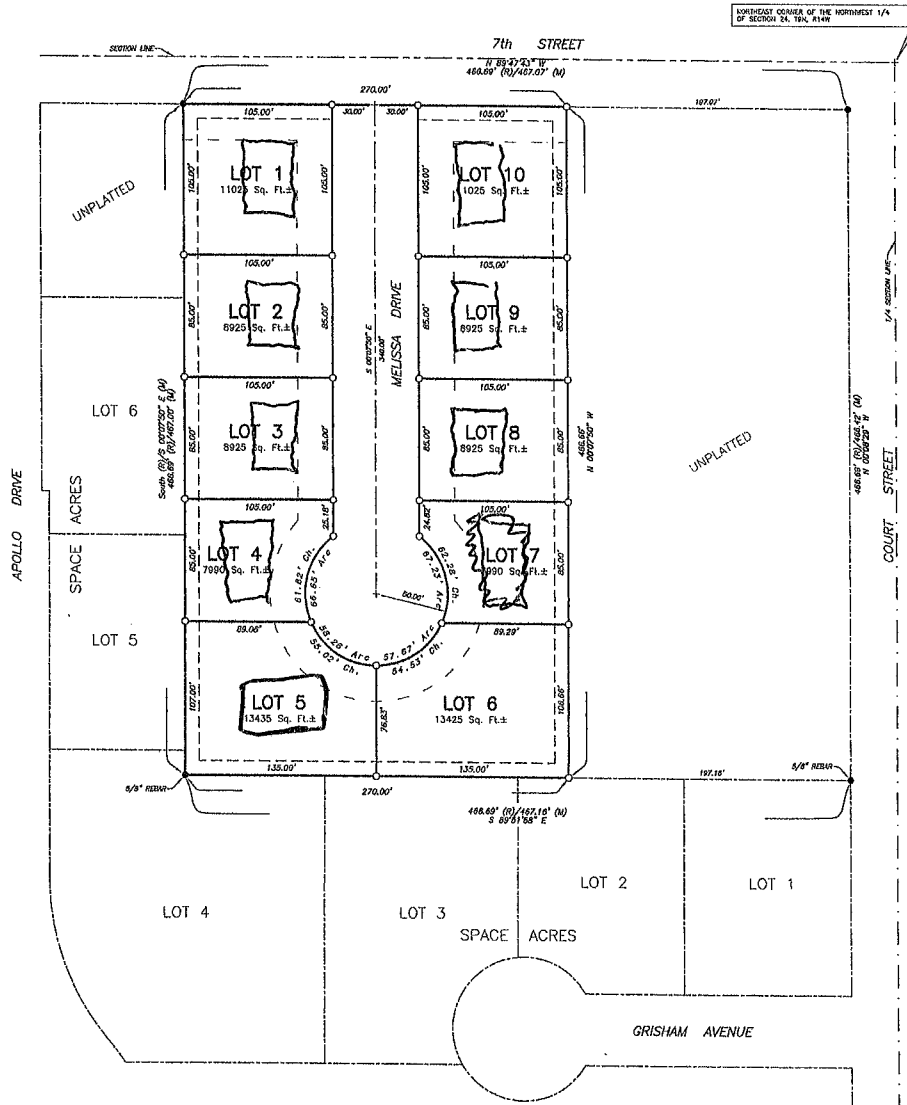
Checked by  
 NA

Scale  
 AS indicated



# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



NOTE: 2.89 Ac± TOTAL

## LEGAL DESCRIPTION

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

## SURVEYOR'S CERTIFICATE

I, Trenton D. Snow, a Professional Land Surveyor licensed in the State of Nebraska, do hereby certify that I surveyed "BC ESTATES", a subdivision being part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as shown on the above plat. The lots are well and accurately staked and marked; the dimensions of the lots are as shown on the above plat; the lots bear their own number; and the survey was made using known and recorded monuments. All information shown hereon is true and correct to the best of my knowledge and belief.

(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date

TRENTON D. SNOW, LLC  
A Land Surveying Company



1509 Capitol Avenue  
P.O. Box 1172  
Kearney, NE 68548  
Office (308) 254-1754  
Fax (308) 232-7879  
Cellular (308) 263-1055  
www.rebracksurvey.com

SHEET 1 OF 2 SHEETS



Permit No. 2021-8

Zoning Classification: (Circle One)

Date Paid: 4-10-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,

F-1, PUD-1

Fee Paid: \$ 2500 Cash Check # 2707

Value Of Project: \$ 250,000

**APPLICATION FOR A ZONING PERMIT  
GIBBON, NEBRASKA**

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Willis Construction LLC Contractor: Willis Construction LLC  
Address: 2205 Turkey Creek Blvd Certificate of Insurance:  
City, State, Zip: Keosauqua NE 68805 Address: 2205 Turkey Creek Blvd  
Phone Number: 308-293-0348 Phone Number:  
Cell Number: 503-293-0348 Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot 2  
(if none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
Distance From Side Property Line: 16' Distance From 2<sup>nd</sup> Side Line: 16'  
Distance Between Other Buildings (minimum 5'): N/A  
Height To The Top Of Roof: 15'  
Footing Depth (42" minimum): N/A on Plans  
Is There A Utility Easement On Either The Back Or Side Property? Back  
Approximately When Will Construction Begin? June 2021 Finish? \_\_\_\_\_

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval: \_\_\_\_\_

Approval of Planning Commission: \_\_\_\_\_  
Signature of Chairman

Signature of Co-Chairman \_\_\_\_\_ Signature of Board Member \_\_\_\_\_

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

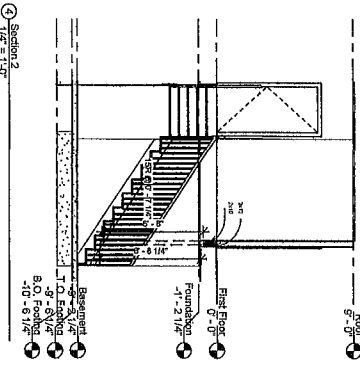
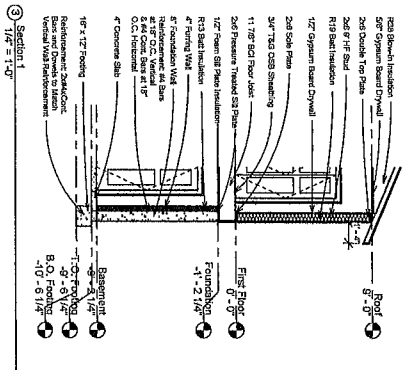
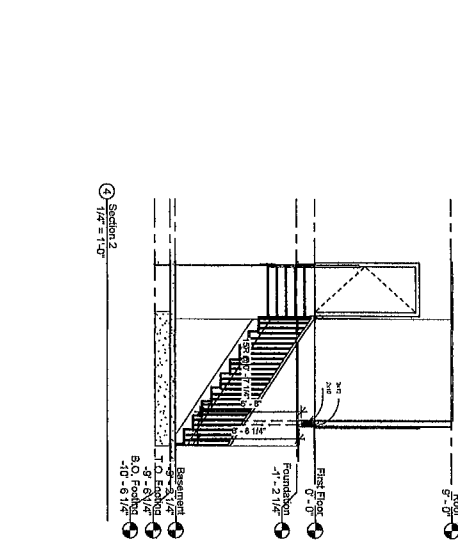
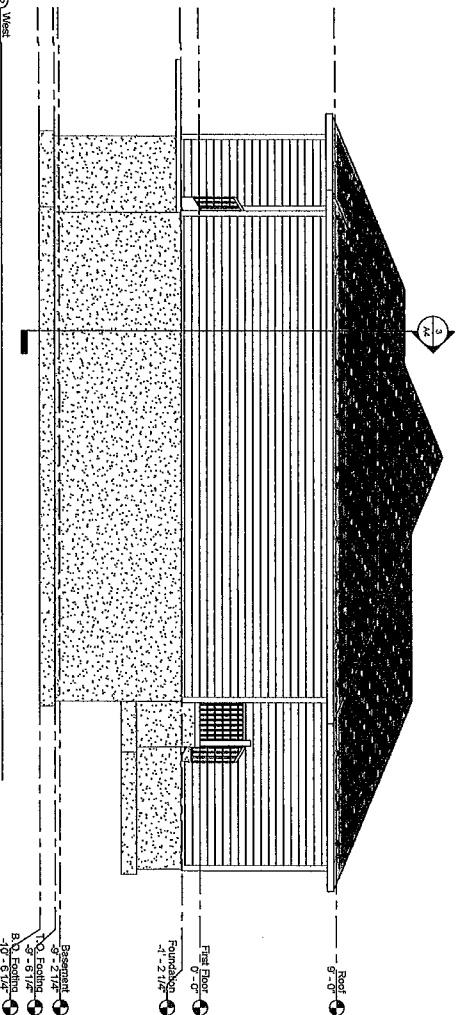
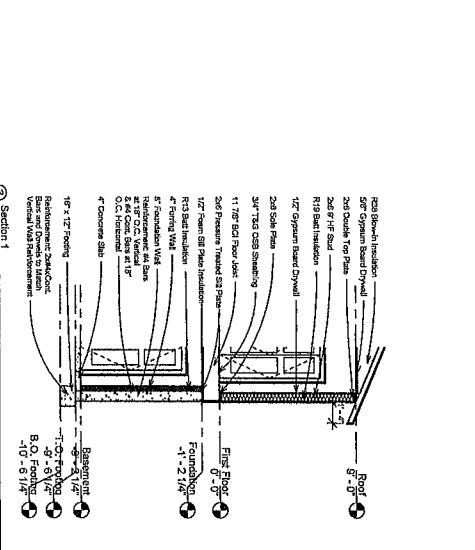
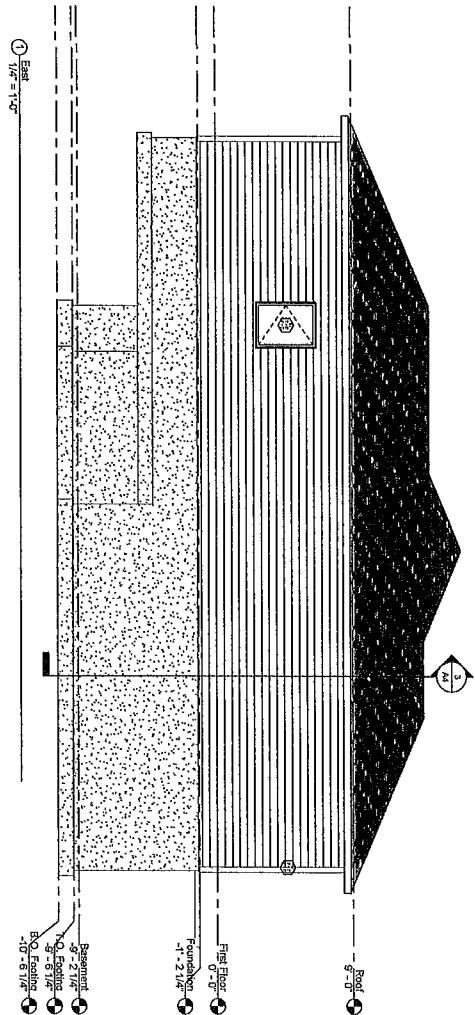
Signed \_\_\_\_\_ Attest: \_\_\_\_\_  
Mayor City Clerk











Shaul Design LLC  
 2000  
 Phone (919) 292-4855  
 Email: shaul-designs.com

www.shaul-designs.com



Project Address  
 Gibbon, NE 68940

Wills

Gibbon Spec 1  
 Elevations

Project number	21-35
Date	3-10-21
Drawn by	SS
Checked by	NA
Scale	1/4" = 1'-0"

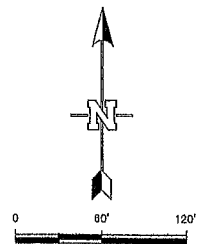
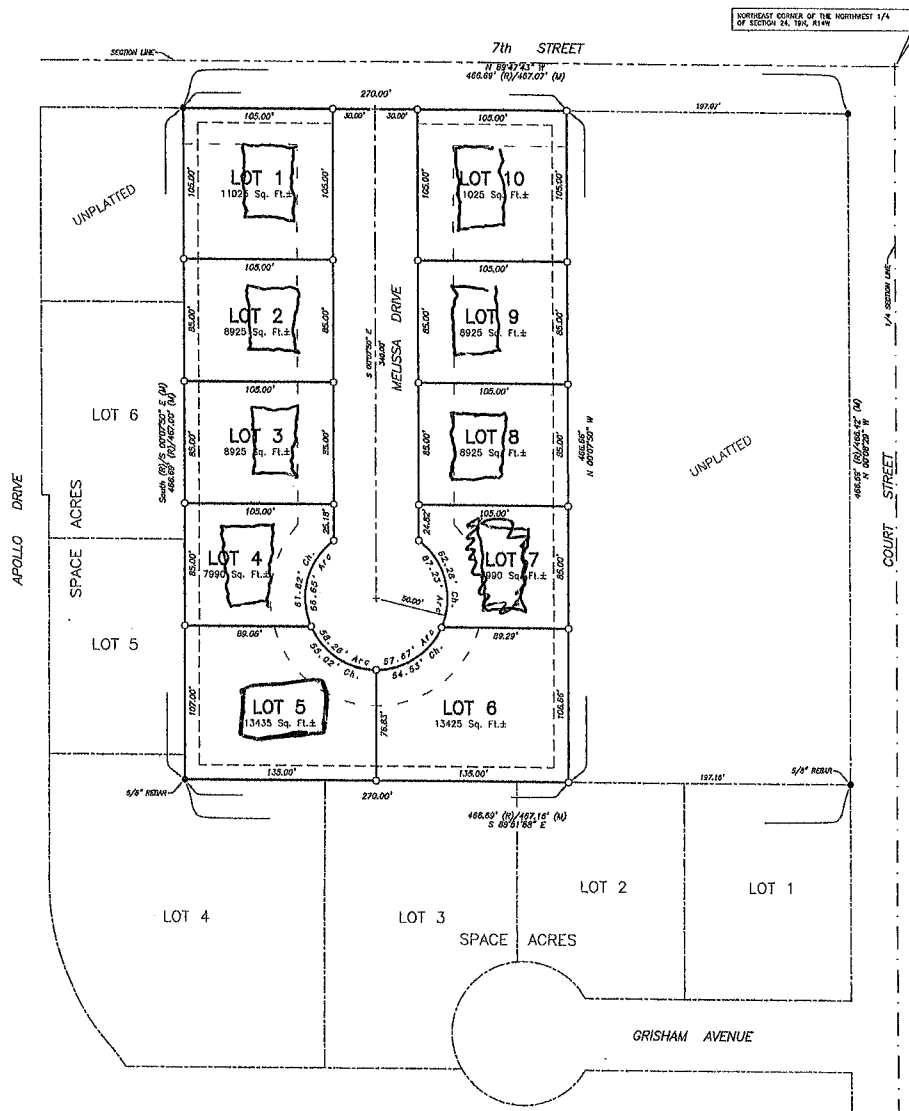
Shaul Design LLC prepares its plans exclusively for use by its Customers. However, adaptation of the plans to meet specific needs and local building codes and regulations, and providing conditions to the responsibility of the contractor, is the responsibility of the customer. All drawings are prepared to the best of our knowledge and accuracy and overall integrity of the plans is the responsibility of the customer. The contractor is responsible for obtaining all necessary permits and approvals. The contractor must carefully inspect all foundations and details in the plans for errors or omissions.

All construction to comply with all State and Local Codes. Construction to meet the following 2018 IRC 503.8 IRC, 503.9 IRC, 503.17 NEC, 503.9 ICC.

Unauthorized use or copying of these plans, or the design they depict, infringes rights under the Copyright Act. Infringers face liabilities that include penalties of up to \$50,000 per work infringed, and up to \$100,000 per work infringed willfully.

# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



- (M) = Measured Distance
- (P) = Platted Distance
- (R) = Recorded Distance
- + = Temporary Point
- = Corner Found (Chiseled "±" Except As Indicated)
- = Corner Established (5/8" x 24" Capped Rebar)
- - - = 25' Building Setback Line
- · - · - = 10' Utility Easement Line

NOTE: 2.89 Ac± TOTAL

**LEGAL DESCRIPTION**

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

**SURVEYOR'S CERTIFICATE**

I, Trenton D. Snow, a Professional Land Surveyor licensed in the State of Nebraska, do hereby certify that I surveyed "BC ESTATES", a subdivision being part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as shown on the above plat. The lots are well and accurately staked and marked; the dimensions of the lots are as shown on the above plat; the lots bear their own number; and the survey was made using known and recorded monuments. All information shown hereon is true and correct to the best of my knowledge and belief.

(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date \_\_\_\_\_

TRENTON D. SNOW, LLC  
A Land Surveying Company



1509 Central Avenue  
P.O. Box 1172  
Kearney, NE 68849  
Office (402) 234-1754  
Fax (402) 237-7676  
Cellular (402) 795-1010  
www.nebraskasurveyors.com



Permit No. 2021-9

Zoning Classification: (Circle One)

Date Paid: 4-10-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,

F-1, PUD-1

Fee Paid: \$ 2500 Cash Check #2707

Value Of Project: \$ 250,000

**APPLICATION FOR A ZONING PERMIT**  
**GIBBON, NEBRASKA**

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Will's Construction LLC Contractor: Will's Construction LLC  
Address: 2205 Turkey Creek Blvd Certificate of Insurance:  
City, State, Zip: Kearney NE 68805 Address: 2205 Turkey Creek Blvd  
Phone Number: 308-293-0348 Phone Number:  
Cell Number: 508 Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot #3  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
Distance From Side Property Line: 16' Distance From 2<sup>nd</sup> Side Line: 16'  
Distance Between Other Buildings (minimum 5'): N/A  
Height To The Top Of Roof: 15'  
Footing Depth (42" minimum): N/A on Plans  
Is There A Utility Easement On Either The Back Or Side Property? Back  
Approximately When Will Construction Begin? June 2021 Finish?

\*Contact: 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: [Signature]

Signature of Chairman

[Signature]  
Signature of Co-Chairman

[Signature]  
Signature of Board Member

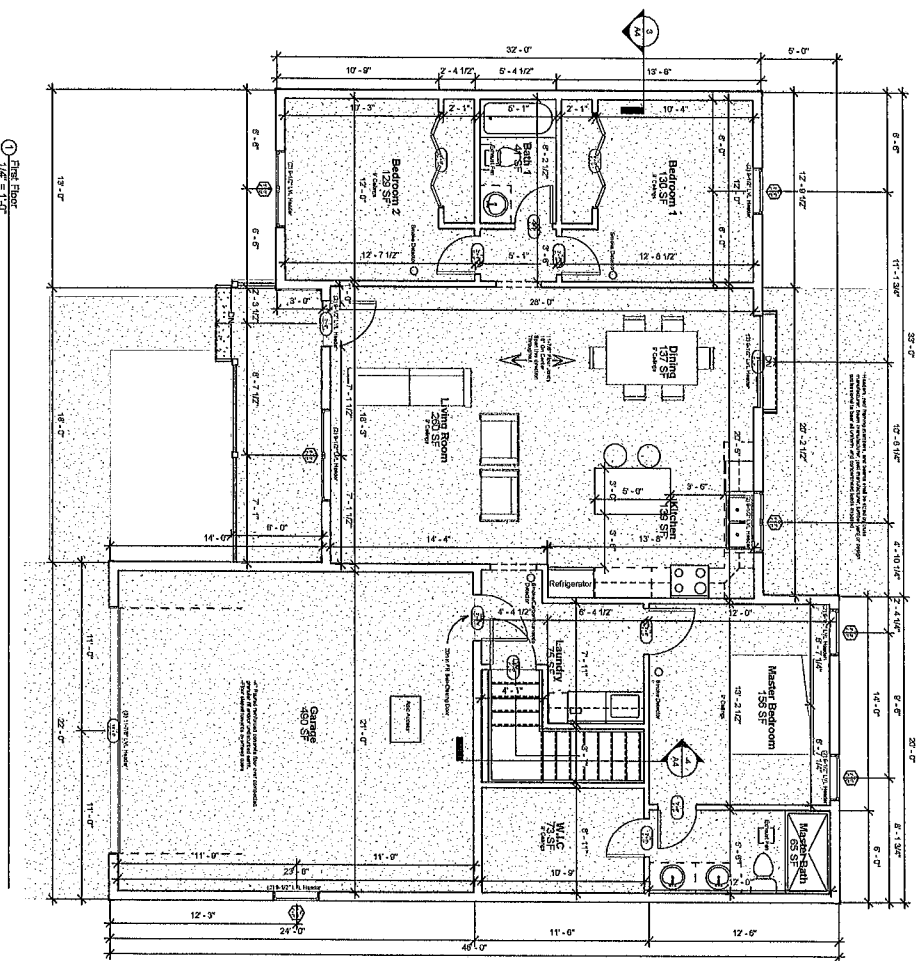
Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

Door Schedule								
Door Number	Door Type	Door Size	Manufacturer	Model	Frame Type	Finish	Description	Comments
5	6	36						
6	6	36						
7	6	36						
8	6	36						
9	6	36						
10	6	36						
11	6	36						
12	6	36						
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26	6	36						
27	6	36						
28	6	36						
29	6	36						
30	6	36						
31	6	36						
32	6	36						




Area Schedule (Relative)			
Area Type	Level	Area	Perimeter
Building Common Area	First Floor	4,472 SF	1,897'-6"
Building Common Area	Basement	1,484 SF	1,897'-0"
Building Common Area	First Floor	1,328 SF	1,827'-11"

Shaul Designers, L.L.C. represents its plans as being prepared by its Licensed Professional Engineer, Robert A. Shaul. It is the responsibility of the contractor to verify the accuracy of the information provided in these plans. Shaul Designers, L.L.C. shall not be responsible for any damages resulting from the use of these plans. The contractor shall verify the accuracy of the information provided in these plans. The contractor shall verify the accuracy of the information provided in these plans. The contractor shall verify the accuracy of the information provided in these plans.

Shaul Designers, L.L.C.  
 2701 B Street - Corning, NE 68304  
 Phone (408) 623-4855  
 Email: shaul@shaul-designers.com

www.shaul-designers.com



Project Number: 21-545  
 Date: 3-10-21  
 Drawn by: NS  
 Checked by: NA

Scale: 1/4" = 1'-0"

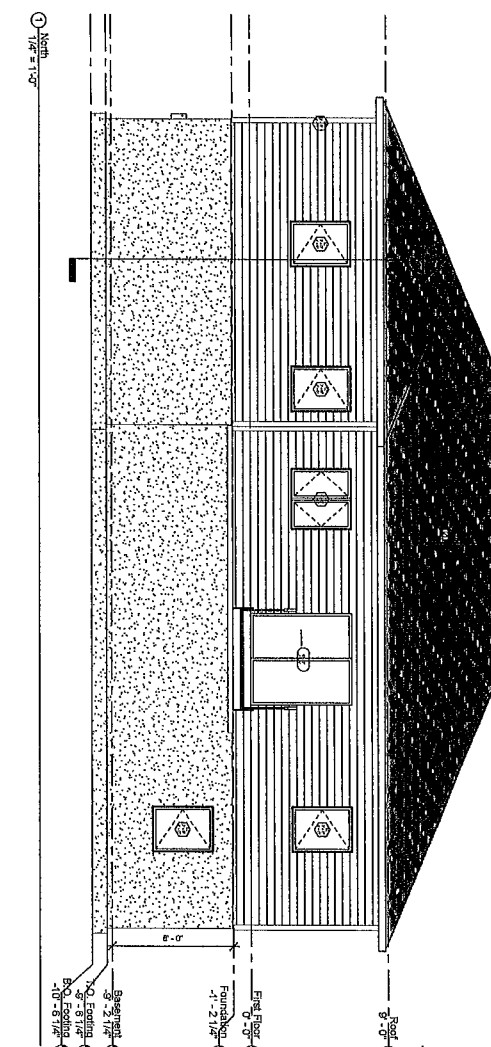
Project Address: Gibbon, NE 68340

Project Name: Gibbon Spec 1

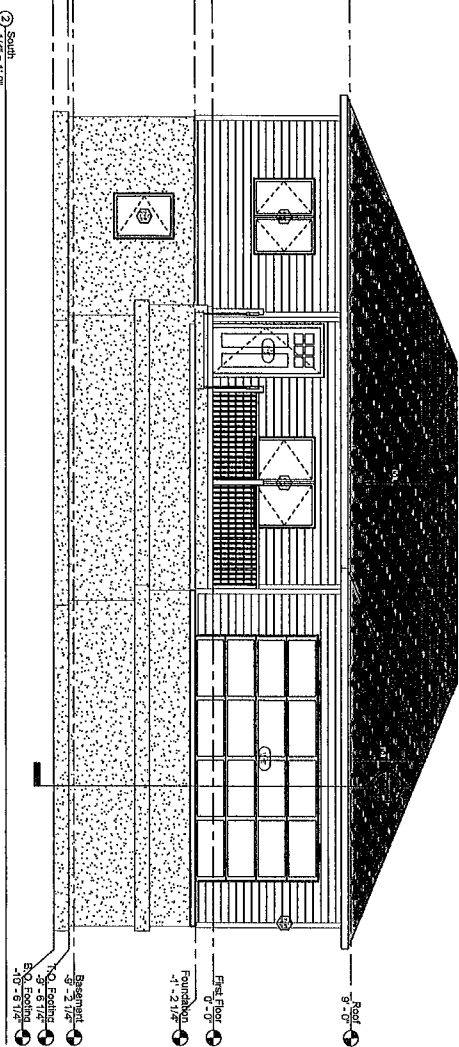
Client Name: Willis



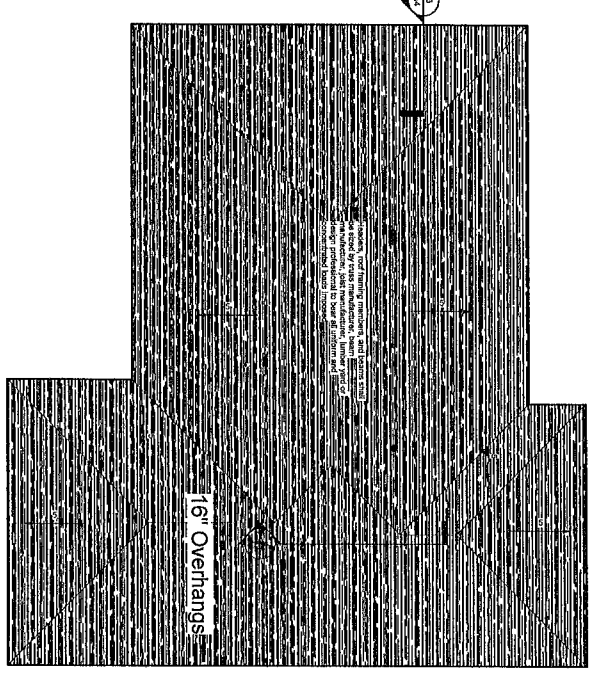




1 North  
1/4" = 1'-0"



2 South  
1/4" = 1'-0"



3 Roof Plan  
3/16" = 1'-0"

Material Description	Material Takeoff	Comments
Asphalt roofing shingles	2527 SF	
Flashed, flashing grade	2527 SF	
Wood framing, insulated	2527 SF	

Assembly Description	Area	Length
Exterior Wall Construction	1841 SF	205' - 7 3/4"
Exterior Wall Insulation	1841 SF	6' - 5 3/4"
Foundation Wall	1710 SF	259' - 5"
Partitions - Drywall w/ Metal Stud	1819 SF	459' - 2"

Material Name	Material	Comments
AC Intimation Barrier	1841 SF	
Concrete, Cast-in-Place gray	1710 SF	
Exterior Wall Insulation	1710 SF	
Exterior Wall Stud	1710 SF	
Flashed, Flashing	1710 SF	
Flashed, Flashing	1841 SF	
Shear	1841 SF	
Sliding, Capboard	1841 SF	
Sawnwood, Lumber	1841 SF	
Vapor Retarder	1841 SF	

Material Name	Material	Comments
Gypsum Wall Board (5/8") SF	1428 SF	
Head Stud Layer	1428 SF	

Material Name	Material	Comments
Concret (1)	1428 SF	
Concrete, Cast-in-Place gray/2588 SF	1428 SF	
Flashed, Flashing	1428 SF	
Structure, Wood Joist/Rafter Layer	1428 SF	

Shaul Design LLC prepared this plan set for use by the Customer. However, adaptation of the plans to meet specific state and local building codes and regulations, and specific site conditions, is the responsibility of the Customer. Shaul Design LLC is not responsible for any errors or omissions in the drawings, and cannot be held liable for any damages or claims resulting from the use of the drawings. All construction is to comply with all State and Local Codes. Construction to meet the following: 2018 IRC, 2018 IRC, 2018 IRC, 2017 NYS, 2009 NBC, 2009 NBC. Underlaid use in copies of these plans, or the design team, drawings, rights under the Copyright Act. Drawings and specifications shall include quantities of up to \$20,000 per work required, and up to \$10,000 per work required, respectively.

Shaul Design LLC  
 2018 Ave 1st, Corning, NY 13612  
 Tel: 315-437-1111  
 Email: info@shaul-design.com

www.shaul-design.com

No.	Description	QTY

Project Address  
 Gibson, NE 68940

Walls

Gibson Spec 1

Elevations

Sheet Number	Date	Drawn By	Checked By
21-345	3-10-21	BS	NA

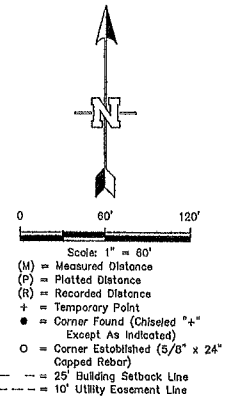
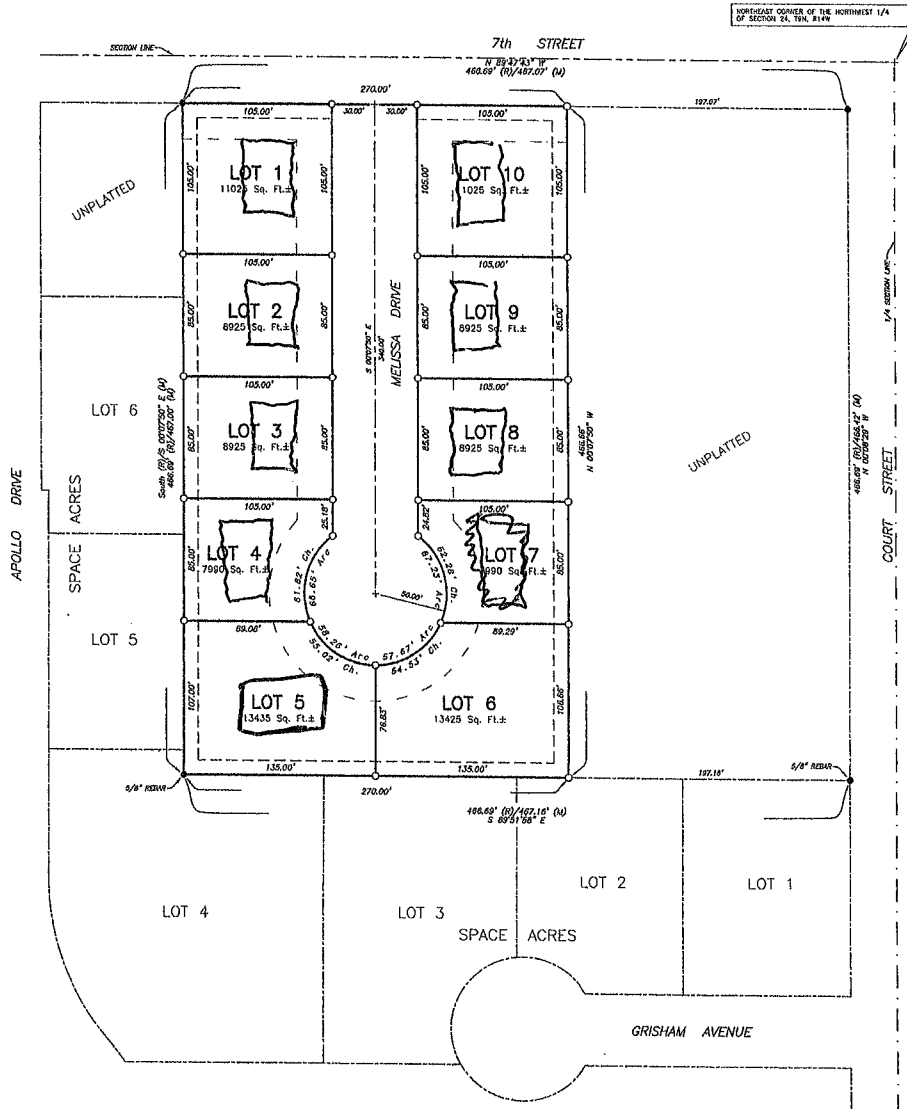
A3

AS INHERITED



# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



NOTE: 2.89 Ac± TOTAL

### LEGAL DESCRIPTION

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

### SURVEYOR'S CERTIFICATE

I, Trenton D. Snow, a Professional Land Surveyor licensed in the State of Nebraska, do hereby certify that I surveyed "BC ESTATES", a subdivision being part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as shown on the above plat. The lots are well and accurately staked and marked; the dimensions of the lots are as shown on the above plat; the lots bear their own number; and the survey was made using known and recorded monuments. All information shown hereon is true and correct to the best of my knowledge and belief.

(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date

TRENTON D. SNOW, LLC  
A Land Surveying Company



1809 Central Avenue  
P.O. Box 1772  
Fremont, NE 68606  
Office (408) 236-1764  
Fax (408) 237-7619  
Cellular (408) 236-1000  
www.febneksurveys.com



Permit No. 2021-10

Zoning Classification: (Circle One)

Date Paid: 4-16-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Fee Paid: \$ 2500 Cash Check # 2707

Value Of Project: \$ 250,000

**APPLICATION FOR A ZONING PERMIT**  
**GIBBON, NEBRASKA**

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Will's Construction LLC Contractor: Will's Construction LLC  
Address: 2205 Turkey Creek Blvd Certificate of Insurance:  
City, State, Zip: Kearney NE 68845 Address: 2205 Turkey Creek Blvd  
Phone Number: 308-293-0348 Phone Number:  
Cell Number: Same Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot 4  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
Distance From Side Property Line: 16' Distance From 2<sup>nd</sup> Side Line: 16'  
Distance Between Other Buildings (minimum 5'): None  
Height To The Top Of Roof: 15'  
Footing Depth (42" minimum): None on Plans  
Is There A Utility Easement On Either The Back Or Side Property? Back  
Approximately When Will Construction Begin? June 2021 Finish?

\*Contact: 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: [Signature]  
Signature of Chairman

[Signature]  
Signature of Co-Chairman

[Signature]  
Signature of Board Member

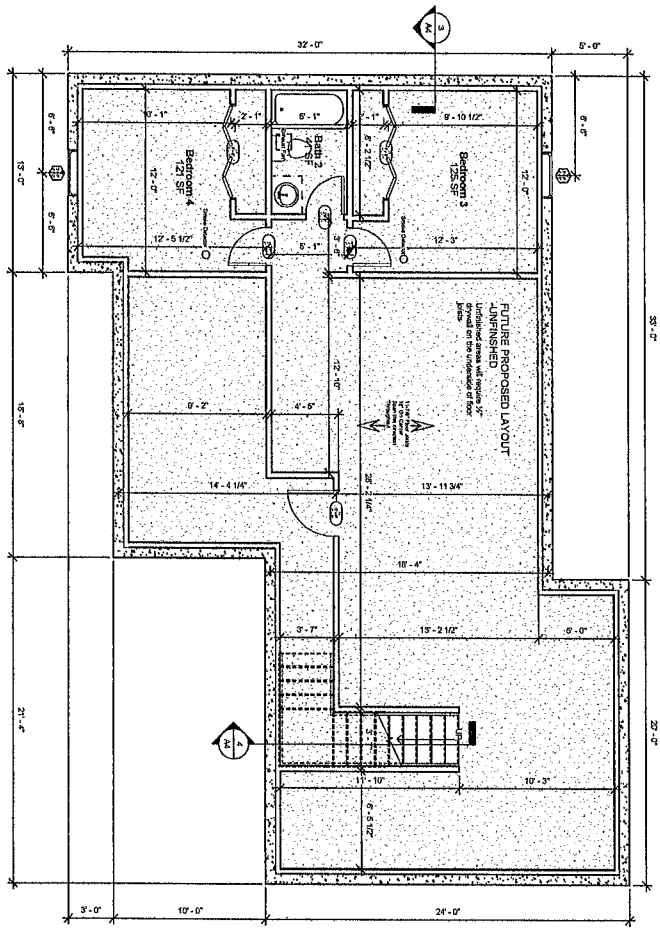
\*\*\*\*\*  
Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk





Basement  
1/4" = 1'-0"

Shaul Design, L.L.C. prepares its plans carefully, for use by the Customer. However, adaptation of the plans to meet specific state and local building codes and regulations, and specific site conditions, is the responsibility of the contractor. In addition, Shaul Design, L.L.C. will not be responsible for any damage resulting to the accuracy and overall integrity of the plans in excess of the license fee paid for their use. The contractor, therefore, must carefully verify all dimensions and details in the plans for errors or omissions.

All construction to comply with all State and Local Codes. Construction to meet the following 2018 IRC, 2018 IRC, 2018 IRC, 2017 NEC, 2009 IECC.

Unauthorized use or copying of these plans, or the design they depict, infringes rights under the Copyright Act. Infringer fees include those include penalties of up to \$20,000 per work infringed, and up to \$100,000 per work infringed willfully.

Willis	
Gibbon Spec 1	
Basement Plan	
Project number	31-245
Date	3-10-21
Drawn by	BS
Checked by	NA
Scale	A1
Sheet	1/4" = 1'-0"

Project Address  
Gibbon, NE 68640

Shaul Design, L.L.C.  
P.O. Box 1571 - Gering, NE 68341  
Phone (308) 837-4885  
Email: shaul@shaul-design.com

www.shaul-design.com

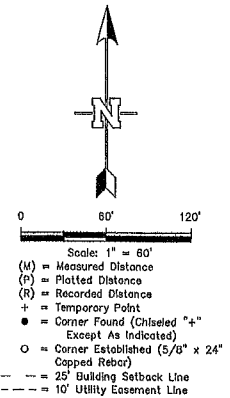
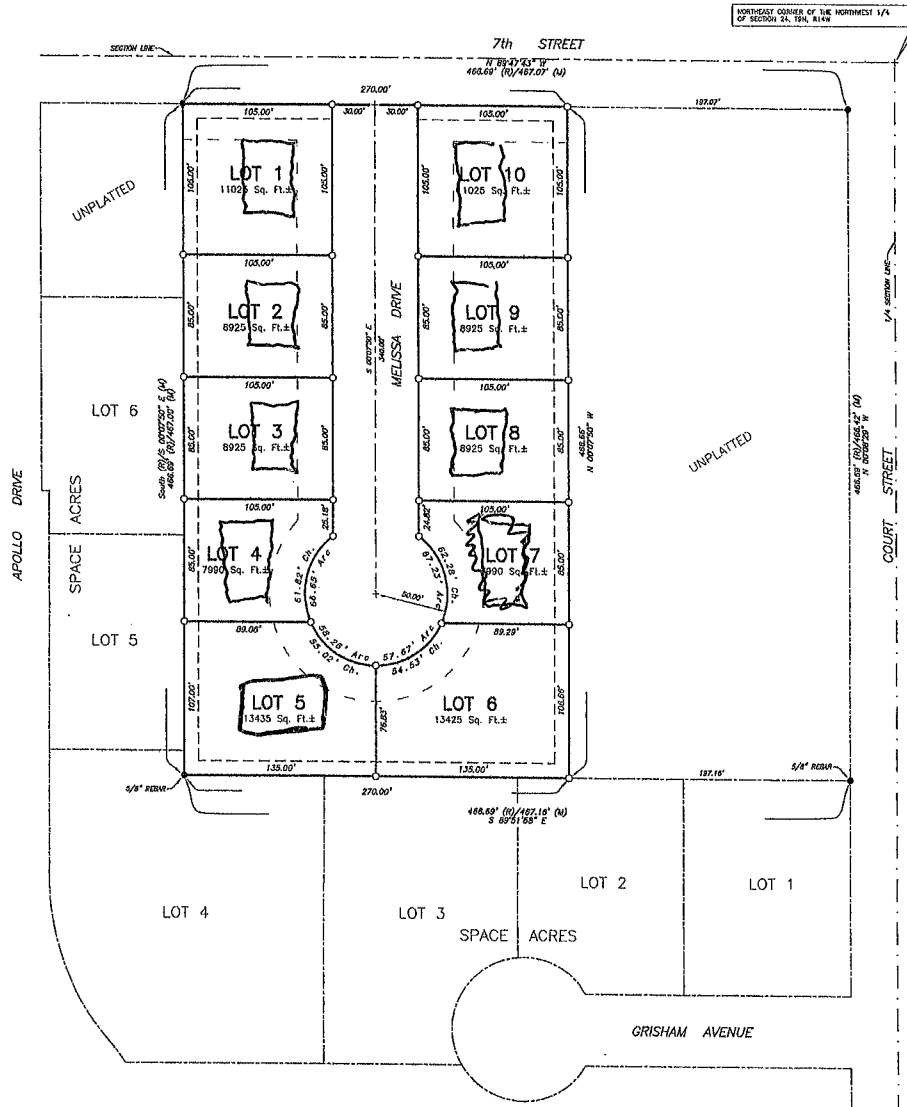






# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



NOTE: 2.89 Ac± TOTAL

### LEGAL DESCRIPTION

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

### SURVEYOR'S CERTIFICATE

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(S E A L)

Trenton D. Snow  
 Nebr. Reg. L.S. No. 626

Date

TRENTON D. SNOW, LLC  
 A Land Surveying Company



1309 Central Avenue  
 P.O. Box 1772  
 Kearney, NE 68646  
 Office (402) 234-1154  
 Fax (402) 237-7979  
 Cellular (402) 234-1000  
 www.nab-landsurveyors.com



Permit No. 2021-11

Zoning Classification: (Circle One)

Date Paid: 4-10-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,

F-1, PUD-1

Fee Paid: \$ 25.00 Cash Check # 2707

Value Of Project: \$ 250,000

**APPLICATION FOR A ZONING PERMIT  
GIBBON, NEBRASKA**

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Will's Construction LLC Contractor: Will's Construction LLC  
Address: 2205 Turkey Creek Blvd Certificate of Insurance: \_\_\_\_\_  
City, State, Zip: Kearney NE 68805 Address: 2205 Turkey Creek Blvd  
Phone Number: 308-293-0348 Phone Number: \_\_\_\_\_  
Cell Number: Scam Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot #5 *change from 7 to 5 per mark 4/12/21 See Acty*  
(If none, one must be issued from the City of Gibbon)  
 New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
Distance From Side Property Line: 16' Distance From 2<sup>nd</sup> Side Line: 16'  
Distance Between Other Buildings (minimum 5'): N/A  
Height To The Top Of Roof: 15'  
Footing Depth (42" minimum): N/A on Plans  
Is There A Utility Easement On Either The Back Or Side Property? Back  
Approximately When Will Construction Begin? June 2021 Finish? \_\_\_\_\_

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: \_\_\_\_\_  
Signature of Chairman  
Signature of Co-Chairman  
Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk





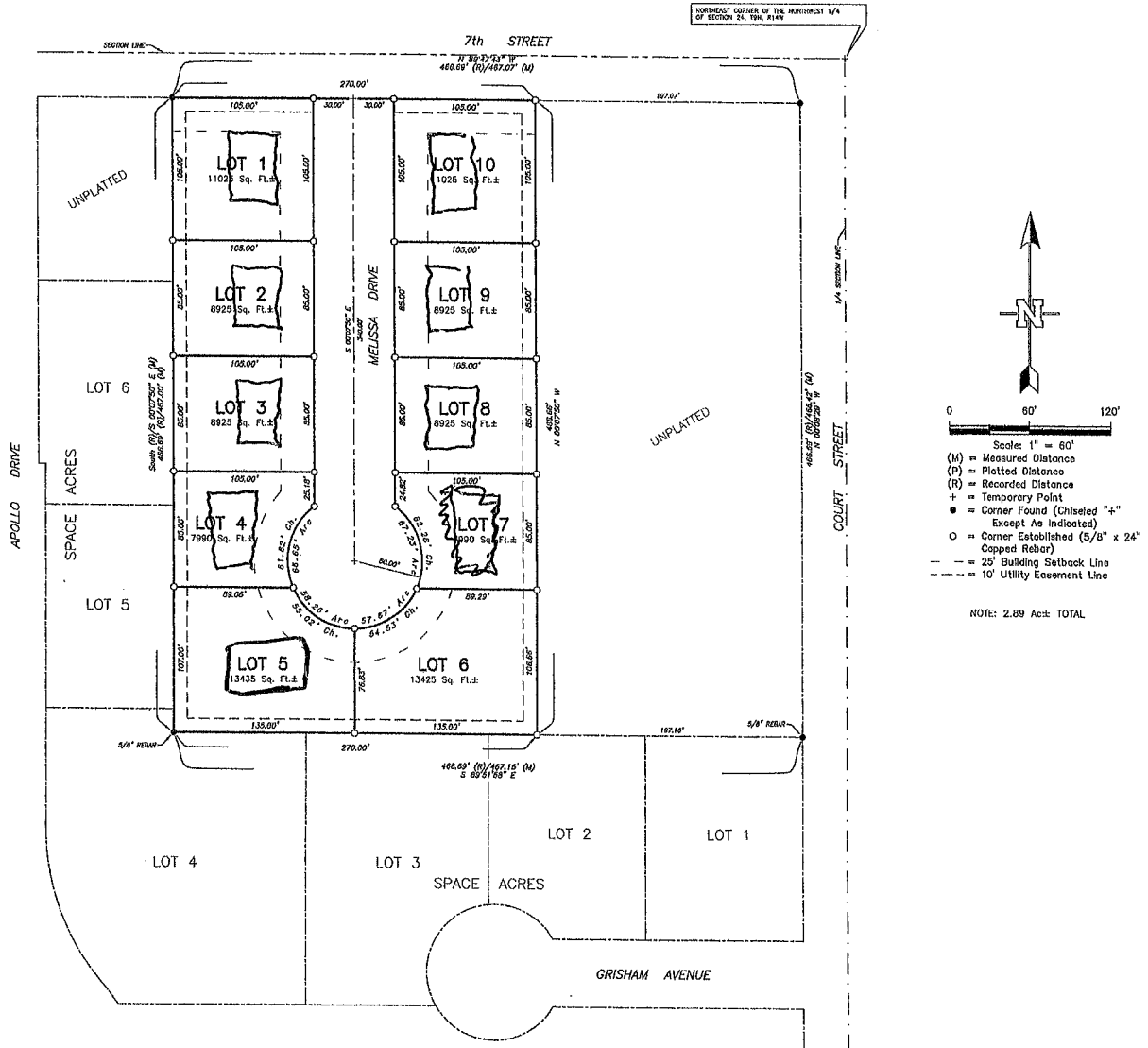






# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4  
OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE  
SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



**LEGAL DESCRIPTION**

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

**SURVEYOR'S CERTIFICATE**

I, Trenton D. Snow, a Professional Land Surveyor licensed in the State of Nebraska, do hereby certify that I surveyed "BC ESTATES", a subdivision being part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as shown on the above plat. The lots are well and accurately staked and marked; the dimensions of the lots are as shown on the above plat; the lots bear their own number; and the survey was made using known and recorded monuments. All information shown hereon is true and correct to the best of my knowledge and belief.

(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date \_\_\_\_\_

TRENTON D. SNOW, LLC  
A Land Surveying Company



1309 Central Avenue  
P.O. Box 1772  
Nebraska, NE 68504  
Office: (308) 234-1754  
Fax: (308) 237-7919  
Cellular: (308) 234-1922  
www.tds-surveying.com



Permit No. 2021-12

Zoning Classification: (Circle One)

Date Paid: 4-16-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,

F-1, PUD-1

Fee Paid: \$ 2500 Cash Check # 2707

Value Of Project: \$ 250,000

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Willis Construction LLC Contractor: Willis Construction LLC  
 Address: 2205 Turkey Creek Blvd Certificate of Insurance: \_\_\_\_\_  
 City, State, Zip: Keosauqua NE 68305 Address: 2205 Turkey Creek Blvd  
 Phone Number: 308-293-0348 Phone Number: \_\_\_\_\_  
 Cell Number: Same Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot 8  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
 Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
 Distance From Side Property Line: 16' Distance From 2<sup>nd</sup> Side Line: 16'  
 Distance Between Other Buildings (minimum 5'): N/A  
 Height To The Top Of Roof: 15'  
 Footing Depth (42" minimum): N/A on Plans  
 Is There A Utility Easement On Either The Back Or Side Property? Back  
 Approximately When Will Construction Begin? June 2021 Finish? \_\_\_\_\_

\*Contact: 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

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\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: [Signature]  
 Signature of Chairman  
[Signature] Signature of Co-Chairman  
[Signature] Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk





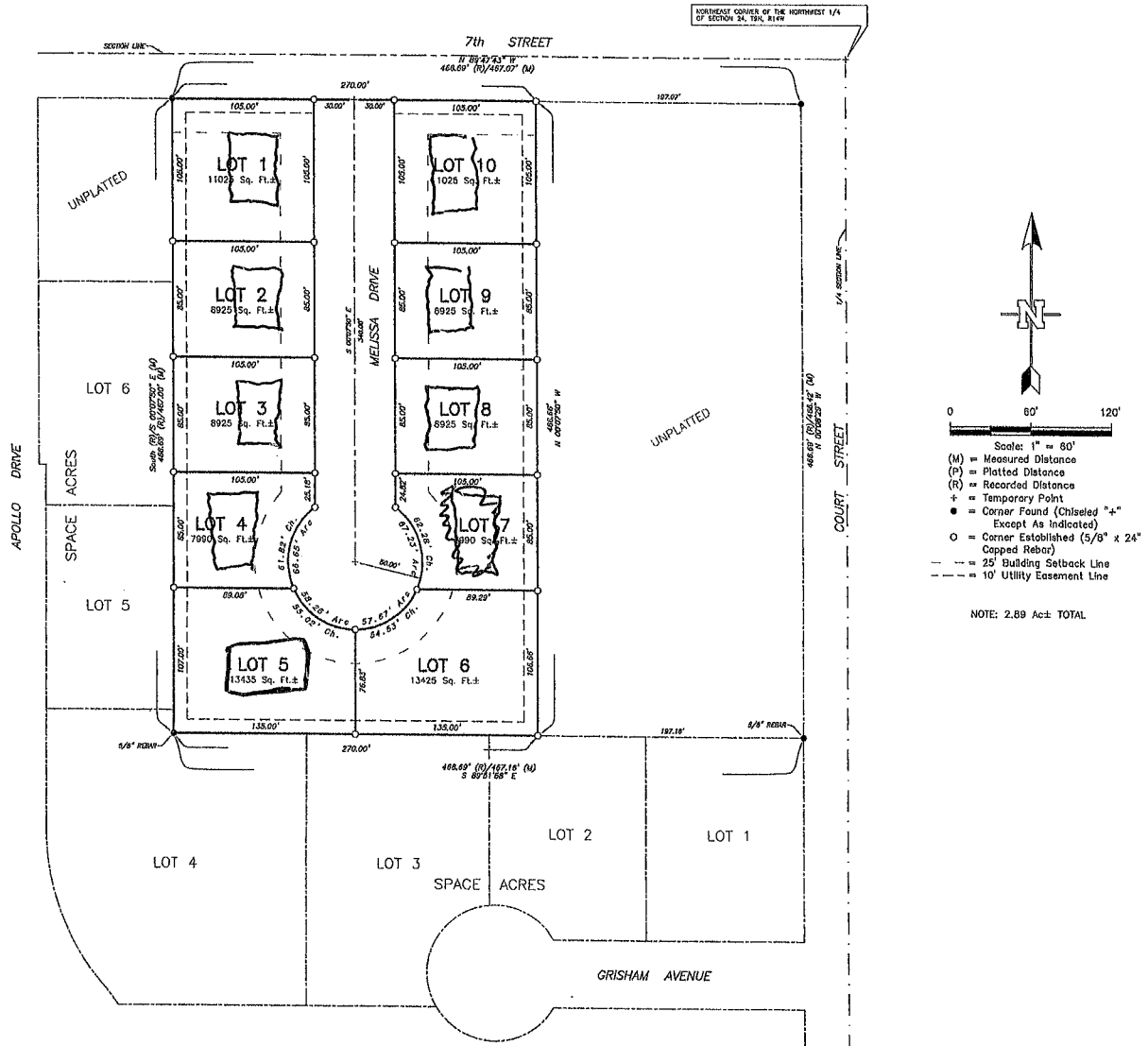






# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



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(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date

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A Land Surveying Company



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P.O. Box 1772  
Hastings, NE 68404  
Office (402) 234-1754  
Fax (402) 237-7070  
Cellular (402) 234-1010  
www.nbrstasurveys.com



Permit No. 2021-13

Zoning Classification: (Circle One)

Date Paid: 4-10-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,

F-1, PUD-1

Fee Paid: \$ 25.00 Cash Check # 2707

Value Of Project: \$ 250,000

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately, and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Willis Construction, LLC Contractor: Willis Construction LLC  
 Address: 2205 Turkey Creek Blvd Certificate of Insurance: \_\_\_\_\_  
 City, State, Zip: Kearney NE 68305 Address: 2205 Turkey Creek Blvd  
 Phone Number: 308-293-0348 Phone Number: \_\_\_\_\_  
 Cell Number: Same Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot 9  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
 Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
 Distance From Side Property Line: 16' Distance From 2<sup>nd</sup> Side Line: 16'  
 Distance Between Other Buildings (minimum 5'): N/A  
 Height To The Top Of Roof: 15'  
 Footing Depth (42" minimum): N/A on Plans  
 Is There A Utility Easement On Either The Back Or Side Property? Back  
 Approximately When Will Construction Begin? June 2021 Finish? \_\_\_\_\_

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

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Signature of Applicant: [Signature]

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Recommendations needed before approval:

Approval of Planning Commission: [Signature]

Signature of Chairman

Signature of Co-Chairman

Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

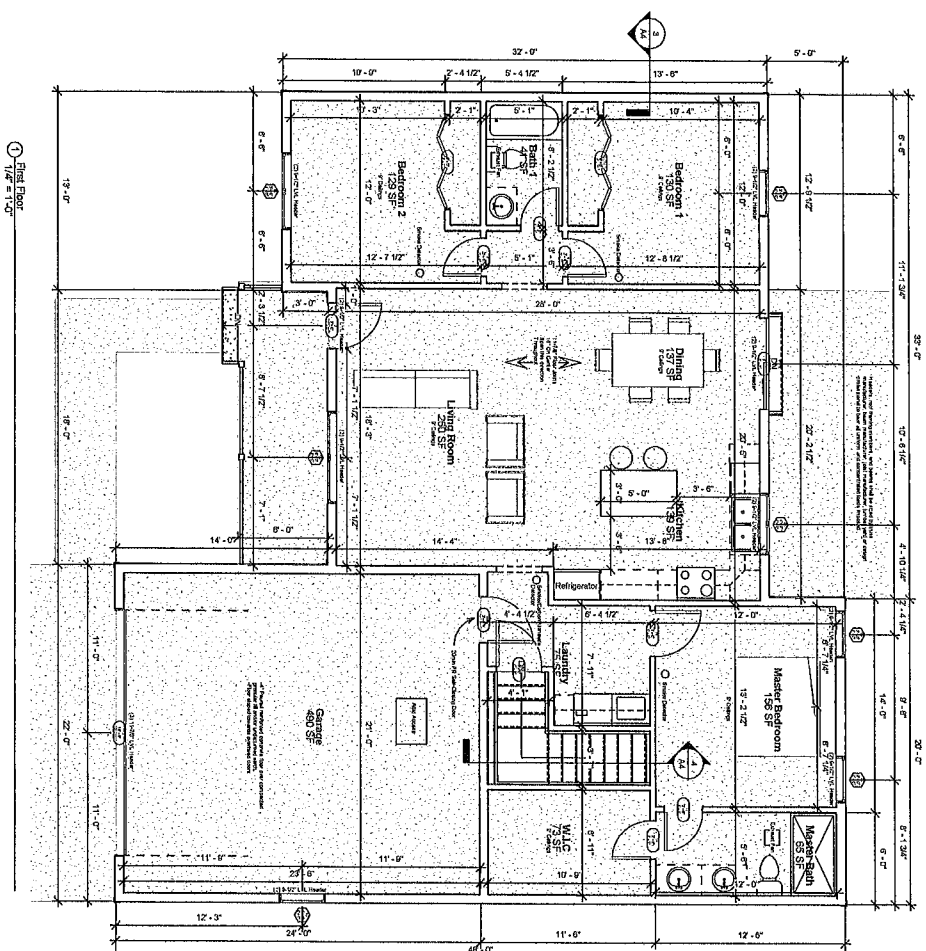
Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

Door Schedule										
Door Number	Door Type	Door Size	Manufacturer	Model	Frame Type	Description	Finish	Comments		
5	88	35" x 54"								
6	38	30" x 80"								
9	38	30" x 80"								
10	80	30" x 80"								
11	80	30" x 80"								
12	80	72" x 80"								
13	80	15" x 8"								
14	39	35" x 80"								
15	39	35" x 80"								
16	39	35" x 80"								
17	38	30" x 80"								
18	38	35" x 80"								
20	39	35" x 80"								
21	88	72" x 80"								
22	38	30" x 80"								
23	38	30" x 80"								
24	80	72" x 80"								
25	80	72" x 80"								
26	80	72" x 80"								
27	38	30" x 80"								
28	38	30" x 80"								
29	38	30" x 80"								
30	89	35" x 80"								
31	89	35" x 80"								
32	89	35" x 80"								

Window Schedule										
Type	Roof/Opening Mark	Height	Type	Manufacturer	Model	Material	Finish	Head Height	Comments	
82	4'-0"	4'-0"	Casement Double					6'-0"		
83	5'-0"	4'-0"	Casement					6'-0"		
84	6'-0"	4'-0"	Casement Double					6'-0"		
85	5'-0"	4'-0"	Casement Double					6'-0"		



Area Schedule (Remaining)					
Area Type	Level	Area	Perimeter	Comments	
Building Common Area	First Floor	1472 SF	1827'-6"		
Building Common Area	Basement	1424 SF	1827'-0"		
Building Common Area	First Floor	625 SF	827'-3 1/2"		

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Project Name	Walls
Project Number	Gibbon Spec 1
Project Address	First Floor Plan
Drawn By	21-2-21
Checked By	3-10-21
Scale	1/4" = 1'-0"

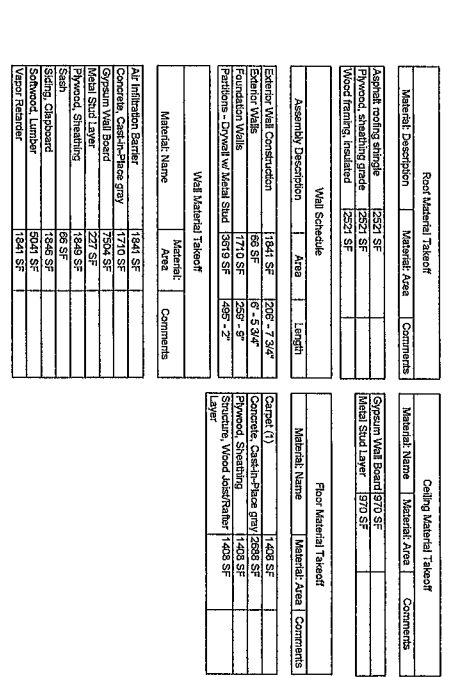
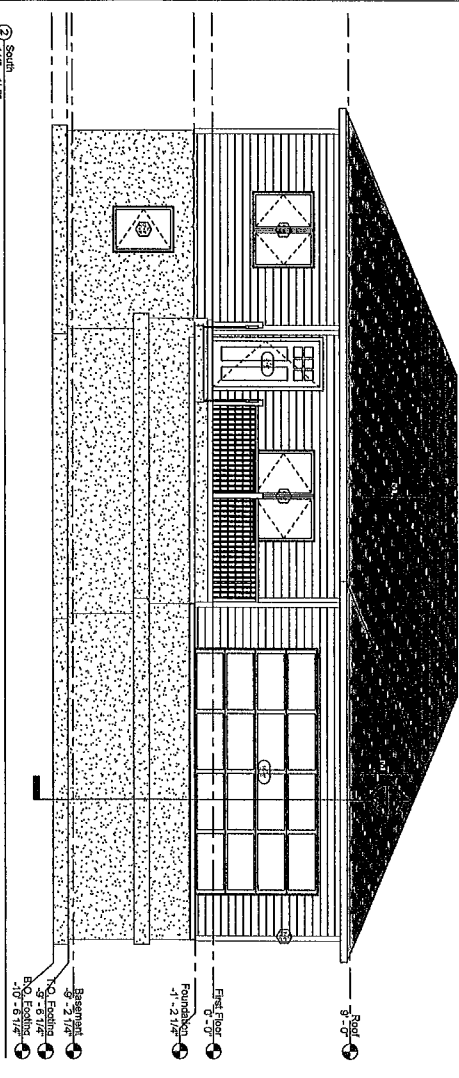
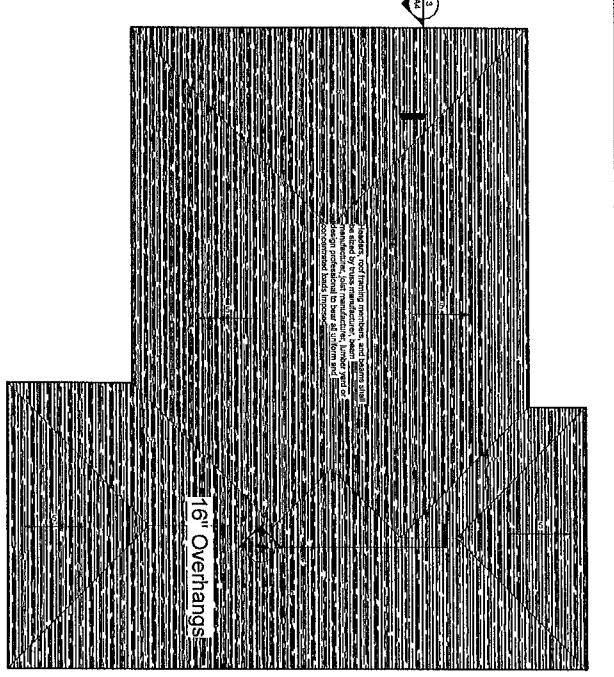
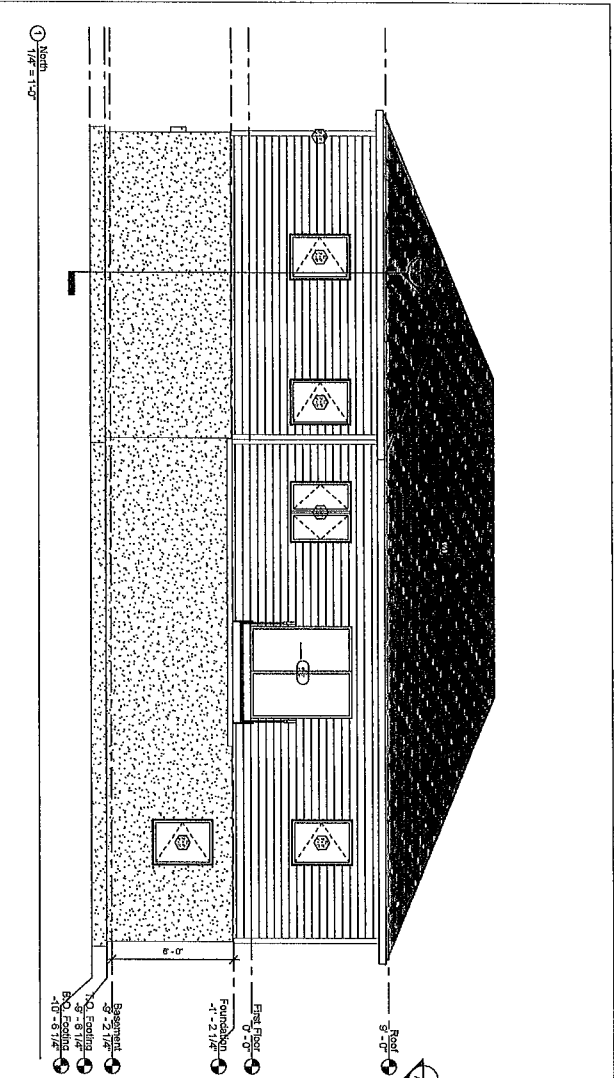
**Shaul Designs LLC**

Brady Shaul  
 Shaul Designs LLC  
 2100 17th Ave NE, Ste 200  
 Fargo, ND 58103  
 Phone (701) 681-9999  
 Email: info@shaul-designs.com

www.shaul-designs.com







Roof Plan  
3/16" = 1'-0"

Material Description	Material Area	Comments
Asphalt roofing shingles	3521 SF	
Plywood sheathing gable	2521 SF	
Wood trim, installed	2521 SF	

Assembly Description	Area	Length
Exterior Wall Construction	1841 SF	7'-3/4"
Exterior Walls	168 SF	6'-5 3/4"
Foundation Walls	1710 SF	257' - 9"
Partitions - Drywall w/ Mineral Slat	3519 SF	459' - 2"

Material Name	Material Area	Comments
Al1 Infiltration Barrier	1841 SF	
Concrete, Cast-in-Place Gray	1710 SF	
Exterior Wall Board	229 SF	
Plywood, Sheathing	1848 SF	
Siding, Clapboard	1848 SF	
Softwood Lumber	1841 SF	
Vapor Retarder	1841 SF	

Material Name	Material Area	Comments
Ceiling Material Takeoff		
Gypsum Wall Board (5/8\"/>		

Material Name	Material Area	Comments
Floor Material Takeoff		
Carpet (1)	1428 SF	
Concrete, Cast-in-Place Gray	2588 SF	
Plywood, Sheathing	1408 SF	
Structural, Wood Joist/Rafter	1408 SF	
gyp		

Shaul Design LLC prepares the plans as they are by the Customer. However, adaptation of the plans to meet specific state and local building codes and regulations, and specific site conditions is the responsibility of the contractor. The contractor is responsible for obtaining all necessary permits and ensuring that the drawings and overall integrity of the plans are correct for their use. The contractor is responsible for all changes and overall integrity of the plans are correct for their use. The contractor is responsible for all changes and overall integrity of the plans are correct for their use.

All construction to comply with all State and Local Codes. Construction to meet the following 2018 IRC, 2018 IEBC, 2015 UPC, 2017 NRC, 2009 IEBC.

Unauthorized use or copying of these plans, or the design they depict, without the express written consent of Shaul Design LLC is prohibited. Penalties of up to \$50,000 per work infringement, and up to \$1,000,000 per work infringement apply.

**Shaul Design LLC**  
 2010 Beech Street, Spring, VA 22151  
 Phone: 540-353-1111  
 Email: info@shaul-design.com

www.shaul-design.com

**Shaul Design LLC**

Project Name: Gibbon Spec 1 Elevations

Drawn by: 31-2-5

Checked by: 3-10-21

Scale: AS Indicated

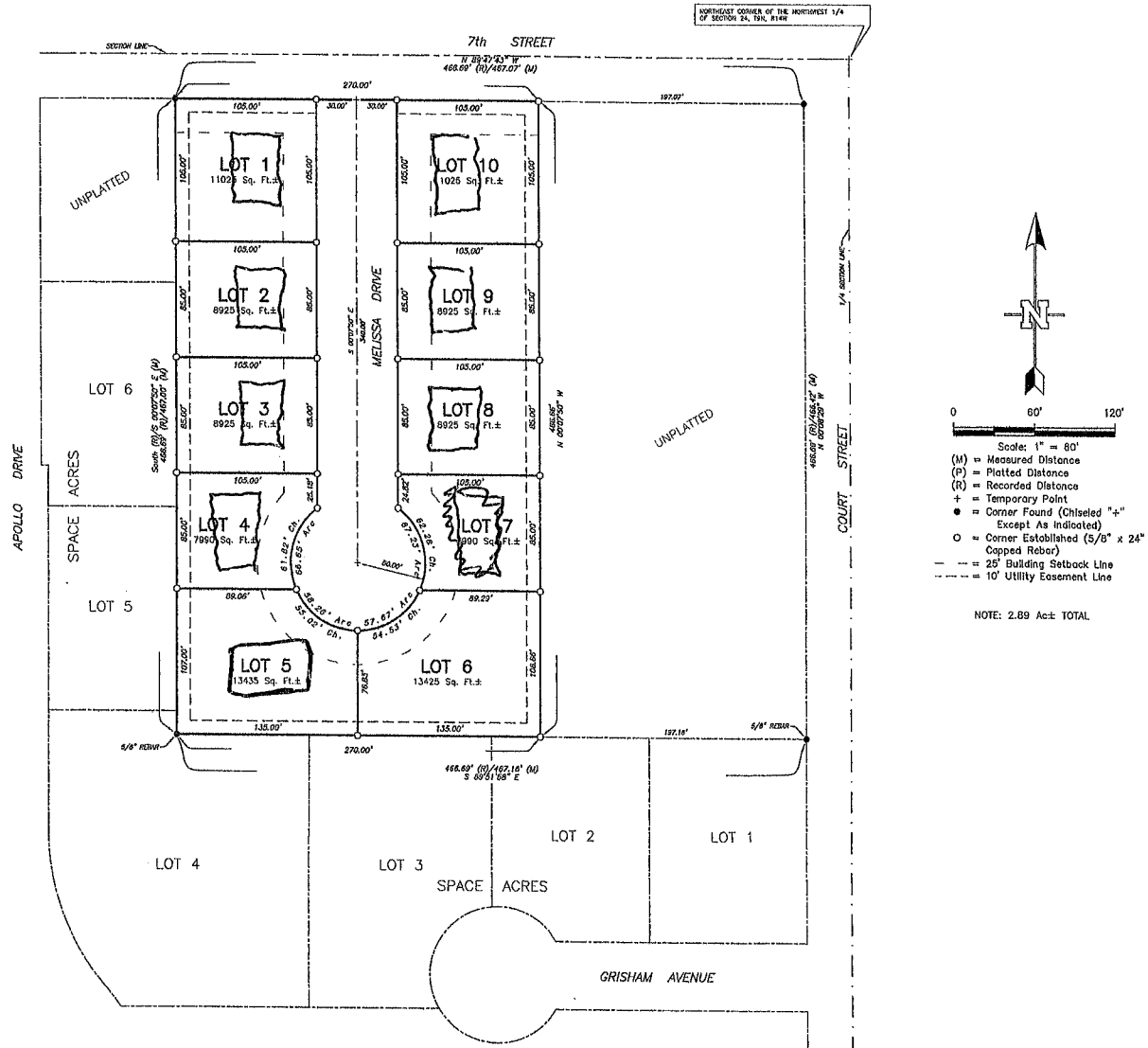
Project Address: Gibson, NE 69640

Wills



# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4  
OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE  
SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



### LEGAL DESCRIPTION

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

### SURVEYOR'S CERTIFICATE

I, Trenton D. Snow, a Professional Land Surveyor licensed in the State of Nebraska, do hereby certify that I surveyed "BC ESTATES", a subdivision being part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as shown on the above plat. The lots are well and accurately staked and marked; the dimensions of the lots are as shown on the above plat; the lots bear their own number; and the survey was made using known and recorded monuments. All information shown hereon is true and correct to the best of my knowledge and belief.

(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date

TRENTON D. SNOW, LLC  
A Land Surveying Company



1309 Central Avenue  
P.O. Box 1772  
Kearney, NE 68645  
Office: (402) 234-1754  
Fax: (402) 237-7679  
Cellular: (402) 293-1656  
www.rdb-surveyors.com



Permit No. 2021-14

Zoning Classification: (Circle One)

Date Paid: 4-6-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Fee Paid: \$ 2500 Cash Check # 2707

Value Of Project: \$ 250,000

**APPLICATION FOR A ZONING PERMIT**  
**GIBBON, NEBRASKA**

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Will's Construction LLC Contractor: Will's Construction LLC  
Address: 2205 Turkey Creek Blvd Certificate of Insurance:  
City, State, Zip: Keosauqua NE 68305 Address: 2205 Turkey Creek Blvd  
Phone Number: 308-293-0348 Phone Number:  
Cell Number: 508-293-0348 Cell Number: 308-293-0348

Address of Construction Site: Need them issued Lot 10  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: New Home Dimension of Structure: 37' x 53'  
Distance From Front Property Line: 25' Distance From Rear Property Line: 40'  
Distance From Side Property Line: 26' Distance From 2<sup>nd</sup> Side Line: 26'  
Distance Between Other Buildings (minimum 5'): N/A  
Height To The Top Of Roof: 15'  
Footing Depth (42" minimum): N/A on Plans  
Is There A Utility Easement On Either The Back Or Side Property? Back  
Approximately When Will Construction Begin? June 2021 Finish?

\*Contact: 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: \_\_\_\_\_  
Signature of Chairman  
Signature of Co-Chairman  
Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

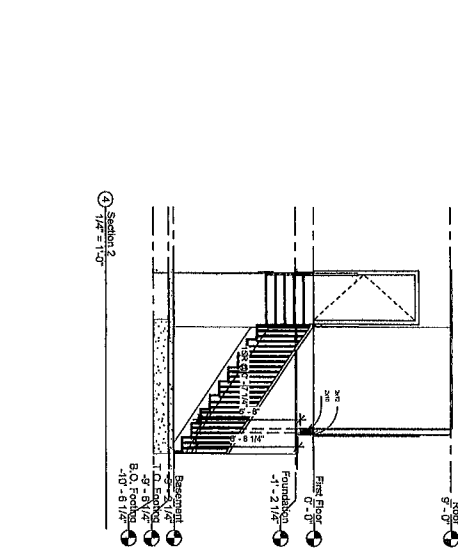
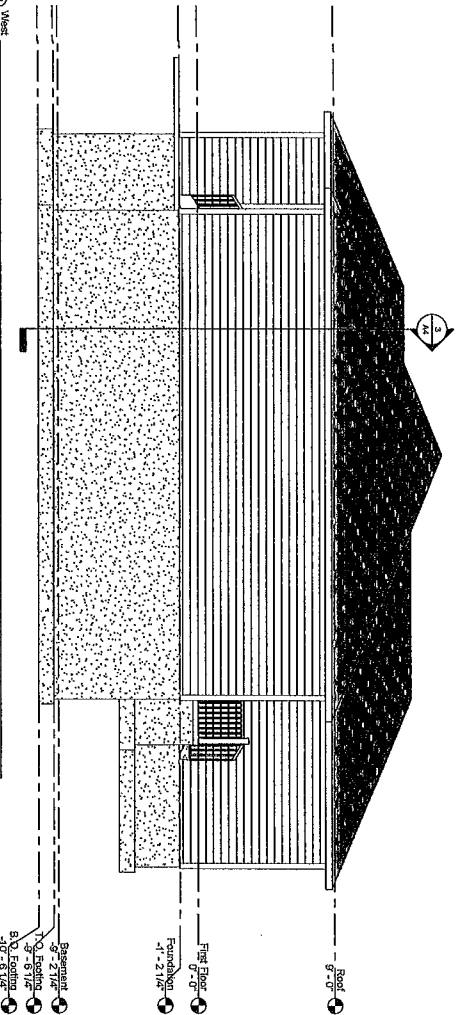
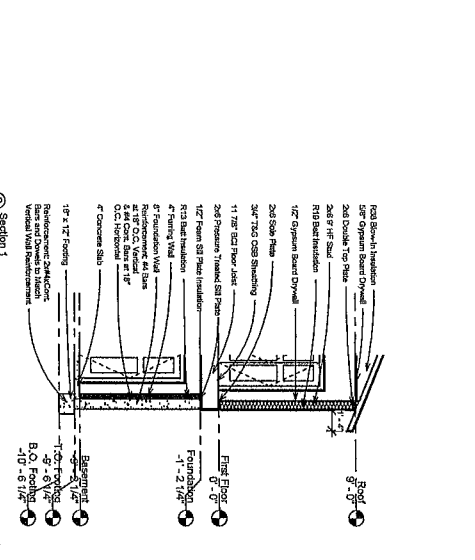
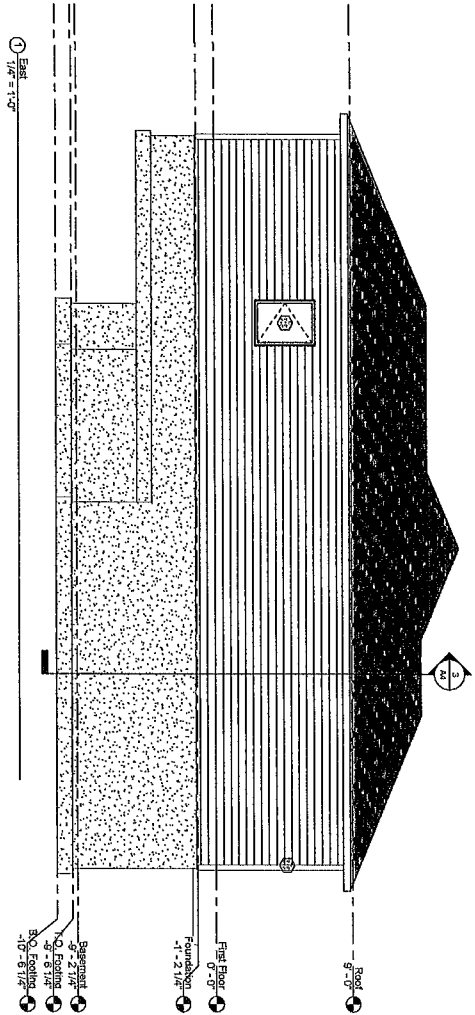
Attest: \_\_\_\_\_  
City Clerk











1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

Standard Drawings I.L.C. requires the plans carefully for use by its Customers. However, adaptation of the plans to meet specific needs and local building codes and regulations, and specific use conditions is the responsibility of the user. The user must verify the accuracy of the plans, ensure that all items are shown, and that the dimensions and overall integrity of the plans are correct for their use. The user must verify that all dimensions and details in the plans for errors or omissions.

All construction to comply with all State and Local Codes. Construction to meet the following: 2015 IRC, 2015 IBC, 2015 UPC, 2017 NEC, 2009 IECC.

Unauthorized use or copying of these plans, or the design they depict, infringes rights under the Copyright Act. Infringers may be liable for damages and penalties of up to \$200,000 per work infringed, and up to \$100,000 per work infringed willfully.

Brady Shaul  
 Shaul Designs I.L.C.  
 200 Ave of Commerce, N.Z. 08931  
 717-261-1234  
 brady@shaul-designs.com

www.shaul-designs.com



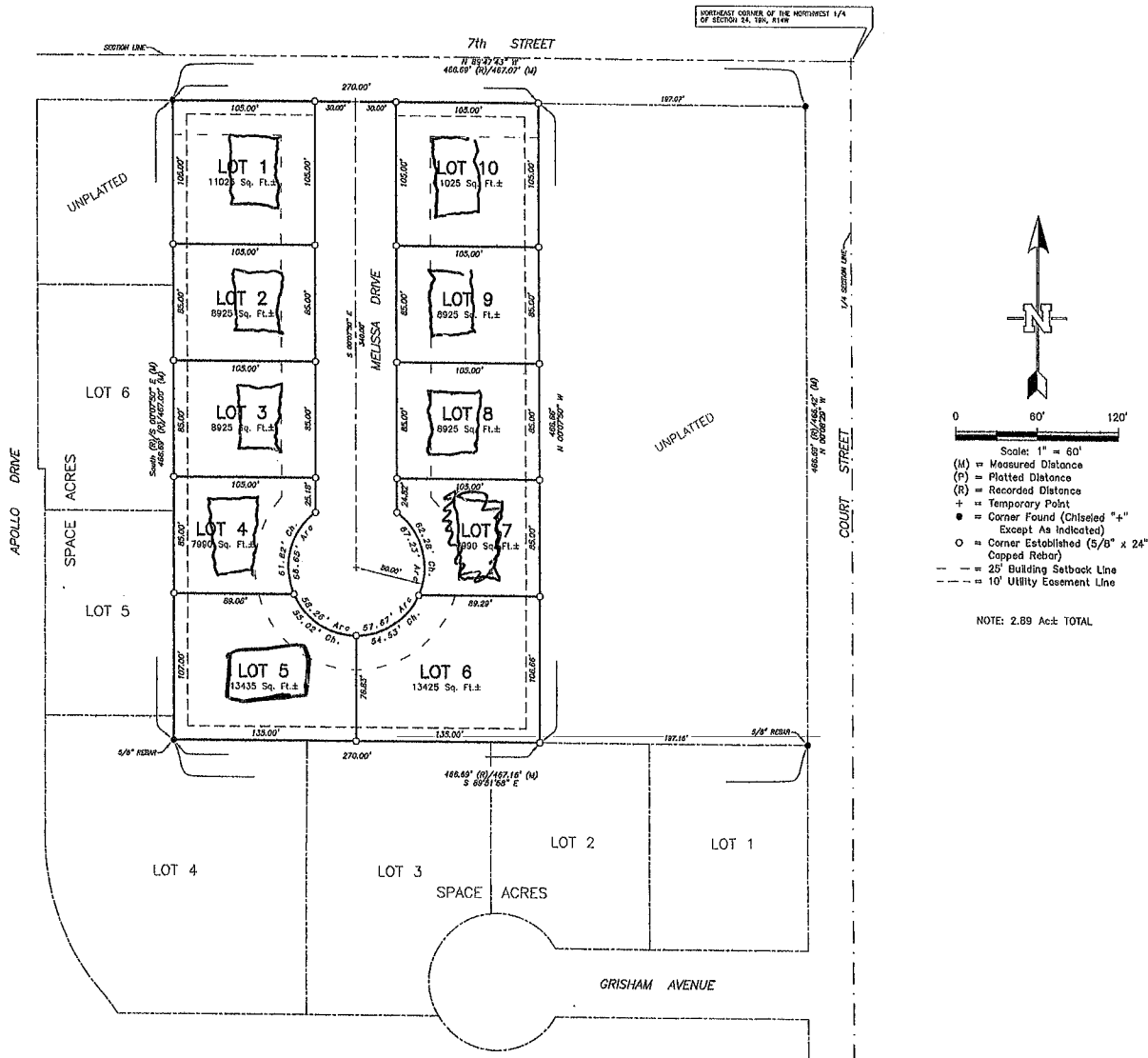
No.	Description	Date

Project Address  
 Gibbon, NE 68840

Project Name	21-3-5
Client	3-10-21
Drawn By	BS
Checked By	NA
Scale	1/4" = 1'-0"

# BC ESTATES

A SUBDIVISION BEING PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 14 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BUFFALO COUNTY, NEBRASKA



### LEGAL DESCRIPTION

The West 270.0 feet of the following described tract of land: A tract of land being part of the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section Twenty-four (24), Township Nine (9) North, Range Fourteen (14) West of the Sixth Principal Meridian more particularly described as follows: Beginning at a point 33 feet South and 33 feet West of the northeast corner of the Northwest 1/4 of said Section 24; thence West parallel to the north line of the Northwest 1/4 of said section a distance of 466.69 feet; thence South parallel to the east line of said Northwest 1/4 a distance of 466.69 feet; thence East parallel to the aforesaid north line a distance of 466.69 feet to a point 33 feet west of the east line of said Northwest 1/4; thence North parallel to the aforesaid east line a distance of 466.69 feet to the place of beginning.

### SURVEYOR'S CERTIFICATE

I, Trenton D. Snow, a Professional Land Surveyor licensed in the State of Nebraska, do hereby certify that I surveyed "BC ESTATES", a subdivision being part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as shown on the above plat. The lots are well and accurately staked and marked; the dimensions of the lots are as shown on the above plat; the lots bear their own number; and the survey was made using known and recorded monuments. All information shown hereon is true and correct to the best of my knowledge and belief.

(S E A L)

Trenton D. Snow  
Nebr. Reg. L.S. No. 626

Date

TRENTON D. SNOW, LLC  
A Land Surveying Company



1309 Central Avenue  
P.O. Box 1772  
Kearney, NE 68849  
Office: (408) 234-1764  
Fax: (408) 237-7639  
Cellular: (408) 932-1000  
www.ndsrls.com



Permit No. 2021-15

Zoning Classification: (Circle One)  
AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Date Paid: 4-9-21

Fee Paid: \$ 25<sup>00</sup> Cash ccard Check # \_\_\_\_\_

Value Of Project: \$ 2000

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Steve Yockey  
Address: 703 Piew Lane  
City, State, Zip: Gibbon NE  
Phone Number: 308-216-0920  
Cell Number: \_\_\_\_\_

Contractor: Self  
Certificate of Insurance: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Cell Number: \_\_\_\_\_

Address of Construction Site: 703 Piew Lane

(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: Pergola over patio Dimension of Structure: 24 x 20

Distance From Front Property Line: \_\_\_\_\_ Distance From Rear Property Line: 25 FT

Distance From Side Property Line: 15 FT Distance From 2<sup>nd</sup> Side Line: 35 FT

Distance Between Other Buildings (minimum 5'): \_\_\_\_\_

Height To The Top Of Roof: 10 FT

Footing Depth (42" minimum): \_\_\_\_\_

Is There A Utility Easement On Either The Back Or Side Property? \_\_\_\_\_

Approximately When Will Construction Begin? May 1 Finish? May 5

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_

(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: Steve Yockey

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval: \_\_\_\_\_

## Building Design

This Building Permit must include the following items:

- 1) All buildings must be drawn on the lot. This includes homes, garages, storage sheds, car ports, etc.
- 2) Once all buildings are drawn, you must show distances between all buildings. (This needs to be shown from the foundation.)
- 3) After showing distances between all existing buildings, draw in distances from the buildings to your lot lines.

4) Use the following for setbacks from your main building/house to your lot lines:

	<u>R-1</u>	<u>R-2</u>	<u>R-3</u>	<u>C-1</u>	<u>C-2</u>	<u>I</u>	<u>AGR</u>
Rear	10 Ft.	10 Ft.	10 Ft.	25 Ft.	0 Ft.	25 Ft	35 Ft
Side	7 Ft.	7 Ft.	7 Ft ***	None (*)	None (**)	25 Ft	20 Ft
Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

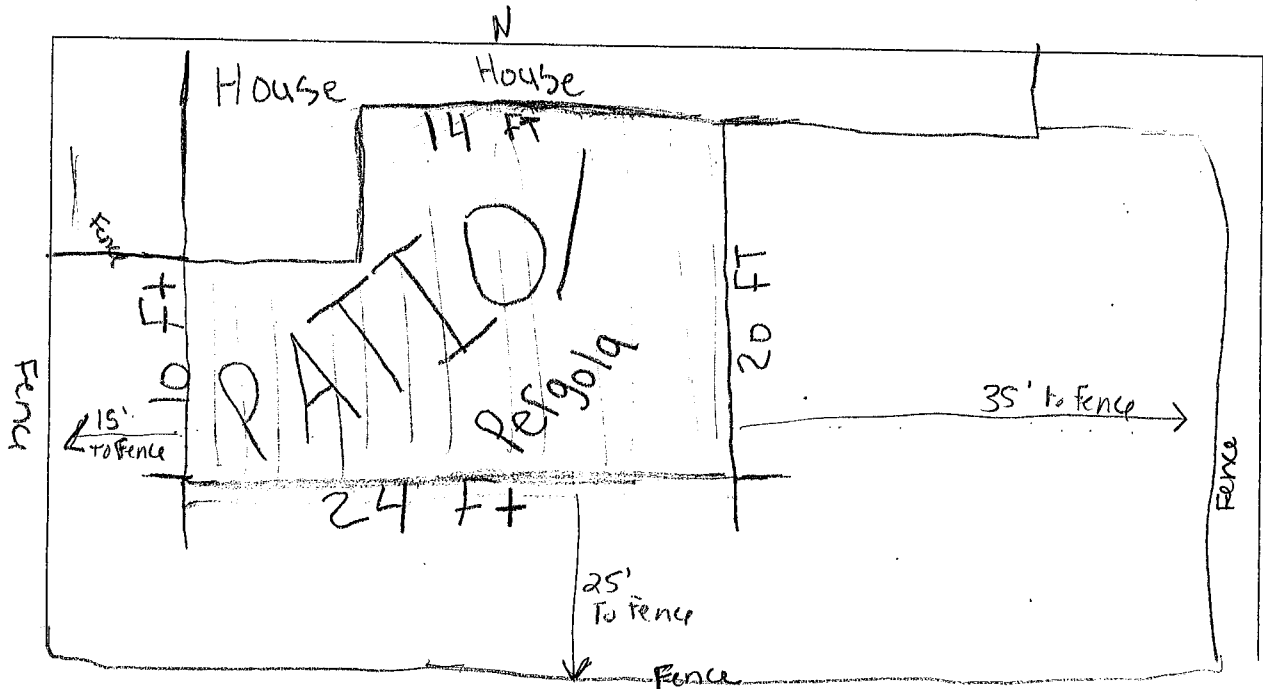
\*\*No Minimum is required except along side of a lot abutting on an A-1, TA-1, or Residential District, a side yard of not less than 15 feet shall be provided.

\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

- 5) **Accessory buildings.** No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.
- 6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

- 7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.



Permit No. 2021-16

Zoning Classification: (Circle One)

Date Paid: 4-16-2021

AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Fee Paid: \$ 25.00 Cash \_\_\_\_\_ Check # \_\_\_\_\_

Value Of Project: \$ 500.00

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Kris & Pam Warrington  
Address: 1103 River Street  
City, State, Zip: Gibson Ne 68840  
Phone Number: 308-379-7644  
Cell Number: SAME

Contractor: None  
Certificate of Insurance: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Cell Number: \_\_\_\_\_

Address of Construction Site: 1103 River Street Gibson Ne 68840

(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: Patio Awning Dimension of Structure: 16' x 16'

Distance From Front Property Line: 120' Distance From Rear Property Line: 48'

Distance From Side Property Line: 22' Distance From 2<sup>nd</sup> Side Line: \_\_\_\_\_

Distance Between Other Buildings (minimum 5'): Attach. to house

Height To The Top Of Roof: 10 1/2'

Footing Depth (42" minimum): None

Is There A Utility Easement On Either The Back Or Side Property? None

Approximately When Will Construction Begin? May 10<sup>th</sup> 2021 Finish? June 10<sup>th</sup> 2021

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_

(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: [Signature]

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: \_\_\_\_\_

Signature of Chairman

[Signature]

Signature of Co-Chairman

[Signature]

Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

## Building Design

This Building Permit must include the following items:

- 1) All buildings must be drawn on the lot. This includes homes, garages, storage sheds, car ports, etc.
- 2) Once all buildings are drawn, you must show distances between all buildings. (This needs to be shown from the foundation.)
- 3) After showing distances between all existing buildings, draw in distances from the buildings to your lot lines.

4) Use the following for setbacks from your main building/house to your lot lines:

	R-1	R-2	R-3	C-1	C-2	I	AGR
Rear	10 Ft.	10 Ft.	10 Ft.	25 Ft.	0 Ft.	25 Ft	35 Ft
Side	7 Ft.	7 Ft.	7 Ft ***	None (*)	None (**)	25 Ft	20 Ft
Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

\*\*No Minimum is required except along side of a lot abutting on an A-1, TA-1 or Residential District, a side yard of not less than 15 feet shall be provided.

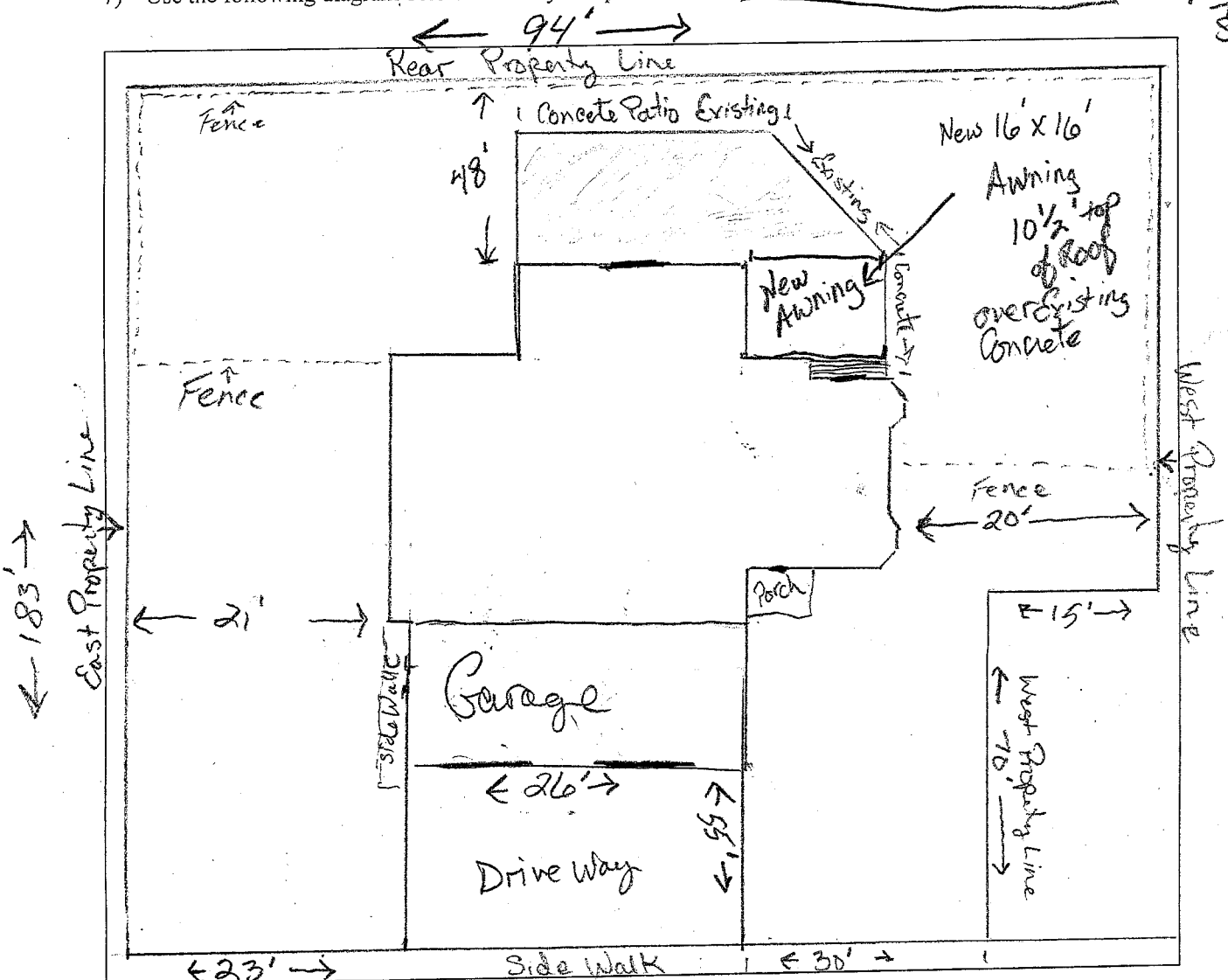
\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

- 5) **Accessory buildings.** No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.
- 6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

- 7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.

*Definitely Not to Scale*



Is this a corner lot? Yes No (circle one)

April 12th

Permit No. 2021-17

Zoning Classification: (Circle One)

AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Date Paid: 04-09-2021

Fee Paid: \$ 25<sup>00</sup> Cash  Check # \_\_\_\_\_

Value Of Project: \$ 4,000

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Andrea Slagle  
Matthew Kromer  
Address: 310 West Ave  
City, State, Zip: Gibbon NE 68840  
Phone Number: 308-216-0309  
Cell Number: \_\_\_\_\_

Contractor: Matthew Kromer  
Certificate of Insurance: NA  
Address: 310 West Ave  
Phone Number: 308-216-0309  
Cell Number: \_\_\_\_\_

Address of Construction Site: 310 West Ave

(If none, one must be issued from the City of Gibbon)

New Residential     Residential Addition     Accessory Building     Fence

Proposed Structure: \_\_\_\_\_ Dimension of Structure: \_\_\_\_\_

Distance From Front Property Line: 79'    Distance From Rear Property Line: 0

Distance From Side Property Line: 0    Distance From 2<sup>nd</sup> Side Line: 0

Distance Between Other Buildings (minimum 5'): \_\_\_\_\_

Height To The Top Of Roof: NA

Footing Depth (42" minimum): NA

Is There A Utility Easement On Either The Back Or Side Property? no

Approximately When Will Construction Begin? Asap    Finish? Asap 2 weeks

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection.

Date of Inspection: \_\_\_\_\_

(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: Matthew Kromer

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval: \_\_\_\_\_

Approval of Planning Commission: \_\_\_\_\_

Signature of Chairman

Chris Rector  
Signature of Co-Chairman

Chris Rector  
Signature of Board Member

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

**Building Design**

This Building Permit must include the following items:

- 1) All buildings must be drawn on the lot. This includes homes, garages, storage sheds, car ports, etc.
- 2) Once all buildings are drawn, you must show distances between all buildings. (This needs to be shown from the foundation.)
- 3) After showing distances between all existing buildings, draw in distances from the buildings to your lot lines.

4) Use the following for setbacks from your main building/house to your lot lines:

	<u>R-1</u>	<u>R-2</u>	<u>R-3</u>	<u>C-1</u>	<u>C-2</u>	<u>I</u>	<u>AGR</u>
Rear	10 Ft.	10 Ft.	10 Ft.	25 Ft.	0 Ft.	25 Ft	35 Ft
Side	7 Ft.	7 Ft.	7 Ft ***	None (*)	None (**)	25 Ft	20 Ft
Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

\*\*No Minimum is required except along side of a lot abutting on an A-1, TA-1 or Residential District, a side yard of not less than 15 feet shall be provided.

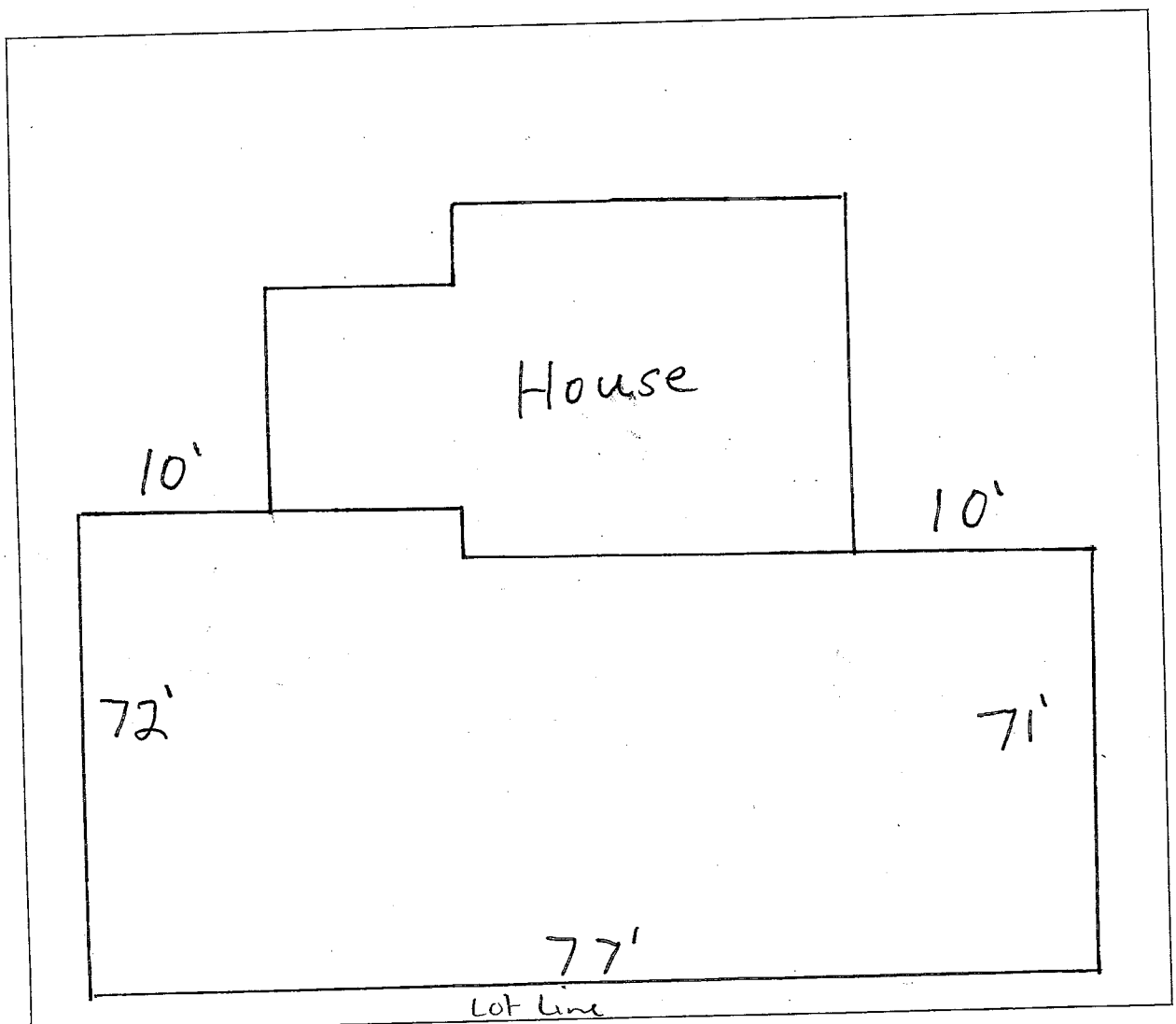
\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

5) **Accessory buildings.** No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.

6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.



Is this a corner lot?      Yes   No      (circle one)

Permit No. 2021-18

Zoning Classification: (Circle One)  
AGR, R-1, R-2, R-3, C-1, C-2, I,  
F-1, PUD-1

Date Paid: 4-9-2021

Fee Paid: \$ 25<sup>00</sup> Cash \_\_\_\_\_ Check # 2837

Value Of Project: \$ 250,000

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Tracy & Wanda Salmon Contractor: Multiple  
Address: 1715 86th Ave Certificate of Insurance: \_\_\_\_\_  
City, State, Zip: Greeley, CO 80634 Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Cell Number: 970-396-3252 Cell Number: \_\_\_\_\_

Address of Construction Site: 451665 164th Road, Gibbon, NE 68840  
(If none, one must be issued from the City of Gibbon)

New Residential  Residential Addition  Accessory Building  Fence

Proposed Structure: House / Garage Dimension of Structure: 76' x 30' 30' x 30'

Distance From Front Property Line: 125 Distance From Rear Property Line: 150

Distance From Side Property Line: 35 Distance From 2<sup>nd</sup> Side Line: 25

Distance Between Other Buildings (minimum 5'): 50

Height To The Top Of Roof: 25'

Footing Depth (42" minimum): 48"

Is There A Utility Easement On Either The Back Or Side Property? Yes  
Approximately When Will Construction Begin? ASAP Finish? 1 year from start

\*Contact: \_\_\_\_\_ 308.468.6118 or \_\_\_\_\_ Regarding Set-Back Inspection:

Date of Inspection: \_\_\_\_\_  
(Signature Chris Rector)

city

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel 12/7/2020 and the name of the lot split or subdivision. Shiers Estates Third - lot 4, Block 3,

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: Shonda Salmon

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

Approval of Planning Commission: \_\_\_\_\_  
Signature of Chairman

Signature of Co-Chairman \_\_\_\_\_ Signature of Board Member \_\_\_\_\_

Final Approval of Application by City Council of the City of Gibbon, Nebraska

Date Application Approved Denied \_\_\_\_\_ Expiration Date \_\_\_\_\_

Signed \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

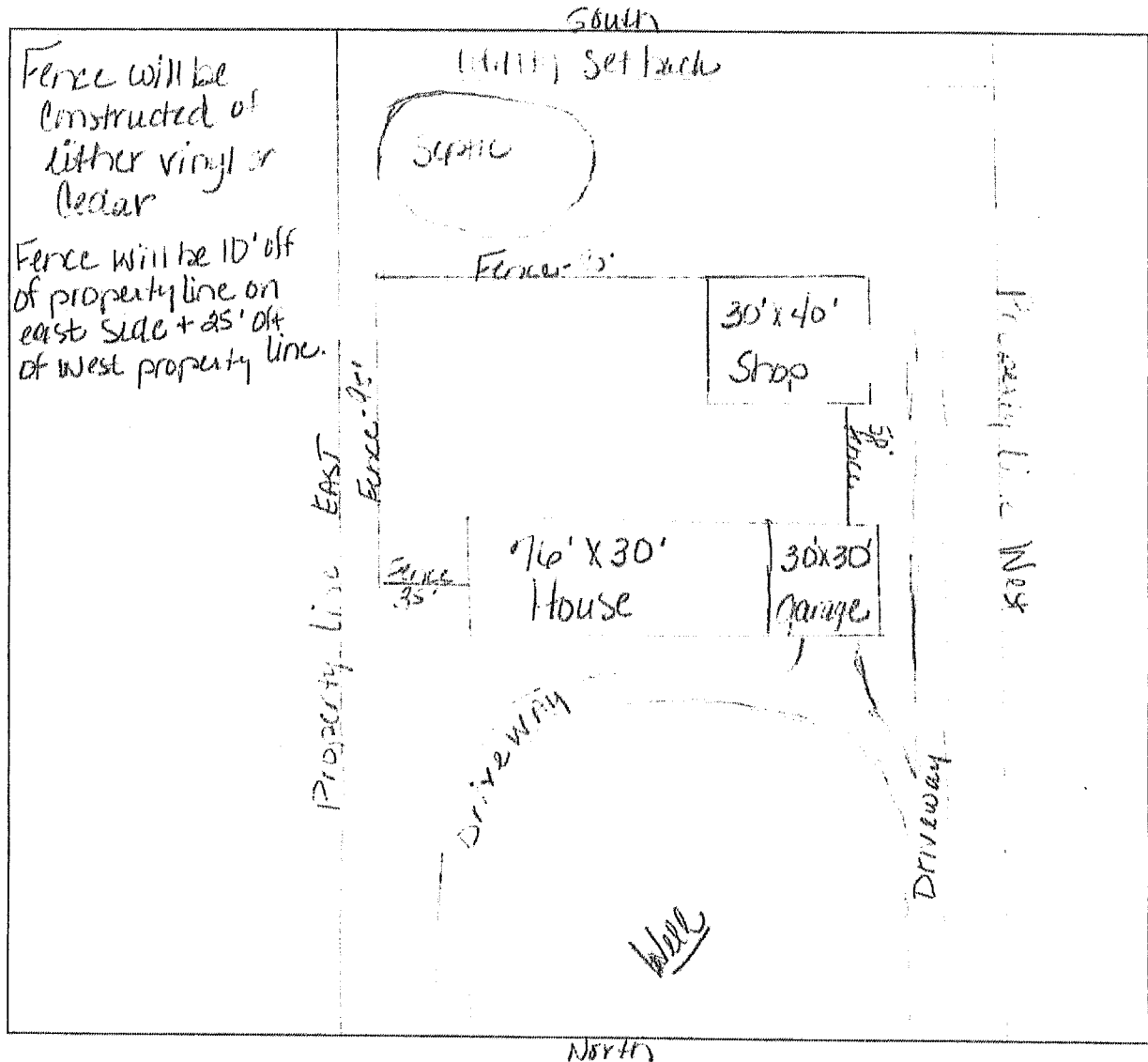
\*\*No Minimum is required except along side of a lot abutting on an A-1, TA-1 or Residential District, a side yard of not less than 15 feet shall be provided.

\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

- 5) Accessory buildings. No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.
- 6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

- 7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.



Is this a corner lot?  Yes  No (circle one) At the present time it is revised 10/2014

Permit No. 2021-19

Zoning Classification: (Circle One)

AGR, R-1, R-2, R-3, C-1, C-2, I,

Date Paid: 4-12-2021

F-1, PUD-1

Fee Paid: \$ 2500 Cash      Check # 1081

Value Of Project: \$                     

### APPLICATION FOR A ZONING PERMIT GIBBON, NEBRASKA

Directions: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner: Brian & Stephanie Leisinger  
Address: 108 West Ave  
City, State, Zip: Gibbon NE 68840  
Phone Number: 308-627-2247  
Cell Number: 308-440-3051

Contractor:                                       
Certificate of Insurance:                                       
Address:                                       
Phone Number:                                       
Cell Number:                                     

Address of Construction Site: 108 West Ave Gibbon, NE 68840

(If none, one must be issued from the City of Gibbon)

     New Residential         Residential Addition         Accessory Building     Fence

Proposed Structure:                                      Dimension of Structure: 150'  
Distance From Front Property Line: 3'    Distance From Rear Property Line: 3'  
Distance From Side Property Line: 3'    Distance From 2<sup>nd</sup> Side Line: 3'  
Distance Between Other Buildings (minimum 5'):                                       
Height To The Top Of Roof:                                       
Footing Depth (42" minimum):                                       
Is There A Utility Easement On Either The Back Or Side Property? Alley  
Approximately When Will Construction Begin?                                      Finish?                                     

\*Contact:                                      308.468.6118 or                                      Regarding Set-Back Inspection.  
Date of Inspection:                                     

(Signature Chris Rector)

\*\*\* (One mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel                                      and the name of the lot split or Subdivision.

\*\*\* Ordinance #391 states: All building permits shall include sidewalk plans prior to approval of building permit.

\*\*\* Resolution #1995-4: No physical work shall be done before building permit is approved, or additional \$75.00 fee will be charged.

Signature of Applicant: Brian Leisinger

\*\*\* This permit expires 1 year after issuance unless work has begun for up to 2 years.

Recommendations needed before approval:

## Building Design

This Building Permit must include the following items:

- 1) All buildings must be drawn on the lot. This includes homes, garages, storage sheds, car ports, etc.
- 2) Once all buildings are drawn, you must show distances between all buildings. (This needs to be shown from the foundation.)
- 3) After showing distances between all existing buildings, draw in distances from the buildings to your lot lines.

4) Use the following for setbacks from your main building/house to your lot lines:

	<u>R-1</u>	<u>R-2</u>	<u>R-3</u>	<u>C-1</u>	<u>C-2</u>	<u>I</u>	<u>AGR</u>
Rear	10 Ft.	10 Ft.	10 Ft.	25 Ft.	0 Ft.	25 Ft	35 Ft
Side	7 Ft.	7 Ft.	7 Ft ***	None (*)	None (**)	25 Ft	20 Ft
Front	25 Ft.	25 Ft.	***	30 Ft.	None	35 Ft	35 Ft
Height	35 Ft	35 Ft	35 Ft	35 Ft	45 Ft	50 Ft	35 Ft

\*\*\* Mobile home 15 Ft front & 17 Ft side. Other 25 Ft front and 35 Ft height in R-3 zone.

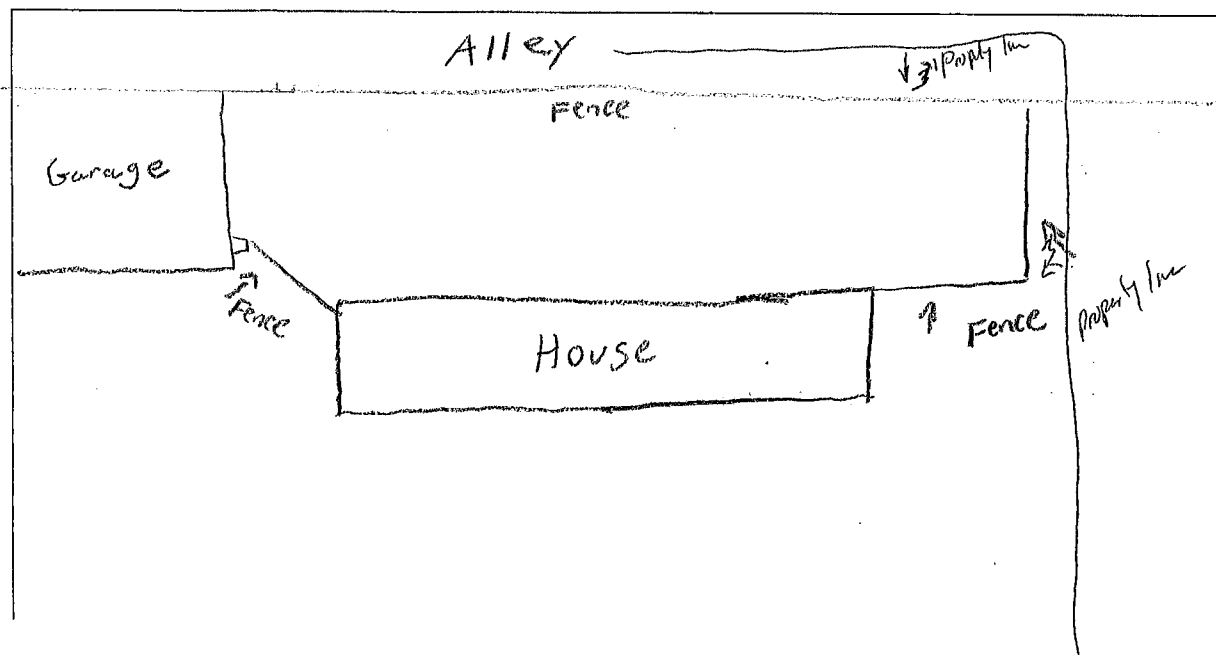
\*\*No Minimum is required, except along side of a lot abutting on an A-1, TA-1, or Residential District, a side yard of not less than 15 feet shall be provided.

\* No minimum except along side of a lot abutting an A-1, TA-1, or Residential District, a side yard of not less than 25 feet shall be provided.

- 5) **Accessory buildings.** No accessory building shall be erected in any front yard and no detached accessory building shall be erected closer than five (5) feet to the main dwelling. Accessory buildings smaller than 100 square feet may be located in the side and rear yard, but shall not be closer than two (2) feet to the rear lot line and two (2) feet to the side lot line. Buildings larger than 100 square feet must meet five (5) feet on the side and three (3) on the back set back. All garage entrances must have a minimum ten (10) feet long drive when garage opening is perpendicular to the access street or alley. No accessory building or structure shall be erected across public utility easements of record.
- 6) Once all buildings and dimensions are drawn, turn back into City Hall by noon on Friday prior to scheduled Planning Commission meeting. The Planning Commission will review the permit the second Monday of each month. If the permit is not turned in on time, you will have to wait another month.

For complete regulations a copy can be obtained at City Hall for the particular project.

- 7) Use the following diagram below to draw your specifications. This does not have to be drawn to scale.



# MINUTES

## CEMETERY BOARD MEETING

April 15, 2021

CITY HALL

5:00 p.m.

Present: Lee Vohland, Joan Hemmerling, Karl Borden, Heather Smallcomb, Nicole Schuster, Marco Escalera, Larry Homan, Mike Stalder and Pam Rasmussen

Absent: Melody Rockefeller

Vohland called the meeting to order at 5:05 p.m. at City Hall and advised those present of the Open Meetings Act and the board abides by it when conducting business.

The Board reviewed the Minutes from the January 14, 2021 meeting. Smallcomb motion to approve the minutes. Borden seconded the motion. Motion carried.

The Board reviewed the bills for February and March. Hemmerling motioned to approve the bills. Smallcomb seconded the motion. Motion carried.

Vohland opened the floor up for nominations for Chairman. Borden nominated Lee Vohland to remain Chairman, seconded by Smallcomb. Borden motioned to close the nominations, seconded by Hemmerling. Motion carried that Lee Vohland will be Chairman.

Motion by Borden to nominate Heather Smallcomb to remain Vice Chairman, seconded by Hemmerling. Borden motioned to close the nominations, seconded by Hemmerling. Motion carried that Heather Smallcomb will be Vice Chairman.

Lee Vohland appointed Pam Rasmussen as Secretary/Treasurer/Liaison for the Cemetery Board and City.

Vicki Farrell addressed the board about the sprinkler system and running it at night instead of during the daytime. This would help on the water problems on the stones. Stalder explained the sprinkler system is not on a timers and takes 4 days to water everything on a regular schedule. A possible solution would be to drill the well deeper to see if there's better quality of water.

Mrs. Farrell also offered to give the Board an estimate on cleaning a couple of the statues prior to the 150<sup>th</sup> event in October.

Escalera presented the Board with new signs for the cemetery to be located at Hwy 30 and Gibbon Road and Gibbon Road and 85<sup>th</sup> Road. He also had signs with cemetery hours and rules and regulations. This led into a discussion about items being placed on the ground around the foundation. The current rule allows one shepherd's hook per lot. By having more this makes it difficult to mow and maintain the grass. The discussion led to a motion by Borden to allow one shepherd's hook per grave space that must be located on the north or south sides or in the foundation. Smallcomb seconded the motion. Motion carried.

They also discussed the rules stating animals must be on a leash and clean up on the sign.

Smallcomb motioned to proceed with purchasing the signs, seconded by Borden. Motion carried.

Rasmussen let the Board know the new kiosk directory has been ordered and it will be 12 to 16 weeks until delivery.

Escalera presented the Board with some options on a shelter for the directory. They will wait to see what size is recommended for the kiosk.

Escalera gave the Board the amounts for relocating the maintenance garage from by the river bank to the south west part of the cemetery. The cost to move the building will be \$2,000.00 and the concrete and foundation will be \$1,200.00.

The city is in the process of hiring seasonal help. Mike Stalder has been hired and will need to hire one more.

Rasmussen brought a request from a lot owner that would like to utilize 14” of a buffer space to accommodate adding a small marker to their existing marker. They would be willing to pay for the space. After much discussion Smallcomb motioned to deny the use of the buffer space at this time, seconded by Hemmerling.

Rasmussen had a request asking if our cemetery allowed natural burials. Natural burial is the interment of the body to be naturally recycled. There is no embalming, preservatives and buried in a biodegradable coffin or shroud. No burial vault.

A motion by Borden to not allow natural burials was made. Hemmerling seconded the motion. Motion carried.

Escalera let the Board know he has ordered 5 flag pole sets to put 2 by entrance at Babcock area and one was damaged and to have 2 spares. The damaged one will be paid for by the party who caused the damage.

Rasmussen wanted to make sure who was responsible to place flags out for Memorial Day. The Legion usually takes care of this the Friday before.

The fuel tank has been ordered but not placed yet.

Larry Homan introduced himself to the Board.

With no other business Vohland adjourned the meeting at 6:55 p.m. The next regular Board meeting will be May 13, 2021 @ 5:00 p.m. at the City Hall.

# *Gibbon Public Library*

2nd & LaBarre - Box 309  
Gibbon, NE 68840

## **Report to the City Council April 19<sup>th</sup>, 2021 Meeting**

History Night at the library was a great time! We had ten community members in attendance. The group shared stories (and pictures!), perused old yearbooks and ate old fashioned dessert bars while enjoying the library's new seating. This was the first program in a new series of events we are planning to hold at the library. The "Cardigan Series" will be held monthly and will include local artists, librarian talk, Lunch & Learns and so much more!

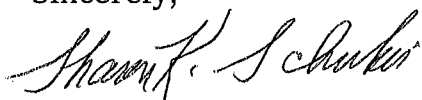
Teen Book Club had eight in attendance on April 1st. The kids read *Be Not Far from Me* by Mindy McGinnis. They will meet again in May. Our new 5<sup>th</sup> and 6<sup>th</sup> grade book club will begin in May. *Elephant's Girl* by Celesta Rimington is this the current selection. Our Adult Book Club met on April 6<sup>th</sup>. The six participants read *The German Girl* by Armando Lucas Correa. They will meet again on May 4<sup>th</sup>.

Lego Club is back! We had a great turn-out in April! The kids spent the afternoon building and creating. Our next program will be held on April 30<sup>th</sup> at 3:45 p.m. Space is limited so registration is required for this event. Our afterschool story times are held in-person on Wednesdays from 3:45 p.m.-4:15 p.m. and will run through the end of the school year. Miss Annie has a lot of fun activities planned! Children's programs will continue through the summer with weekly events in June and our Summer Reading Program held in July.

The Board will meet again on May 11<sup>th</sup> at 5:00 p.m. at the library. All are welcome to attend.

Thank you for your continued support.

Sincerely,



Sharon Schukei  
Gibbon Public Library Board

## Gibbon Heritage center Board Minutes-----March 30. 2021

Present: Kevin McGregor, Tom Baxter, Jean Widdowson, Susan Webster

Absent: Dan Clevenger, Lee Power

Kevin called the meeting to order at 7:01 p.m. Open meeting rules have been observed. Susan read the minutes of the previous meeting. Minutes approved with one correction. The proceeds from Beyond the Grave Program will be split 50/50 between the Trails & Rails Museum and the Heritage Center. The Treasurers report was given by Tom. We have a balance of \$2,281.15 on February 15, 2021. Funds dispersed were: \$40.00 2021 Annual dues to the Gibbon Chamber, \$30.00 2021 Annual dues to the Nebraska Museum Association, \$7.50 Annual fee for the Safety Deposit Box, and \$316.56 to Sherwin Williams for paint and supplies. Balance as of March 15, 2021 is \$1887.26. The Certificate of Deposit balance is \$87,873.75. Jean made a motion to approve the Treasurers report. Susan seconded the motion. Motion carried. There will be a bill of \$1,400 for the carpet and installation, and \$160.00 for paint. This will leave a balance of about \$317.00. Tom discussed cashing out the \$10,000 CD that comes due in October. It is gaining very little interest at this time. An Option is to cash it out, and put \$5,00 in the bank to use for expenditures, and invest the other \$5,000 long term. Kevin made a motion to cash out the \$10,000 CD and put it into the Bank until the next meeting. Tom seconded the motion. Motion carried.

Kevin received a brochure from the Nebraska Historical Foundation stating that grants were available. Kevin will check with City Attorney Barry Hemmerling to see if the Heritage Center would be eligible as we are city-owned.

Discussion was held on getting the motion light fixed out front, and the possibility of getting a new front door. Jeff Burmood will start on the rock and curbing on April 12, 2021. The iris plants will need to be moved.

The posters and the coloring sheets for Gibbon-150 have been hung up in the windows of Walker Hall.

The 150 Zoom meeting will be tomorrow March 31. 2021 to finalize the plans for Gibbon-150 music, essays and ect.

We voted to not open the Heritage Center to the public on April 4<sup>th</sup> as it is Easter Sunday.

The next meeting will be April 27, 2021 at 7:00 p.m.

There being no further business, Kevin adjourned the meeting at 8:00 p.m.

APPLICATION FOR MEMBERSHIP  
GIBBON VOLUNTEER FIRE DEPARTMENT  
AND  
RESCUE SQUAD

Voted  
4/12/21  
Accepted  
Stephanie  
Brown  
Secretary

NAME: Bobby Trujillo

PHYSICAL ADDRESS: 300 Murnen Ave MAILING ADDRESS: \_\_\_\_\_

DATE OF BIRTH: [REDACTED] AGE AT PRESENT TIME: 44

SOCIAL SECURITY: [REDACTED] DRIVERS LICENS: [REDACTED]

RESIDENT OF DISTRICT FOR: 1 year Years SEX: Male

HIEGHT: 5' WEIGHT: 7" HAIR: Black EYES: Hazel

EMPLOYER: State of Nebraska dept of Roads

POSITION & SHIFT: Senior maintenance 1st shift

LIST ANY FIRE/EMS OR DEFENSIVE DRIVING CLASSES COMPLETED: Firefighter 1 and  
Hazmat certified, CPR

REQUIRED TRAINING & DUTIES

I UNDERSTAND THAT I WILL BE GOVERNED BY THE BY-LAWS OF THE GIBBON  
VOLUNTEER FIRE DEPARTMENT.

Upon completion by the applicant this application must be witnessed by 2 active members of the Gibbon Fire  
Department

SIGNED: Bobby Trujillo Date: 3/23/2021  
Applicant  
Tel. No: [REDACTED] Cell No: [REDACTED]

WITNESS: [Signature] WITNESS: Stephanie Brown

RECEIVED: 3/11/21 18:10  
Date Time

Stephanie Brown  
By Secretary

resented to Executive Committee [REDACTED]

Executive Committee Comments: Kearney Fire for 2 years  
Resident of Gibbon for over a year

City of Gibbon

Application for Permit to Sell Permissible Fireworks at Retail

10-503. BUSINESS ENTERPRISES; FIREWORKS VENDOR; REGULATION.

It shall be unlawful for any person or persons to sell fireworks of any description whatsoever, except sparklers, vesuvius fountains, spray fountains, torches, color fire cones, star and comet type color aerial shells without explosive charges for the purpose of making a noise, color wheels, toy cap pistols and permissible caps may be sold at retail at all times; provided, that all other fireworks named may be sold only between June twenty-fourth (24<sup>th</sup>) and July fifth (5) both inclusive, and December twenty-eighth (28<sup>th</sup>) and January first (1<sup>st</sup>), both inclusive; provided, that fireworks of any description are permissible for purposes of public exhibitions or displays as authorized by the Governing Body; and further provided that said vendor shall secure a license prior to such sales. Application shall be filed with the Municipal Clerk upon forms supplied by the Municipality and requesting such information and documents as the Governing Body may deem necessary as to whether or not to grant said license. Upon the determination to grant the license, the Governing Body shall direct the Municipal Clerk to collect the appropriate fee and issue said license. Any license so issued may be revoked at any time by the Governing Body upon proper notice and hearing if one is requested by the licensee. (Ref. 17-137, 28-1241 through 28-1252 RS Neb.)

APPLICATION is hereby made to the Mayor and Council of the City of Gibbon, Nebraska by

Stacy Rockefeller

under the provisions of Section 28-1246, R.R.S.

Nebraska Reissue 1943, as amended, for a permit to sell permissible fireworks at retail at

720 6<sup>th</sup> Street

between June 24 and July 5, 2021  
and/or

between December 28 and January 1, 2022

The undersigned hereby pledges itself to sell permissible fireworks at such location, if the Requested permit is issued, strictly in accordance with all Statutes of the State of Nebraska, and All city ordinances.

Dated at Gibbon, Nebraska, this 23<sup>rd</sup> day of March, 2021

State License No. \_\_\_\_\_

\$10.00 Fee

Date paid 3/29/21

Check # 3654

Stacy Rockefeller  
Applicant Signature

# NEBRASKA STATE FIRE MARSHAL

246 South 14th Street  
Lincoln, NE 68508-1804

## LICENSE FOR SALE OF FIREWORKS

Permissible fireworks may be sold at retail commencing 12:01 AM June 25 and ending 11:59 PM July 4 OR 12:01 AM December 29 and ending 11:59 PM December 31 and must be purchased from a licensed distributor or jobber. A jobber may not sell retail. Invoice copies for all fireworks must be kept available for inspection and must show the license number of the distributor or jobber. Fireworks may not be sold outside the city limits of an incorporated town or village. Violations of State Fire Marshal regulations may result in immediate revocation of this license.

### LICENSE GOOD ONLY FOR CALENDAR YEAR IN WHICH ISSUED

This copy signed, dated and numbered by the STATE FIRE MARSHAL constitutes issuance of a LICENSE pursuant to the provisions of Nebraska Revised Statute 28-1246 (1994 Supp.). Such license shall be displayed at licensee's place of business.

**DATE RECEIVED:**

April 08, 2021 07:17 PM

**TYPE OF LICENSE AND FEE:**

Retail Permit (July) - \$25.00

**LOCATION OF OUTLET FOR RETAIL SALE OF FIREWORKS:**

720 6TH STREET  
Gibbon  
STAND IN DRIVE WAY

**COUNTY:**  
Buffalo

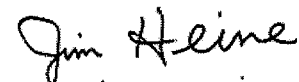
**STORAGE LOCATION:**

**DISTRIBUTOR(S)/JOBBER(S):**

Hale Fireworks, LLC (2021-RP-59925870-22)  
Lews Fireworks, Inc. (2021-RP-59474988-11)  
Garretts Worldwide Enterprises, LLC (2021-RP-59598844-15)  
Crazy Cracker Fireworks LLC (2021-RP-60059968-25)

**SALES TAX NUMBER:**

**DATE ISSUED:**  
April 08, 2021 04:20 PM



STATE FIRE MARSHAL

**LICENSE HOLDER:**

B & J FIREWORKS

**LICENSE NUMBER:**  
2021-RP-61842060-147-01

Temporary Use Animal Permit

AP-2021-02  
Permit # 2021-02

Name Ron Robinson

Date 4/14/2021

Address 800 Hershey St

Phone # 302-468-6096

Location of Animal(s) Pen on north side of trees

Type of Animal(s) Chickens

Number of Animal(s) 10

Length of Time animals will be in City limits from April 2021 to Dec 2021

**\*\*THIS PERMIT MAY BE REVOKED AT THE DESCRETION OF THE COUNCIL.\*\***

Comments:

Date Approved \_\_\_\_\_

Date Expire \_\_\_\_\_

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Attest

\_\_\_\_\_  
Date

SEAL

RESOLUTION NO. 2021-05

RESOLUTION OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA to approve the preliminary plat for the Shiers Estates Fourth.

WHEREAS, the owner of:

A part of the North ½ of the Northwest ¼ of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, and

Has submitted a preliminary plat for the creation of Shiers Estates Fourth and the Planning Commission has recommended said preliminary plat be approved.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GIBBON, NEBRASKA, that the preliminary plat for Shiers Estates Fourth be approved and that the owner proceed with the preparation of the final plat.

PASSED AND APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Deborah VanMatre, Mayor

ATTEST:

\_\_\_\_\_  
Pamela Rasmussen, City Clerk

## LEASE

THIS LEASE, hereinafter referred to as the "Lease", is entered into this 19 day of April, 2021 between the CITY OF GIBBON, NEBRASKA, hereinafter referred to as "City", and ABBEY LAMBERT, hereinafter referred to as "Lambert".

### WITNESSETH:

WHEREAS, the City is the owner of Lot Thirteen (13) and the West 14' of Lot Fourteen (14), Block Three (3), Original Town of Gibbon, Buffalo County, Nebraska, and desires to lease approximately the West half (W½) thereof, commonly known as 814 First Street, Gibbon, Nebraska, and hereinafter referred to as the "Property".

NOW, THEREFORE, in consideration of the terms, conditions and covenants hereinafter stated, the City hereby leases the Property to Lambert as follows:

1. Term: The term of this Lease shall commence on May 1, 2021 and shall expire on May 1, 2023, and thereafter this Lease shall be automatically extended on a year-to-year basis. Notwithstanding anything contained herein to the contrary, either party may terminate this Lease upon six (6) months' written notice to the other party and such termination shall be effective on the last day of a calendar month.
2. Rent: Lambert shall pay rent at the rate of Five Hundred Dollars, (\$500.00) per month, payable on the first day of the month in advance for the term of this Lease. The rent shall be reviewed annually by the parties and will be redetermined by mutual consent upon the request of either party.
3. Improvements: Lambert shall be permitted to make certain improvements and renovations to the Property, with the prior consent of the City and any improvements or renovations shall become the property of the City.
4. Utilities and Maintenance: Lambert shall be responsible for all utilities of the Property and shall maintain the Property, including the heating and air conditioning systems, but excluding the outside walls and roof and also excluding the repair or replacement of the heating and air conditioning systems.

5. Care of Lawn and Snow Removal: The City shall be responsible for the mowing and care of the lawn and snow removal from the sidewalk and parking lot.
6. Insurance: Lambert shall maintain liability insurance on the Property in such amount and with such coverage as the City may reasonably require from time to time and shall list the City as an additional insured. Lambert shall be solely responsible for maintaining insurance on its property.
7. Prohibition Against Assignment and Sublease: Lambert shall not assign this Lease or sublease all or any portion of the Property without the prior written consent of the City.
8. Time of the Essence: Time is of the essence of this Lease, in the entirety thereof.
9. Survival of Representations: The covenants, representations and warranties of the parties hereto are continuing covenants, representations and warranties, and they shall survive the closing of this transaction.
10. Pronouns, Etc.: Whenever used herein, as the context shall warrant, the singular shall include the plural, the plural the singular, and the use of any gender shall include all genders.
11. Heading: The paragraph headings used in this Lease are for convenience of reference only and shall not limit or otherwise affect, or be used in the construction or interpretation of any of its terms, conditions or provisions hereof.
12. Parties in Interest: This Lease shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, personal representatives, successors or assigns, each to the other.
13. Amendments, Governing Law, Etc.: This Lease shall not be altered or amended except in writing by the parties hereto and it shall be construed under and governed by the laws of the State of Nebraska.
14. Entire Agreement: This Lease constitutes the entire agreement of the parties hereto. It supersedes any prior agreements or understandings among them and it shall not be modified or amended in any manner other than as set forth herein.

IN WITNESS WHEREOF, the parties hereto have hereunto affixed their signatures in two (2) counterpart originals, each of which shall be deemed an original, all done on the day and year first above indicated.

**CITY OF GIBBON, NEBRASKA**

By \_\_\_\_\_  
Deborah VanMatre, Mayor

\_\_\_\_\_  
Abbey Lambert

STATE OF NEBRASKA    )  
  )  
COUNTY OF BUFFALO    )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021 before me, the undersigned, a Notary Public, duly commissioned and qualified for said County, personally came **DEBORAH VANMATRE, Mayor of the CITY OF GIBBON, NEBRASKA**, known to me to be the identical person whose name is affixed to the above and foregoing LEASE and she acknowledged the same to be her voluntary act and deed and that of the City of Gibbon.

WITNESS my hand and notarial seal the day and year last above written.

\_\_\_\_\_  
Notary Public

STATE OF NEBRASKA    )  
  )  
COUNTY OF BUFFALO    )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021 before me, the undersigned, a Notary Public, duly commissioned and qualified for said County, personally came **ABBEY LAMBERT**, known to me to be the identical person whose name is affixed to the above and foregoing LEASE and she acknowledged the same to be her voluntary act and deed.

WITNESS my hand and notarial seal the day and year last above written.

\_\_\_\_\_  
Notary Public

---

**RETURN TO:** Barry Hemmerling, WSHLA, 1248 O Street, Ste. 800, Lincoln, NE 68508

**TEMPORARY CONSTRUCTION EASEMENT**

KNOW ALL MEN BY THESE PRESENTS:

For good and valuable consideration, the receipt of which is hereby acknowledged, 2B LEGACY, LLC, a Nebraska limited liability company, hereinafter referred to as the "Grantor", does hereby grant, sell, convey and confirm unto the CITY OF GIBBON, Buffalo County, Nebraska, hereinafter referred to as the "Grantee", a temporary right, privilege and easement through, over and under the parcel of land for the repair, maintenance and improvement of a sewer lift station described as follows, to-wit:

A tract of land located in Lot One (1), Block Sixteen (16), Fifth Addition to Gibbon, Buffalo County, Nebraska, more particularly described as follows:

Commencing at the Northeast Corner of Lot One (1), Block Sixteen (16), Fifth Addition to Gibbon, Buffalo County, Nebraska as the point of beginning; thence Westerly on the north line of said Lot One (1) a distance of 10 feet; thence Southerly 40 feet along a line parallel to and 10 feet perpendicular from the east line of said Lot One (1); thence Easterly 10 feet to the east line of said Lot One (1); thence Northerly along the east line of said Lot One (1) to the point of beginning.

This Temporary Construction Easement shall commence on the date set forth below and expire on October 1, 2021.

IN WITNESS WHEREOF, said Grantors have signed this Temporary Construction Easement this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

2B LEGACY, LLC

By: \_\_\_\_\_  
\_\_\_\_\_, Managing Member

STATE OF NEBRASKA    )  
                                  ) ss:  
COUNTY OF BUFFALO    )

The foregoing Temporary Construction Easement was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2021, by \_\_\_\_\_, Managing Member of 2B Legacy, LLC, a Nebraska limited liability company.

\_\_\_\_\_  
Notary Public

## **Ordinance No. 622**

AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA,  
INCREASING MUNICIPAL WATER RATES.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY  
OF GIBBON, BUFFALO COUNTY, NEBRASKA:

**Sec. 1: Section 52.10 of the Gibbon City Code of Ordinances shall be amended to read as follows:**

**52.10 RATES.** For use of the municipal water system, each consumer shall pay a monthly charge in accordance with the following schedule:

(A) Consumer with one-inch water meter: \$23.00 per month plus \$1.40 for each 1,000 gallons of water, or a portion thereof.

(B) Consumer with second inch water meter at same premises: additional \$6.00 per month plus \$1.40 for each 1,000 gallons of water, or a portion thereof.

(C) Residential consumer with two-inch water meter: \$43.50 per month plus \$1.40 for each 1,000 gallons of water, or a portion thereof.

(D) Consumer with two-inch water meters: \$43.50 per month for the first meter plus \$1.40 for each additional 1,000 gallons of water, or a portion thereof, measured by that meter, plus \$17.50 per month for the second meter, plus \$1.40 for each 1,000 gallons of water, or portion thereof, measured by such second meter.

(E) Consumer with three-inch water meter: \$86.25 per month plus \$1.40 for each 1,000 gallons of water, or a portion thereof.

(F) Consumer with four-inch water meter: \$162.25 per month plus \$1.40 for each 1,000 gallons of water, or a portion thereof.

(G) Consumer with water meter greater than four-inch: \$3,588.00 per month plus \$1.40 for each 1,000 gallons of water, or a portion thereof.

**Sec. 2: Repeal of Conflicting Ordinances.**

Any ordinance or parts of ordinances in conflict herewith are hereby repealed.

**Sec. 3: Effective Date.**

This ordinance shall become effective upon its passage and publication according to law.

**Sec. 4: Adoption.**

Passed and adopted by the City Council of the City of Gibbon, State of Nebraska, on this \_\_\_\_\_ day of February, 2021.

PASSED AND APPROVED THIS \_\_\_\_\_ DAY OF FEBRUARY, 2021.

CITY OF GIBBON, NEBRASKA

\_\_\_\_\_  
Deborah VanMatre, Mayor

ATTEST:

\_\_\_\_\_  
Pamela Rasmussen, CMC, Municipal Clerk

## Ordinance No. 623

AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA, INCREASING MUNICIPAL SEWER RATES.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA:

**Sec. 1: Section 53.46 of the Gibbon City Code of Ordinances shall be amended to read as follows:**

**53.46 RATES.** For use of the municipal sewer system, each consumer shall pay a monthly charge in accordance with the following schedule:

- (A) Residential, except as otherwise provided herein: \$30.50 per month for each house, apartment, motel room or trailer house.
- (B) Commercial property and churches, except as otherwise provided herein: \$37.50 per month.
- (C) Gibbon Public Schools: \$243.41 per month.
- (D) Centennial Manor: \$243.41 per month.
- (E) Colony Acres (Gibbon Housing Authority, including all apartments): \$420.50 per month.
- (F) Gibbon Packing: rates presently existing as provided in separate ordinance.

**Sec. 2: Repeal of Conflicting Ordinances.**

Any ordinance or parts of ordinances in conflict herewith are hereby repealed.

**Sec. 3: Effective Date.**

This ordinance shall become effective upon its passage and publication according to law.

**Sec. 4: Adoption.**

Passed and adopted by the City Council of the City of Gibbon, State of Nebraska, on this \_\_\_\_\_ day of February, 2021.

PASSED AND APPROVED THIS \_\_\_\_\_ DAY OF FEBRUARY, 2021.

CITY OF GIBBON, NEBRASKA

\_\_\_\_\_  
Deborah VanMatre, Mayor

ATTEST:

\_\_\_\_\_  
Pamela Rasmussen, CMC, Municipal Clerk

Ordinance No. 625

AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA, APPROVING THE FINAL PLAT OF SHIERS ESTATES FOURTH.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA:

**Sec. 1:** The final plat for Shiers Estates Fourth a subdivision of:

A part of the North ½ of the Northwest ¼ of Section 23, Township 9 North, Range 14 West of the Sixth Principal Meridian, Buffalo County, Nebraska, as set forth on the attached survey, is hereby approved.

**Sec. 2:** This ordinance shall become effective upon its passage and publication according to law.

PASSED AND APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

CITY OF GIBBON, NEBRASKA

\_\_\_\_\_

Deborah VanMatre, Mayor

ATTEST:

\_\_\_\_\_

Pamela Rasmussen, City Clerk

ORDINANCE NO. 626

AN ORDINANCE AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION MUNICIPAL BUILDING BONDS OF THE CITY OF GIBBON, NEBRASKA, IN ONE OR MORE SERIES, IN THE COMBINED PRINCIPAL AMOUNT OF NOT TO EXCEED TWO MILLION FIVE HUNDRED THOUSAND DOLLARS (\$2,500,000) ISSUED FOR THE PURPOSE OF CONSTRUCTING MUNICIPAL BUILDING IMPROVEMENTS IN AND FOR THE CITY; PRESCRIBING THE FORM OF SAID BONDS; PROVIDING FOR A SINKING FUND AND FOR THE COLLECTION OF TAXES TO PAY SAID BONDS; PROVIDING FOR THE SALE OF THE BONDS; AUTHORIZING THE DELIVERY OF THE BONDS TO THE PURCHASER; PROVIDING FOR THE DISPOSITION OF THE BOND PROCEEDS AND ORDERING THE ORDINANCE PUBLISHED IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF GIBBON, NEBRASKA:

Section 1. The Mayor and City Council of the City of Gibbon, Nebraska (the "City"), hereby find and determine:

(a) That it is necessary and advisable for the City to construct municipal building improvements in and for the City, consisting of renovations and additions to the fire hall including additional bays, a training area, a community room and city hall;

(b) That at an election requested by a petition signed by at least ten percent of the legal voters of the City, duly called, and conducted in the City on November 3, 2020, there was submitted to the qualified voters of the City the proposition of constructing said municipal building improvements in and for the City and borrowing money and pledging the property and credit of the City upon its negotiable bonds in the principal amount of up to Two Million Five Hundred Thousand Dollars (\$2,500,000) to fund the cost of such improvements;

(c) That notice of the submission of said proposition at said election was given by publication as required by law and at said election, said proposition was duly submitted to the legal electors of said City and more than a majority of the electors voting at said election voted in favor of constructing such improvements and issuing said bonds;

(d) That the question of issuing bonds for such purpose under Section 17-953 and 17-954, Reissue Revised Statutes of Nebraska, 2012, has not been submitted and defeated in said City within six months prior to November 3, 2020; and

(e) That it is necessary for the City to issue bonds, in one or more series, in the combined amount of not to exceed Two Million Five Hundred Thousand Dollars (\$2,500,000) for the purpose of constructing said municipal building improvements in and for the City and that all conditions, acts and things required by law to exist or to be done precedent to the issuance of General Obligation Municipal Building Bonds in the amount of not to exceed \$2,500,000 in pursuance of Sections 17-953 and 17-954, Reissue Revised Statutes of Nebraska, 2012, as amended, do exist and have been done in due form and time as required by law.

Section 2. For purposes as set out in Section 1 hereof, bonds to be designated General Obligation Municipal Building Bonds (the "Bonds") in the principal amount of not to exceed \$2,500,000, which shall be in denominations of \$5,000 each or any integral multiple thereof as determined by the City Treasurer prior to delivery, are hereby authorized to be issued. The Bonds may be issued in one or more series with the first series referred to as "Series 2021", the second series (if any), referred to as "Series 2021B", the third series (if any) referred to as "Series 2021C", and so on. The Bonds shall be dated as of their date of delivery and shall mature on the dates, be issued in the principal amount and shall bear interest at the rates per annum all as determined in the Bond Purchase Agreement (the "Agreement") signed for each series by the Mayor or City Clerk (each an "Authorized Officer", and together, the "Authorized Officers") on behalf of the City and agreed to by Piper Sandler & Co., which Agreement may also set the pricing terms and the terms pursuant to which the Bonds may be redeemed prior to maturity, all within the following limitations:

- (a) The aggregate principal amount of the Bonds shall not exceed \$2,500,000;
- (b) The all-inclusive interest cost of the Bonds shall not exceed 3.50%;
- (c) The underwriter's discount shall not exceed 1.75%; and
- (d) The longest maturity of the Bonds shall not be later than December 15, 2041.

The Authorized Officers are authorized to establish the final terms for the Bonds and arrange for issuance of the Bonds in one or more series, without further action by the Council, provided, however, that the authority of the Authorized Officers to act without further action by the Council shall lapse if not exercised on or before December 31, 2021. The Bonds shall be issued in the denomination of \$5,000 or any integral multiple thereof and shall be numbered from 1 upwards in the order of their issuance. No Bond shall be issued originally or upon transfer or partial redemption having more than one principal maturity. The initial bond numbering and principal amounts for each of the Bonds issued shall be as directed by the initial purchasers thereof. Interest on the Bonds shall be computed on the basis of a three hundred sixty-day year consisting of twelve thirty-day months. Interest on the Bonds shall be payable semiannually on the dates designated by the Authorized Officers in the Agreement (each such date, an "Interest Payment Date"). The interest due on each Interest Payment Date shall be payable to the registered owners of record as of the close of business on the fifteenth day (whether or not a business day) immediately preceding the Interest Payment Date (the "Record Date"), subject to the provisions of Section 3 hereof. Payment of interest due on the Bonds prior to maturity or redemption shall be made by the Paying Agent and Registrar, as designated pursuant to Section 3 hereof, by mailing a check in the amount due for such interest on each Interest Payment Date to the registered owner of each Bond, as of the applicable Record Date, to such owner's registered address as shown on the books of registration, as required to be maintained in Section 3 hereof. Payment of principal due at maturity or at any date fixed for redemption, together with any accrued interest then due, shall be made by said Paying Agent and Registrar to the registered owners upon presentation and surrender of the Bonds to said Paying Agent and Registrar. In the event that Bonds of this issue are held in the nominee name of a national clearinghouse or depository, payment of principal or interest shall be made by wire transfer of funds in accordance with any applicable regulations governing "Depository Eligible Securities". The City and said Paying Agent and Registrar may treat the registered owner of any Bond as the absolute owner of such Bond for the purpose of making payments thereon and for all other purposes and neither the City nor the Paying Agent and

Registrar shall be affected by any notice or knowledge to the contrary whether such Bond or any installment of interest due thereon shall be overdue or not. All payments on account of interest or principal made to the registered owner of any Bond shall be valid and effectual and shall be a discharge of the City and said Paying Agent and Registrar, in respect of the liability upon the Bonds or claims for interest to the extent of the sum or sums so paid. If any Bond is not paid upon presentation of the Bond at maturity or any interest installment is not paid when due, the delinquent Bond or delinquent interest installment shall bear interest thereafter until paid at a rate equal to the rate assessed against delinquent taxes under Section 45-104.01 R.R.S. Nebraska, 2010, as now existing or as the same may be amended from time to time by the Nebraska Legislature.

Section 3. BOK Financial, N.A., Lincoln, Nebraska, is hereby designated as Paying Agent and Registrar for the Bonds, provided that the Mayor may, in his or her discretion, appoint the City Treasurer or some other bank with trust powers or trust company to serve as Paying Agent and Registrar under the terms of this Ordinance as may be determined from time to time. Said Paying Agent and Registrar shall serve in such capacities under the terms of an agreement entitled "Paying Agent and Registrar's Agreement" between the City and said Paying Agent and Registrar, the form of which is hereby approved. The Paying Agent and Registrar shall keep and maintain for the City books for the registration and transfer of the Bonds at the office of the Paying Agent and Registrar in Lincoln, Nebraska or the office of any duly appointed successor, as applicable. The names and registered addresses of the registered owner or owners of the Bonds shall at all times be recorded in such books. Any Bond may be transferred pursuant to its provisions at the office of the Paying Agent and Registrar upon surrender of such Bond for cancellation, accompanied by a written instrument of transfer, in form satisfactory to such Paying Agent and Registrar, duly executed by the registered owner in person or by such owner's duly authorized agent, and thereupon the Paying Agent and Registrar will register such transfer upon said registration books and deliver to the transferee registered owner or owners (or send by registered mail to the transferee owner or owners at such owner's or owners' risk and expense), registered in the name of such transferee owner or owners, a new Bond or Bonds of the same interest rate, aggregate principal amount and maturity. To the extent of the denominations authorized for the Bonds by this ordinance, one Bond may be transferred for several such Bonds of the same interest rate and maturity and for a like aggregate principal amount, and several such Bonds may be transferred for one or several such Bonds, respectively, of the same interest rate and maturity and for a like aggregate principal amount. In every case of transfer of a Bond, the surrendered Bond or Bonds shall be cancelled and destroyed. All Bonds issued upon transfer of the Bonds so surrendered shall be valid obligations of the City evidencing the same obligations as the Bonds surrendered and shall be entitled to all benefits and protection of this ordinance to the same extent as the Bonds upon transfer of which they were delivered. The City and the Paying Agent and Registrar shall not be required to transfer Bonds during any period from any Record Date until its immediately following interest payment. In the event that payments of interest due on the Bonds on an interest payment date are not timely made, such interest shall cease to be payable to the registered owners as of the Record Date for such interest payment date and shall be payable to the registered owners of the Bonds as of a special date of record for payment of such defaulted interest as shall be designated by the Paying Agent and Registrar whenever monies for the purpose of paying such defaulted interest become available.

Section 4. The Bonds shall be subject to redemption, in whole or in part, prior to maturity at any time on or after the fifth anniversary of the date of delivery of such Bonds at a redemption

price equal to 100% of the par amount thereof plus accrued interest on the principal amount redeemed to the date fixed for redemption. The City may select the bonds to be redeemed from such optional redemption in its sole discretion, but bonds shall be redeemed only in the amount of \$5,000 or integral multiples thereof. Notice of redemption of any bond called for redemption shall be given at the direction of the Mayor and Council by the Paying Agent and Registrar by mail not less than thirty days prior to the date fixed for redemption, first class postage prepaid, sent to the registered owner of such bond at said owner's registered address. Such notice shall designate the bond or bonds to be redeemed by number and maturity, the date of original issue, the date fixed for redemption and state that such bond or bonds are to be presented for prepayment at the office of the Paying Agent and Registrar. In case of any bond partially redeemed, such notice shall specify the portion of the principal amount of such bond to be redeemed. No defect in the mailing of notice for any bond shall affect the sufficiency of the proceedings of the Mayor and Council designating the bonds called for redemption or the effectiveness of such call for bonds for which notice by mail has been properly given and the Mayor and Council shall have the right to further direct notice of redemption for any such bond for which defective notice has been given.

Section 5. If the date for payment of the principal of or interest on the Bonds shall be a Saturday, Sunday, legal holiday or a day on which banking institutions in the city where the office of the Paying Agent is located are authorized by law or executive order to close, then the date for such payment shall be the next succeeding day which is not a Saturday, Sunday, legal holiday or a day on which such banking institutions are authorized to close, and payment on such day shall have the same force and effect as if made on the nominal date of payment.

Section 6. The Bonds shall be executed on behalf of the City by being signed by the Mayor and the City Clerk, both of which signatures may be facsimile signatures, and shall have the City seal impressed on each Bond, which may be a facsimile seal. The City Clerk shall make and certify a transcript of proceedings had and done precedent to the issuance of said Bonds which shall be delivered to the purchaser of said Bonds. After being executed by the Mayor and City Clerk, said Bonds shall be delivered to the Treasurer of the City who shall be responsible therefor under his/her official Bond. Such Treasurer shall maintain a record of information with respect to said Bonds in accordance with the requirements of Section 10-140, R.R.S. Neb. 2012, as amended, and shall cause the same to be filed with the office of the Auditor of Public Accounts of the State of Nebraska. The Paying Agent and Registrar shall register each Bond in the name of its initial registered owner as designated by the initial purchaser. Each Bond shall be authenticated on behalf of the City by the Paying Agent and Registrar. The Bonds shall be issued initially as "book-entry only" bonds using the services of The Depository Trust Company (the "Depository"), with one typewritten Bond per maturity being issued to the Depository. In such connection said officers of the City are authorized to execute and deliver a letter of representations and inducement (the "Letter of Representations") in the form required by the Depository (which may include any "blanket" letter previously executed and delivered), on behalf of the City, which shall thereafter govern matters with respect to registration, transfer, payment and redemption of the Bonds. Upon issuance of the Bonds as "book-entry-only" bonds, the following provisions shall apply:

(a) The City and the Paying Agent and Registrar shall have no responsibility or obligation to any broker-dealer, bank or other financial institution for which the Depository holds Bonds as securities depository (each, a "Bond Participant") or to any person who is an actual

purchaser of a Bond from a Bond Participant while the Bonds are in book-entry form (each a “Beneficial Owner”) with respect to the following:

(i) the accuracy of the records of the Depository, any nominees of the Depository or any Bond Participant with respect to any ownership interest in the Bonds;

(ii) the delivery to any Bond Participant, any Beneficial Owner or any other person, other than the Depository, of any notice with respect to the Bonds, including any notice of redemption; or

(iii) the payment to any Bond Participant, any Beneficial Owner or any other person, other than the Depository, of any amount with respect to the Bonds.

The Paying Agent and Registrar shall make payments with respect to the Bonds only to or upon the order of the Depository or its nominee, and all such payments shall be valid and effective fully to satisfy and discharge the obligations with respect to such Bonds to the extent of the sum or sums so paid. No person other than the Depository shall receive an authenticated Bond, except as provided in (e) below.

(b) Upon receipt by the Paying Agent and Registrar of written notice from the Depository to the effect that the Depository is unable to or unwilling to discharge its responsibilities, the Paying Agent and Registrar shall issue, transfer and exchange Bonds requested by the Depository in appropriate amounts. Whenever the Depository requests the Paying Agent and Registrar to do so, the Paying Agent and Registrar will cooperate with the Depository in taking appropriate action after reasonable notice (i) to arrange, with the prior written consent of the City, for a substitute depository willing and able upon reasonable and customary terms to maintain custody of the Bonds or (ii) to make available Bonds registered in whatever name or names the Beneficial Owners transferring or exchanging such Bonds shall designate.

(c) If the City determines that it is desirable that certificates representing the Bonds be delivered to the ultimate Beneficial Owners of the Bonds and so notifies the Paying Agent and Registrar in writing, the Paying Agent and Registrar shall so notify the Depository, whereupon the Depository will notify the Bond Participants of the availability through the Depository of bond certificates representing the Bonds. In such event, the Paying Agent and Registrar shall issue, transfer and exchange bond certificates representing the Bonds as requested by the Depository in appropriate amounts and in authorized denominations.

(d) Notwithstanding any other provision of this Ordinance to the contrary, so long as any Bond is registered in the name of the Depository or any nominee thereof, all payments with respect to such Bond and all notices with respect to such Bond shall be made and given, respectively, to the Depository as provided in the Letter of Representations.

(e) Registered ownership of the Bonds may be transferred on the books of registration maintained by the Paying Agent and Registrar, and the Bonds may be delivered in physical form to the following:

(i) any successor securities depository or its nominee; or

(ii) any person, upon (A) the resignation of the Depository from its functions as depository or (B) termination of the use of the Depository pursuant to this Section and the terms of the Paying Agent and Registrar's Agreement (if any).

(f) In the event of any partial redemption of a Bond, unless such partially redeemed Bond has been replaced in accordance with this Ordinance, the books and records of the Paying Agent and Registrar shall govern and establish the principal amount of such Bond as is then outstanding and all the Bonds issued to the Depository or its nominee shall contain a legend to such effect.

If for any reason the Depository resigns and is not replaced or upon termination by the City of book-entry-only form, the City shall immediately provide a supply of bond certificates for issuance upon subsequent transfers or in the event of partial redemption. In the event that such supply of certificates shall be insufficient to meet the requirements of the Paying Agent and Registrar for issuance of replacement bond certificates upon transfer or partial redemption, the City agrees to order printed an additional supply of bond certificates and to direct their execution by manual or facsimile signature of its then duly qualified and acting officers. In case any officer whose signature or facsimile thereof shall appear on any Bond shall cease to be such officer before the delivery of such Bond (including any bond certificates delivered to the Paying Agent and Registrar for issuance upon transfer or partial redemption) such signature or such facsimile signature shall nevertheless be valid and sufficient for all purposes the same as if such officer or officers had remained in office until the delivery of such Bond. The Bonds shall not be valid and binding on the City until authenticated by the Paying Agent and Registrar. The Bonds shall be delivered to the Paying Agent and Registrar for registration and authentication.

Section 7. The Bonds shall be in substantially the following form:

UNITED STATES OF AMERICA  
STATE OF NEBRASKA  
COUNTY OF BUFFALO  
CITY OF GIBBON

GENERAL OBLIGATION MUNICIPAL BUILDING BOND  
SERIES 2021

Bond No. \_\_\_\_\_ \$ \_\_\_\_\_

<u>Interest Rate</u> %	<u>Maturity Date</u>	<u>Date of Original Issue</u> _____, 2021	<u>CUSIP No.</u>
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Registered Owner: \_\_\_\_\_

Principal Amount: \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That the City of Gibbon, in the County of Buffalo, in the State of Nebraska (the "City"), hereby acknowledges itself to owe and for value received promises to pay to the registered owner specified above the principal amount specified above in lawful money of the United States of America on the maturity date specified above, with interest thereon from date of original issue specified above or most recent interest payment date to which interest has been paid or provided for, whichever is later, to maturity (or earlier redemption) at the rate per annum specified above. Interest shall be payable semiannually on fifteenth day of \_\_\_\_\_ and \_\_\_\_\_ in each year, starting \_\_\_\_\_, 2021. Interest shall be computed on the basis of a three hundred sixty day year consisting of twelve thirty-day months. If this bond is not paid upon presentation at maturity or any interest installment hereon is not paid when due, the bond or interest installment shall bear interest thereafter until paid at a rate equal to the rate assessed against delinquent taxes under Section 45-104.01 R.R.S. Nebraska 2010, as now existing or as the same may be amended from time to time by the Nebraska Legislature. The interest hereon due prior to maturity shall be paid on each interest payment date by the Paying Agent and Registrar by wire transfer (but only in accordance with the limited terms of the authorizing ordinance), check or draft mailed to the registered owner hereof, as shown on the records of the Paying Agent and Registrar as of the close of business on the fifteenth day (whether or not a business day) immediately preceding the interest payment date, at such owner's registered address as it appears on the books of registration of the City (the "Record Date"). The principal of this bond and the interest due at maturity are payable on presentation and surrender to BOK Financial, N.A., as Paying Agent and Registrar, at the office of the Paying Agent and Registrar in Lincoln, Nebraska or the principal corporate trust office of any duly appointed successor, as applicable. Any interest not so timely paid shall cease to be payable to the person entitled thereto as of the Record Date such interest was payable and shall be payable to the person who is the registered owner of this bond (or of one or more predecessor bonds hereto) on such special record date for payment of such defaulted interest as shall be fixed by the Paying Agent and Registrar whenever monies for such purpose become available. For the prompt payment of this bond, principal and interest as the same become due, the full faith, credit and resources of said City are hereby irrevocably pledged.

The City, however, reserves the right and option of paying bonds of this issue, in whole or in part, on the fifth anniversary of the dated date hereof, or at any time thereafter, at the principal amount thereof plus accrued interest to the date fixed for redemption. Notice of any such redemption shall be given by mail, sent to the registered owner of any bond to be redeemed at said registered owner's address in the manner provided in the ordinance authorizing said bonds. Individual bonds may be redeemed in part but only in the amount of \$5,000 or integral multiples thereof. Any bond redeemed in part only shall be surrendered to the Paying Agent and Registrar in exchange for a new bond or bonds evidencing the unredeemed principal thereof.

This bond is one of an issue of fully registered bonds of the total principal amount of \$ \_\_\_\_\_, of like tenor herewith except as to denomination, date of maturity and rate of interest issued by the City for the purpose of paying the cost of constructing municipal building improvements in and for the City, consisting of renovations and additions to the fire hall, including additional bays, a training area, a community room and city hall. The proposition of constructing said improvements and issuing said bonds was submitted to the legal electors of said City at an election held in said City on November 3, 2020, and a majority of the electors voting voted in favor of constructing said improvements and issuing said bonds. Proper notice as required by law of the time and place of said election was given by publication in a legal newspaper printed in Buffalo County and of general circulation in said City. The issuance of said bonds has been authorized by an ordinance duly passed by the Mayor and Council of said City in strict compliance with Sections 17-953 and 17-954, R.R.S. Neb. 2012, as amended.

This bond is transferable by the registered owner or such owner's attorney duly authorized in writing at the office of the Paying Agent and Registrar upon surrender and cancellation of this bond, and thereupon a new bond or bonds of the same aggregate principal amount, interest rate and maturity will be issued to the transferee as provided in the ordinance authorizing said issue of bonds, subject to the limitations therein prescribed. The City, its Paying Agent and Registrar and any other person may treat the person in whose name this bond is registered as the absolute owner hereof for the purpose of receiving payment hereof and for all purposes and shall not be affected by any notice to the contrary, whether this bond be overdue or not.

AS PROVIDED IN THE ORDINANCE REFERRED TO HEREIN, UNTIL THE TERMINATION OF THE SYSTEM OF BOOK-ENTRY-ONLY TRANSFERS THROUGH THE DEPOSITORY TRUST COMPANY, NEW YORK, NEW YORK (TOGETHER WITH ANY SUCCESSOR SECURITIES DEPOSITORY APPOINTED PURSUANT TO THE ORDINANCE, "DTC"), AND NOTWITHSTANDING ANY OTHER PROVISIONS OF THE ORDINANCE TO THE CONTRARY, A PORTION OF THE PRINCIPAL AMOUNT OF THIS BOND MAY BE PAID OR REDEEMED WITHOUT SURRENDER HEREOF TO THE PAYING AGENT AND REGISTRAR. DTC OR A NOMINEE, TRANSFEREE OR ASSIGNEE OF DTC OF THIS BOND MAY NOT RELY UPON THE PRINCIPAL AMOUNT INDICATED HEREON AS THE PRINCIPAL AMOUNT HEREOF OUTSTANDING AND UNPAID. THE PRINCIPAL AMOUNT HEREOF OUTSTANDING AND UNPAID SHALL FOR ALL PURPOSES BE THE AMOUNT DETERMINED IN THE MANNER PROVIDED IN THE ORDINANCE.

UNLESS THIS BOND IS PRESENTED BY AN AUTHORIZED OFFICER OF DTC (A) TO THE PAYING AGENT AND REGISTRAR FOR REGISTRATION OF TRANSFER OR EXCHANGE OR (B) TO THE PAYING AGENT AND REGISTRAR FOR PAYMENT OF PRINCIPAL, AND ANY BOND ISSUED IN REPLACEMENT HEREOF OR SUBSTITUTION HEREFOR IS REGISTERED IN THE NAME OF DTC AND ANY PAYMENT IS MADE TO DTC OR ITS NOMINEE, ANY TRANSFER, PLEDGE OR OTHER USE HEREOF FOR VALUE OR OTHERWISE BY OR TO ANY PERSON IS WRONGFUL BECAUSE ONLY THE REGISTERED OWNER HEREOF, DTC OR ITS NOMINEE, HAS AN INTEREST HEREIN.

This bond shall not be valid and binding on the City until authenticated by the Paying Agent and Registrar.

IT IS HEREBY CERTIFIED AND WARRANTED that all conditions, acts and things required by law to exist or to be done precedent to and in the issuance of this bond did exist, did happen and were done and performed in regular and due form and time as required by law, and that the indebtedness of said City, including this bond, does not exceed any limitations imposed by law. The City covenants and agrees that it will cause to be levied and collected annually a tax by valuation on all the taxable property in said City, in addition to all other taxes, sufficient in rate and amount to pay the interest on this bond when and as the same becomes due and to create a sinking fund to pay the principal of this bond when the same becomes due, to the extent not paid from other sources, including revenues generated by the City's local option sales tax.

IN WITNESS WHEREOF, the Mayor and Council of the City of Gibbon, Nebraska, have caused this bond to be executed on behalf of the City by being signed by the Mayor and Clerk of the City, both of which signatures may be facsimile signatures, and by causing the official seal of the City to be affixed hereto which may be a facsimile seal, all as of the date of original issue shown above.

CITY OF GIBBON, NEBRASKA

By: \_\_\_\_\_ (Do Not Sign)  
Mayor

ATTEST:

\_\_\_\_\_  
(Do Not Sign)  
City Clerk

(S E A L)

CERTIFICATE OF AUTHENTICATION

This bond is one of the bonds authorized by an ordinance passed and approved by the Mayor and Council of the City of Gibbon, Nebraska as described in said bonds.

BOK Financial, N.A., Paying Agent  
and Registrar

By: \_\_\_\_\_ (Do not sign)  
Authorized Officer

(FORM OF ASSIGNMENT)

For value received \_\_\_\_\_ hereby sells, assigns and transfers unto \_\_\_\_\_ the within bond and hereby irrevocably constitutes and appoints \_\_\_\_\_, Attorney, to transfer the same on the books of registration in the office of the within mentioned Paying Agent and Registrar with full power of substitution in the premises.

Date: \_\_\_\_\_  
Registered Owner

SIGNATURE GUARANTEED

By: \_\_\_\_\_  
Authorized Officer

Note: The signature(s) of this assignment MUST CORRESPOND with the name as written on the face of the within bond in every particular without alteration, enlargement or any change whatsoever, and must be guaranteed by a commercial bank or a trust company or by a firm having membership on the New York, Midwest or other stock exchange.

Section 8. Each series of the Bonds is hereby sold to Piper Sandler & Co. (the "Initial Purchaser") upon the terms set forth in the Agreement for such series which is approved by the Authorized Officers (within the parameters set forth above) and agreed to by the Initial Purchaser and the City Treasurer is authorized to deliver the Bonds to the Initial Purchaser upon receipt of the purchase price set forth in the Agreement for such series plus accrued interest to date of payment. The Bonds are sold to the Initial Purchaser subject to the opinion of Rembolt Ludtke LLP, as Initial Purchaser's bond counsel, that the Bonds are lawfully issued; that the Bonds constitute a valid obligation of the City; and that under existing laws and regulations the interest on the Bonds is exempt from both Nebraska state and federal income taxes. Such purchaser and its agents, representatives and counsel (including Initial Purchaser's bond counsel) are hereby authorized to take such actions on behalf of the City as are necessary to effectuate the closing of the issuance and sale of the Bonds, including, without limitation, authorizing the release of the Bonds by the Depository (as defined herein) at closing. The proceeds of the Bonds shall be applied upon receipt for the purposes described in Section 1 hereof. The City may also pay costs of issuance from the proceeds of the Bonds.

Section 9. The Mayor and Council shall cause to be levied and collected annually a tax by valuation on all the taxable property in the City, in addition to all other taxes, including funds received from the increase in the sales tax rate of the City, sufficient in rate and amount to pay the interest on the Bonds herein authorized as the same becomes due and to create a sinking fund to pay the principal of said Bonds when and as such principal becomes due.

Section 10. The City Council hereby authorizes the Mayor and Clerk, or either of them, to approve (and declare final) on behalf of the City a preliminary Official Statement prepared with respect to a series of the Bonds and hereby authorizes the Mayor and Clerk, or either of them, to approve, execute and deliver on behalf of the City a final Official Statement relating to and describing the Bonds in such series. The officers of the City are further authorized to take any and all actions deemed necessary by them in connection with the carrying out and performance of the terms of this Ordinance.

Section 11. If and to the extent any individual series of Bonds is issued in the amount of \$1,000,000 or more, then in accordance with the requirements of Rule 15c2-12 of the Securities Exchange Act of 1934 (the “Rule”) promulgated by the Securities and Exchange Commission, the City, being the only “obligated persons” other than the City with respect to the Bonds, and being an “obligated person” with respect to no more than \$10,000,000 in aggregate amount of outstanding municipal securities (including the Bonds), agrees that it will provide the following continuing disclosure information to the Municipal Securities Rulemaking Board (the “MSRB”) in an electronic format as prescribed by the MSRB for such series of Bonds:

- (a) at least annually not later than nine months after the end of the City’s fiscal year, financial information or operating data for the City which is customarily prepared by the City and is publicly available, including the City’s audited financial statements and information of the type included in the final official statement under the heading “Financial Statement”;
- (b) in a timely manner not in excess of ten business days after the occurrence of the event, notice of the occurrence of any of the following events with respect to the Bonds:
  - (1) principal and interest payment delinquencies;
  - (2) non-payment related defaults, if material;
  - (3) unscheduled draws on debt service reserves reflecting financial difficulties;
  - (4) unscheduled draws on credit enhancements reflecting financial difficulties;
  - (5) substitution of credit or liquidity providers, or their failure to perform;
  - (6) adverse tax opinions, the issuance by the Internal Revenue Service of proposed or final determinations of taxability, Notices of Proposed Issue (IRS

Form 5701-TEB) or other material notices or determinations with respect to the tax status of the Bonds, or other material events affecting the tax status of the Bonds;

- (7) modifications to rights of the holders of the Bonds, if material;
- (8) Bond calls, if material, and tender offers;
- (9) defeasances;
- (10) release, substitution, or sale of property securing repayment of the Bonds, if material;
- (11) rating changes;
- (12) bankruptcy, insolvency, receivership or similar events of the City (this event is considered to occur when any of the following occur: the appointment of a receiver, fiscal agent or similar officer for the City in a proceeding under the U.S. Bankruptcy Code or in any other proceeding under state or federal law in which a court or governmental authority has assumed jurisdiction over substantially all of the assets or business of the City, or if such jurisdiction has been assumed by leaving the existing governing body and officials or officers in possession but subject to the supervision and orders of a court or governmental authority, or the entry of an order confirming a plan of reorganization, arrangement or liquidation by a court or governmental authority having supervision or jurisdiction over substantially all of the assets or business of the City);
- (13) the consummation of a merger, consolidation, or acquisition involving the City or the sale of all or substantially all of the assets of the City, other than in the ordinary course of business, the entry into a definitive agreement to undertake such an action or the termination of a definitive agreement relating to any such actions, other than pursuant to its terms, if material;
- (14) appointment of a successor or additional trustee or the change of name of a trustee, if material;
- (15) incurrence of a financial obligation of the obligated person, if material, or agreement to covenants, events of default, remedies, priority rights, or other similar terms of a financial obligation of the obligated person, any of which affect security holders, if material; and
- (16) default, event of acceleration, termination event, modification of terms, or other similar events under the terms of a financial obligation of the obligated person, any of which reflect financial difficulties.

For purposes subparagraph (15) above, a “financial obligation” means a (a) debt obligation; (b) derivative instrument entered into in connection with, or pledged as security or a source of payment for, an existing or planned debt obligation; or (c) guarantee of a debt obligation or any such derivative instrument; provided that “financial obligation” shall not include municipal securities as to which a final official statement (as defined in the Rule) has been provided to the MSRB consistent with the Rule.

The City has not undertaken to provide notice of the occurrence of any other event, except the events listed above. The City agrees that all documents provided to the MSRB under the terms of this continuing disclosure undertaking shall be in such electronic format and accompanied by such identifying information as shall be prescribed by the MSRB. The City reserves the right to modify from time to time the specific types of information provided or the format of the presentation of such information or the accounting methods in accordance with which such information is presented, to the extent necessary or appropriate in the judgment of the City, consistent with the Rule. The City agrees that such covenants are for the benefit of the registered owners of the applicable series of the Bonds (including Beneficial Owners) and that such covenants may be enforced by any registered owner or Beneficial Owner, provided that any such right to enforcement shall be limited to specific enforcement of such undertaking and any failure shall not constitute an event of default under this Ordinance. The continuing disclosure obligations of the City with regards to a series of the Bonds, as described above, shall cease when none of the Bonds of such series remain outstanding.

Section 12. The City hereby covenants to the purchasers and holders of the Bonds hereby authorized that it will make no use of the proceeds of said Bond issue, including monies held in any sinking fund for the payment of said Bonds, which would cause said Bonds to be arbitrage bonds within the meaning of Sections 103(b) and 148 of the Internal Revenue Code of 1986, as amended (the “Code”) and further covenants to comply with said Sections 103 and 148 and all applicable regulations thereunder throughout the term of said Bond issue. The City hereby covenants and agrees to take all actions necessary under the Code to maintain the tax-exempt status of interest payable on the Bonds with respect to taxpayers generally but not including insurance companies. The City hereby designates the Bonds as its “qualified tax-exempt obligations” pursuant to Section 265(b)(3)(B)(i)(III) of the Code and covenants and warrants that it does not anticipate issuing tax-exempt obligations in the calendar year of the date of issue of any series of the Bonds in an amount in excess of \$10,000,000.

Section 13. In order to promote compliance with certain federal tax and securities laws relating to the Bonds herein authorized (as well as other outstanding bonds) the policy and procedures attached hereto as Exhibit “A” (the “Post-Issuance Compliance Policy and Procedures”) are hereby adopted and approved in all respects. To the extent that there is any inconsistency between the attached Post-Issuance Compliance Policy and Procedures and any similar policy or procedures previously adopted and approved, the Post-Issuance Compliance Policy and Procedures shall control.

Section 14. This ordinance shall be published in pamphlet form and take effect as provided by law.

PASSED AND APPROVED this \_\_\_\_\_ day of April, 2021.

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Mayor

ATTEST:

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City Clerk

(S E A L)

**Ordinance No. 627**

AN ORDINANCE OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA APPROVING THE EMERGENCY PURCHASE OF PARTS AND MATERIALS FOR THE REPAIR AND IMPROVEMENT OF THE SEWER LIFT STATION ON FRONT STREET.

BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA:

**Section 1: APPROVING OF EMERGENCY PURCHASE OF PARTS AND MATERIALS FOR THE REPAIR IMPROVEMENT OF SEWER LIFT STATION ON FRONT STREET.**

1) The sewer lift station on Front Street is in immediate need of repair and replacement and its operation is vital to the sewer system in the City.

2) A substantial portion of the parts and materials needed are only available from a sole provider, are not kept in stock, are made only after ordered, take several months to fabricate and build and any delay in the purchase of such parts and materials would put the City at serious risk to property and serious risk of injury to the health of the citizens of the City for an unreasonable period of time.

3) The Mayor and City Council hereby declare that a public emergency exists and immediate action is needed.

4) It is therefore ordered that the City order such parts and materials that are necessary to repair and improve the sewer lift station and that the requirement to obtain a prior estimate of costs and the requirement to advertise for bids are hereby waived and that the purchase of such parts and materials is approved.

**Section 2: EFFECTIVE DATE.**

This ordinance shall become effective upon its passage and publication according to law.

**Section 3: ADOPTION.**

Passed and adopted by the City Council of the City of Gibbon, State of Nebraska, on this \_\_\_\_\_ day of April, 2021.

CITY OF GIBBON, NEBRASKA

\_\_\_\_\_  
Deborah VanMatre, Mayor

ATTEST:

\_\_\_\_\_  
Pamela Rasmussen, CMC, City Clerk