



**SPECIAL VILLAGE BOARD MEETING  
OF THE BOARD OF TRUSTEES  
VILLAGE OF MAYWOOD  
TUESDAY, DECEMBER 1, 2020  
AT 7:00 PM  
40 MADISON ST.  
MAYWOOD, IL 60153**

**Physical attendance at this public meeting is limited to 25 individuals or 25% occupancy, with priority given to Village officials, Village staff and consultants, subject to social distancing guidelines.**

**The public is encouraged to stay at home and watch and listen to and participate in the public meeting via electronic means.**

**Public comments and any responses will be read into the public meeting record.**

**Please submit public comments via email in advance of the public meeting to: [cthompkins@maywood-il.org](mailto:cthompkins@maywood-il.org) or [tpavlik@maywood-il.org](mailto:tpavlik@maywood-il.org) and/or faxing to (708) 681-8818.**

**Options to watch and listen to the public meeting:**

**Live Stream at Village Website Home Page: Go to [www.maywood-il.org](http://www.maywood-il.org) and Click "Video On Demand".**

**AGENDA**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. INVOCATION**
- 4. PLEDGE OF ALLEGIANCE TO THE FLAG**
- 5. APPROVAL OF MINUTES FOR SPECIAL BOARD MEETING OF THE BOARD OF TRUSTEES, TUESDAY, NOVEMBER 17, 2020** **5**
- 6. OATHS, REPORTS, PROCLAMATIONS, ANNOUNCEMENTS AND APPOINTMENTS**
- 7. FINANCE MANAGEMENT REPORT(S):**
  - A. Approval of Village of Maywood Warrant List No. 200503 through November 24, 2020 in the amount of \$1,551,344.44. 10
  - B. Discussion pursuant to the Village of Maywood Open Invoices Report as of November 24, 2020 in the amount of \$242,208.03. 16
- 8. AGENDA FOR TRUTH IN TAXATION PUBLIC HEARING ON THE PROPOSED 2020 REAL ESTATE TAX LEVY** **28**
  - A. Memo from Lanya Satchell, Finance Director regarding the 2020 Property Tax Levy. 29
- 9. MAYOR'S REPORT AND THEME: "A SHIFT IS COMING, THINGS ARE CHANGING IN OUR FAVOR, WHEN THE PEOPLE GET A MIND TO WORK"**
- 10. PUBLIC COMMENT:**
- 11. VILLAGE MANAGER'S REPORT:**
  - A. Discussion and consideration concerning MPD Proposal No. 24 request to make the Village of Maywood Ordinance more restrictive and to prohibit electronic cigarettes and flavors from being sold in the Village. 32
  - B. Discussion and consideration concerning MPD Proposal No. 25 to renew contract with Verra Mobility Corporation, formerly American Traffic Solutions, to continue professional services from December 31, 2020 through December 31, 2021. 42
  - C. Request to Amend Section 4.1 Assignment to the Addendum to Host Community Benefit Agreement between the Village of Maywood, Cook County, Illinois and Greenwood Transfer, LLC for a Solid Waste Transfer Facility. 45
  - D. Request to receive the 2020 Foreign Fire Insurance Tax allocation in the amount of \$35,248.23 for the Maywood Fire Department that was received from the Illinois Municipal League. The Illinois Municipal League (IML) collects the Foreign Fire 51

Insurance Tax from more than 450 insurance companies outside of Illinois on behalf of fire protection entities enrolled in the Illinois Foreign Fire Insurance Tax program.

**12. VILLAGE ATTORNEY REPORT:**

- A. Discuss Schedule for Adoption and Approval of Amendments to the Redevelopment Project and Plan for the Madison Street-Fifth Avenue TIF District. - No attachments
  - a. Announce Public Hearing to be conducted by Village Board on Tuesday, December 15, 2020 (as part of the Village Board meeting - 7:00 P.M.)
  - b. Announce Ordinance approving the First Amendment to Redevelopment Project and Plan to be considered at Tuesday, December 29, 2020, Special Village Board Meeting (7:00 P.M.)
- B. Discuss Schedule for Adoption and Approval of Amendments to the Redevelopment Project and Plan for the Roosevelt Road TIF District. - No attachments
  - a. Announce Public Hering to be conducted by Village Board on Tuesday, December 15, 2020 (as part of the Village Board meeting - 7:00 P.M.)
  - b. Announce Ordinance Approving the First Amendment to Redevelopment Project and Plan to be considered at Tuesday, December 29, 2020, Special Village Board Meeting (7:00 P.M.)

**13. OMNIBUS AGENDA ITEMS:**

- A. Approval of payment to Fire Services Inc. IL for vehicle maintenance, repairs, parts and service for the Village of Maywood Fire Department in the amount of \$6,979.77.
- B. Approval of payment to Allied Waste Service for garbage service provided for the Village of Maywood for the month of September 2020 in the amount of \$309,790.00 60
- C. Approval of payment to AT&T for telephone service provided for the Village of Maywood dated 9/26/20 through 10/25/20 in the amount of \$5,899.25. 63
- D. Approval of payment to Blue Cross Blue Shield for Health Insurance Premiums for the Village of Maywood employees for the month of November 2020 in the amount of \$239,485.46. 65
- E. Approval of payment to Broadview Animal Hospital for impounded animals and other services for the Village of Maywood Code Enforcement Department in the amount of \$13,040.00. 67
- F. Approval of payment to City of Chicago for water services provided to the Village of Maywood from September 17, 2020 to October 16, 2020 in the amount of \$290,618.49. 72
- G. Approval of payment to Hancock Engineering for engineering services rendered for the Village of Maywood Public Works Department in the amount of \$62,308.00. 75
- H. Approval of payment to Mark-It-Striping, Inc. for various streets pavement markings for the Village of Maywood Public Works Department in the amount of \$29,025.76. 79
- I. Approval of payment to Municipal Employee V.E.B.A. Trust for Health and Dental Insurance Premiums for the month of November 2020 in the amount of \$96,658.98. 81
- J. Approval of payment to Triggs Construction which includes the 2020 Alley and Roadway Improvements Project for the Village of Maywood in the amount of \$205,439.58. 83
- K. AN ORDINANCE AUTHORIZING CERTAIN EXPENDITURES FROM THE MADISON STREET / 5TH AVENUE TAX INCREMENT FINANCING REDEVELOPMENT PROJECT AREA FUND TO PAY FOR THE VILLAGE'S SHARE OF A FACADE IMPROVEMENT PROJECT (Awning facade Improvements by Global Estates, LLC at 840 South 17th Avenue, Maywood, Illinois), with a cover memo dated November 24, 2020 from Klein, Thorpe and Jenkins, Ltd. 92
- L. AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF CERTAIN REDEVELOPMENT AGREEMENTS AND AMENDING THE APPROVALS GIVEN IN ORDINANCE NO. CO-2019-08 APPROVING THE SALE 103

AND CONVEYANCE OF CERTAIN SURPLUS VILLAGE-OWNED REAL PROPERTY COMMONLY KNOWN AS 4 SOUTH 20TH AVENUE, 126 SOUTH 13TH AVENUE, 203/205 SOUTH 15TH AVENUE, 711 SOUTH 9TH AVENUE, 431 SOUTH 14TH AVENUE, 1114 SOUTH 2ND AVENUE AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS UNDER THE VILLAGE'S TAX REACTIVATION PROGRAM (BUNDLE NUMBER 1 AND BUNDLE NUMBER 2 AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS) with a cover memo dated November 24, 2020 from Klein, Thorpe and Jenkins, Ltd.

M. RESOLUTION APPROVING THE REGULAR MEETING SCHEDULE OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD FOR CALENDAR YEAR 2021, with a cover memo dated November 24, 2020 from Klein, Thorpe and Jenkins, Ltd. 157

N. Approval of payment to M&J Asphalt Paving Company for the 2020 MFT Roadway Improvement Project for the Village of Maywood in the amount of \$165,434.07. 164

**14. NEW BUSINESS:**

A. RESOLUTION APPROVING AND AUTHORIZING THE EXECUTION OF AUTHORIZATION, ACKNOWLEDGEMENT AND INDEMNIFICATION FOR GROUND PENETRATION WORK AND TEMPORARY ACCESS AGREEMENT (1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois) (Access Health & Housing, LLC), with a cover memo dated November 24, 2020 from Klein, Thorpe and Jenkins, Ltd. 171

**15. OLD BUSINESS:**

A. AGENDA FOR TRUTH IN TAXATION PUBLIC HEARING ON THE PROPOSED 2020 REAL ESTATE TAX LEVY: 185

    a. Draft ORDINANCE OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY  
    (For Village Board consideration only; final Village Board action at the December 1 2020 Special Village Board Meeting).

    b. Draft ORDINANCE AUTHORIZING CERTAIN AMENDMENTS TO THE FISCAL YEAR 2020/2021 (MAY 1, 2020 THROUGH APRIL 30, 2021) VILLAGE OF MAYWOOD BUDGET (Amendment No. 1).

    c. General Discussion of the Fiscal Year 2020-2021 (May 1, 2020 through April 30, 2021) Village of Maywood Budget, the 2020-2021 Budget Amendments, the Proposed Fiscal Year 2021-2022 (May 1, 2021 through April 30, 2022) Village of Maywood Budget, and 2020 Tax Levy Adoption Process and Schedule.

B. RESOLUTION AUTHORIZING EXECUTION OF A THIRD AMENDMENT TO A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF MAYWOOD AND AMERICAN TRAFFIC SOLUTIONS, LLC, NOW KNOWN AS VERRA MOBILITY CORP., RELATIVE TO THE CONTINUED OPERATION OF AN AUTOMATED TRAFFIC LAW ENFORCEMENT SYSTEM IN THE VILLAGE, with a cover memo dated November 24, 2020 from Klein, Thorpe and Jenkins, Ltd. 195

**16. BOARD OF TRUSTEES COMMENTS**

**17. FOR INFORMATION ONLY**

**18. CLOSED MEETING SESSION**

**19. ADJOURNMENT**

cc: Mayor Edwenna Perkins  
Trustees: Nathaniel G. Booker  
Isiah Brandon  
Miguel Jones  
Melvin L. Lightford  
Antonio Sanchez  
Kimyada Wellington  
Village Clerk Viola Mims  
Village Manager Willie Norfleet, Jr.

**The above Public Meeting restrictions are authorized by the Open Meetings Act, the CDC directive (social distancing guidelines) and Illinois Governor Disaster proclamation dated November 13, 2020 (Restore Illinois Plan), and Executive Order 2020-63 and 2020-71 extending the Governor's prior Executive Orders relating to the COVID-19 pandemic and his implementation of the "Restore Illinois" Plan (COVID-19 E.O. No. 59 and COVID-19 E.O. No. 67), as amended.**

**VILLAGE OF MAYWOOD  
BOARD OF TRUSTEES  
SPECIAL BOARD MEETING MINUTES  
TUESDAY, NOVEMBER 17, 2020**

**Call to Order**

The Special Board Meeting of Tuesday, November 17, 2020 was called to order by Mayor Edwenna Perkins at 7:05 p.m. in the Council Chambers at 125 South 5<sup>th</sup> Avenue, Maywood, IL 60153.

**Roll Call**

Upon roll call by Viola Mims, Village Clerk, the following answered **Present:** Mayor Edwenna Perkins, Trustees I. Brandon, M. Jones (via Zoom), A. Sanchez (via Zoom), K. Wellington (via Zoom), M. Lightford and N. Booker.

**Absent:** None. There being a Quorum present, the meeting was convened.

Staff Attendance:

Willie Norfleet Jr., Village Manager  
David Myers, Director of Community Development  
Lanya Satchell, Finance Director  
Angela Smith, Business Coordinator, Community Development  
John West, Public Work Director  
Valdimir Talley Jr., Police Chief  
Elijah Willis, Deputy Police Chief  
Michael Jurusik, Village Attorney (via Zoom)  
William Peterhansen, Village Engineer

**Invocation** - Trustee Brandon

**Pledge of Allegiance to the Flag** - Everyone remained standing and recited the Pledge of Allegiance to the Flag of the United States of America.

**Approval of minutes for the Special Board Meeting of the Board of Trustees on Tuesday, November 4, 2020.**

**Motioned by Trustee Brandon and Seconded by Trustee Lightford to approve.**

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington and N. Booker

**Nays:** None

**Abstain:** Trustee M. Lightford

**Absent:** None

**Motion Carried**

**Oaths, Reports, Proclamations, Announcements and Appointments** - None

**Finance Management Report(s):**

A. Approval of Village of Maywood Warrant List No. 200502 through November 10, 2020 in the amount of \$869,672.37

**Motioned by Trustee Lightford and Seconded by Trustee Booker to approve.**

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington, N. Booker and M. Lightford

**Nays:** None

**Abstain:** None

**Absent:** None

**Motion Carried**

**Mayor’s Report and Theme: “A shift is coming; things are changing in our favor, when the people get a mind to work”.** None

**Public Comments: Comments from the Public – J. Clark. Response to Public Comments:** Mr. Norfleet.

**Village Manager’s Report:**

- A. Discussion and consideration concerning the Maywood Property Management, LLC for participation in the Façade Improvement Program located at 840 South 17<sup>th</sup> Avenue.

Ms. Smith gave an overview of the request for payment of funds (\$1,500) from the Madison Avenue TIF.

**Motioned by Trustee Brandon and Seconded by Trustee Booker to approve**

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington, M. Lightford and N. Booker

**Nays:** None

**Abstain:** None

**Absent:** None

**Motion Carried**

- B. Discussion and consideration concerning the Façade Program Expansion improvements and additions to enhance/streamline the process by which business apply for the program. The Façade Program is offered to commercial owners and tenants within Village TIF districts.

Trustee Brandon commented on the need for improvement to attract new businesses.

**Motioned by Trustee Brandon and Seconded by Trustee Jones to approve the expansion of the Facade Program to the Business Improvement Program and for us to have further conversation on the budget particularly at a finance committee meeting.** An amended motion follows:

**Motioned by Trustee Brandon and Seconded by Trustee Jones to approve the expansion of the program and to have further discussion for the amount of the program at the finance committee meeting.**

**Discussion:** Trustee Booker mentioned the need to decrease spending due to the effect COVID has had on the economy.

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones and K. Wellington

**Nays:** Trustees A. Sanchez, M. Lightford and N. Booker

**Abstain:** None

**Absent:** None

**Motion Carried**

**Village Attorney Report**

Attorney Jurusik gave a brief review of the JRB (Joint Review Board) meetings for Items A and B.

- A. Discuss schedule for Adoption and Approval of Amendments to the Redevelopment Project and Plan for the Madison Street – Fifth TIF District. No attachments
  - a. Announce availability of the draft Amended Redevelopment Plan.
  - b. Status Report on Joint Review Board Meeting held on Friday, November 13, 2020.
  - c. Announce Public Hearing to be conducted by Village Board on Tuesday, December 15, 2020 (as part of the Village Board Meeting - 7:00 p.m.)
  - d. Announce Ordinance approving the First Amendment to Redevelopment Project and Plan to be considered at the Tuesday, December 29, 2020 Special Village Board Meeting (7:00 p.m.).

- B. Discuss updated Tentative Schedule for Adoption and Approval of Amendments to the Redevelopment Project and Plan for the Roosevelt Road TIF District dated October 28, 2020.
- a. Announce availability of the draft Amended Redevelopment Plan.
  - b. Status Report on Joint Review Board Meeting held on Friday, November 13, 2020.
  - c. Announce Public Hearing to be conducted by Village Board on Tuesday, December 15, 2020 (as part of the Village Board Meeting - 7:00 p.m.)
  - d. Announce Ordinance approving the First Amendment to Redevelopment Project and Plan to be considered at the Tuesday, December 29, 2020 Special Village Board Meeting (7:00 p.m.).

**Omnibus Agenda Items:**

**Motioned by Trustee Lightford and Seconded by Trustee Booker for the approval of the Omnibus Agenda Items A – R**

**A.** Approval of a payment to Accu-tron Computer Service for computer consulting services for the month of November 2020 in the amount of \$6,300.00. **B.** Approval of payment to Allied Waste Service for garbage service pickup for the Village of Maywood for the month of November 2020 in the amount of \$8,497.41. **C.** Approval of payment to Cargill, Inc. for Bulk Salt Purchase for the Village of Maywood Public Works Department in the amount of \$14,347.24 "with bid waiver". **D.** Approval of payment to Comcast Business for Phone Internet and Trunk Services for the Village of Maywood in the amount of \$33,149.57. **E.** Approval of payment to Falco CG, Inc. for services provided to the Maywood Masonic Temple Cornice Repair/Multipurpose Building (200 So. 5th Ave.) to install Eave Chimney Flashing, Sheet Metal Cornice and Metal Roof 85 and Aluminum Windows in the amount of \$94,600.00 "with bid waiver". **F.** Approval of payment to Fleet Services for Retail Fuel Purchases for the Village of Maywood in the amount of \$8,219.09. **G.** Approval of payment to H&H Electric for Streetlight Maintenance and Repair for the Village of Maywood Public Works Department in the amount of \$5,321.85. **H.** Approval of payment to Maywood Glass & Mirror Company for installation of three steel doors for the Village of Maywood Police Department in the amount of \$17,500.00 "with bid waiver". **I.** Approval of payment to Signco for new window coverings for the Village of Maywood Historical Preservation Commission in the amount of \$5,250.00. **J.** Approval of payment to Standard Equipment for parts, repair and labor for the Village of Maywood Public Works Department in the amount of \$18,151.83 "with bid waiver". **K.** Approval of payment to T.P.I. for plumbing/building inspection services for the Village of Maywood Code Enforcement Department in the amount of \$7,712.00. **L.** Approval of payment to Utility Service Company for the 500,000 Pedisphere St. Charles Road Tank-Quarterly in the amount of \$7,444.96. **M.** Approval of payment to Village of Melrose Park for water services provided to the Village of Maywood 9/21/20 - 10/19/20 from the Village of Melrose Park in the amount of \$48,178.77. **N.** Approval of payment to J. Nardulli Concrete for construction on the referenced 2020 Green Infrastructure Alley Improvements Project in the amount of \$351,967.96. **O.** Approval of payment to Unique Plumbing for the 2020 Resurfacing Water Main Improvements Project in the amount of \$333,094.33. **P.** Statement for Legal Services for September 2020 Pertaining to General Matters in the amount of \$6,590.50. **Q.** Statement for Legal Services for September 2020 pertaining to Employment and Labor Matters, Litigation Matters, and Economic Redevelopment Matters, etc. in the total amount of \$30,283.91. **R.** A Resolution Approving the Sale of Real Property Commonly Known As 905 South 3rd Avenue Pursuant To The Anlap Program of the Village of Maywood (Purchaser: Lamont Curry, Owner of 907 South 3rd Avenue, Maywood, Illinois).

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington, M. Lightford and N. Booker

**Nays:** None

**Abstain:** None

**Absent:** None

**Motion Carried**

**New Business:**

- A. A Resolution Authorizing the Approval and Execution of an Agreement between the Village of Maywood and Area Towing, Inc. for vehicle towing services with a cover memo dated November 11, 2020 from Klein, Thorpe & Jenkins, Ltd.

**Motioned by Trustee Brandon and Seconded by Trustee Booker to approve.**

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington, N. Booker and M. Lightford

**Nays:** None

**Abstain:** None

**Absent:** None

**Motion Carried**

- B. 2020 Property Tax Levy: Resolution determining the estimated Village of Maywood Real Estate Tax Levy for Year 2020. This item was discussed after the Finance Management Report.

Ms. Satchell gave an overview of the 5% tax levy recommendation based on the essential requirements of the village and mentioned the village is currently working with a deficit. Attorney Jurusik stated the Resolution is an estimate for discussion at the Public Hearing on December 1, 2020. Trustees Brandon and Booker made comments.

**Motioned by Trustee Booker and Seconded by Trustee Lightford to not approve the recommendation of 5% to the Tax Levy.**

**Discussion:** None

**Ayes:** Trustee N. Booker

**Nays:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington and M. Lightford

**Abstain:** None

**Absent:** None

**Motion Failed**

**Motioned by Trustee Brandon and Seconded by Trustee Jones to approve the recommendation by staff for purposes of the upcoming meeting.**

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones and K. Wellington

**Nays:** Trustees A. Sanchez, M. Lightford and N. Booker

**Abstain:** None

**Absent:** None

**Motion Carried**

- C. Discussion and consideration to pay \$318.66 for the Tour De Proviso Bike Ride.

This item was removed by Mr. Norfleet

**Old Business**

- A. A Resolution Approval a renewal of the Cook County Class 8 Property Tax Rate Designation for the Real Property commonly known as 1401 St. Charles Road, Maywood, Illinois, (Aetna Plywood, Inc.) with a cover memo dated November 10, 2020 from Klein, Thorpe and Jenkins.

**Motioned by Trustee Brandon and Seconded by Trustee Booker to approve the Class 8 Tax Incentive for Aetna Plywood.**

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones and N. Booker

**Nays:** Trustees K. Wellington and M. Lightford

**Abstain:** None

**Absent:** Trustee A. Sanchez (lost connection)

**Motion Carried**

**Board of Trustee Comments/Information** - Trustees Brandon and Booker made comments regarding water accounts

**For Information Only** - None

**Closed Meeting Session:**

**Motioned by Trustee Brandon and Seconded by Trustee Jones to recess into Closed Session at 9:01 p.m. for the purpose of discussing:**

- A. The establishment of reserves or settlement of claims as provided in the Local Government and Governmental Employees Tort Immunity Act, if otherwise the disposition of a claim or potential claim might be prejudiced, or the review or discussion of claims, loss or risk management information, records, data, advice or communications from or with respect to any insurer of the public body or any intergovernmental risk management association or self-insurance pool of which the public body is a member (5 ILCS 120/2(c)(12)).

**Discussion:** None

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington, M. Lightford and N. Booker

**Nays:** None

**Abstain:** None

**Absent:** None

**Motion Carried**

Motioned by Trustee Brandon and Seconded by Trustee Booker to close the Closed Session and adjourn the Special Board Meeting at 9:30 p.m. by a roll call as:

**Ayes:** Mayor Perkins, Trustees I. Brandon, M. Jones, A. Sanchez, K. Wellington, M. Lightford and N. Booker

**Nays:** None

**Abstain:** None

**Absent:** None

**Motion Carried**

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Edwenna Perkins, Mayor

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Viola Mims, Village Clerk

cc: Mayor Perkins  
Board of Trustees  
Village Clerk, Viola Mims  
Willie Norfleet Jr, Village Manager

**VILLAGE OF MAYWOOD**

**Warrant List #200503 through November 24, 2020**

The President and Board of Trustees of the Village of Maywood approve the following Warrant, as stated below, and authorize the payment when funds are available.

\_\_\_\_\_  
President

\_\_\_\_\_  
Village Manager

Attest

\_\_\_\_\_  
Clerk

Report Criteria:  
 Report type: Invoice detail  
 Check.Type = {<-> "Adjustment"

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice GL Account	Invoice Amount	Check Amount
01								
11/20	11/20/2020	103787	2482	TARSA COBURN	11182020	01-10-20007	3,000.00	3,000.00
11/20	11/20/2020	103768	2489	CHICAGOLAND REALTY GROUP LLC	11172020	01-10-30630	356.00	356.00
11/20	11/20/2020	103767	2488	CAROLYN THOMPSON	10302020	01-10-30760	1,029.84	1,029.84
11/20	11/20/2020	103748	1518	MUNICIPAL CLERK'S OF ILLINOIS	11182020	01-11-56100	130.00	130.00
11/20	11/20/2020	103760	2212	VOYA INSTITUTIONAL TRUST CO.	11182020	01-12-40417	288.46	288.46
11/20	11/20/2020	103751	1619	OFFICE TEAM	56675343	01-12-52400	761.28	761.28
11/20	11/20/2020	103744	1268	LAUTERBACH & AMEN, LLP	48838	01-14-52400	10,220.00	10,220.00
11/20	11/20/2020	103731	25	ACCU-TRON COMPUTER SERVICE IN	INV2020133	01-18-51700	6,300.00	6,300.00
11/20	11/20/2020	103734	268	BLUE CROSS BLUE SHIELD	10152020	01-19-58000	239,485.46	239,485.46
11/20	11/20/2020	103749	1519	MUNICIPAL EMPLOYEE	0664	01-19-58000	96,658.98	96,658.98
11/20	11/20/2020	103749	1519	MUNICIPAL EMPLOYEE	0665	01-19-58000	2,419.12	2,419.12
11/20	11/20/2020	103749	1519	MUNICIPAL EMPLOYEE	0666	01-19-58000	1,385.92	1,385.92
11/20	11/20/2020	103747	1453	MESIROW INSURANCE SERVICES	1425424	01-21-67900	50.00	50.00
11/20	11/20/2020	103788	2480	THE FLAG COMPANY	QUO-04722-H	01-21-67908	571.79	571.79
11/20	11/20/2020	103739	2486	Fire Safety Consultants, Inc.	2020-1469AF	01-23-52400	1,131.00	1,131.00
11/20	11/20/2020	103746	1377	MARK DWYER	11162020	01-23-52400	533.32	533.32
11/20	11/20/2020	103756	2010	T.P.I.	202010	01-23-52400	7,712.00	7,712.00
11/20	11/20/2020	103741	917	IACE	11162020	01-23-56100	70.00	70.00
11/20	11/20/2020	103765	298	BROADVIEW ANIMAL HOSPITAL	07-20	01-23-60300	2,518.00	2,518.00
11/20	11/20/2020	103765	298	BROADVIEW ANIMAL HOSPITAL	08-20	01-23-60300	1,556.00	1,556.00
11/20	11/20/2020	103792	2491	DONALD ABEL	0100	01-40-51100	1,500.00	1,500.00
11/20	11/20/2020	103743	1215	KING TRANSMISSION COMPANY	52399	01-40-51200	2,995.00	2,995.00
11/20	11/20/2020	103759	2180	VENUS MEADOWS	022518452295	01-40-52400	5.64	5.64
11/20	11/20/2020	103763	71	ALLIED SERVICE GROUP, INC	1016	01-40-52400	8,400.00	8,400.00
11/20	11/20/2020	103711	2396	WOODCRAFT 519	349046	01-40-60100	1,048.00	1,048.00- V
11/20	11/20/2020	103759	2180	VENUS MEADOWS	698667378	01-40-60100	69.99	69.99
11/20	11/20/2020	103757	2025	TAPPED IN INC	11819-B	01-41-51100	2,660.00	2,660.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0051	01-41-51300	70.00	70.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0090	01-41-51300	869.00	869.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0091	01-41-51300	285.00	285.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0244	01-41-51300	325.00	325.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0288	01-41-51300	70.00	70.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0777	01-41-51300	50.00	50.00
11/20	11/20/2020	103750	1606	NU LIFE TIRE SERVICE	0818	01-41-51300	70.00	70.00

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice GL Account	Invoice Amount	Check Amount
11/20	11/20/2020	103732	61	ALEXZONDREA TAYLOR	11182020	01-42-52400	800.00	800.00
11/20	11/20/2020	103735	392	CHRISTOPHER BROWN	11182020	01-42-53300	150.00	150.00
11/20	11/20/2020	103740	2451	GENE WASHINGTON	11182020	01-42-53300	150.00	150.00
11/20	11/20/2020	103742	2377	JAMES T BREWER	11182020	01-42-53300	150.00	150.00
11/20	11/20/2020	103752	1847	RONEY RILEY	11182020	01-42-53300	150.00	150.00
11/20	11/20/2020	103761	2226	WAYNE WELCH	11182020	01-42-53300	200.00	200.00
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35137	01-50-52100	17,673.73	17,673.73
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35138	01-50-52100	663.33	663.33
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35259	01-50-52100	8,274.86	8,274.86
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35260	01-50-52100	524.10	524.10
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35382	01-50-52100	3,915.45	3,915.45
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35383	01-50-52100	6,827.42	6,827.42
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35409	01-50-52100	4,357.39	4,357.39
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35513	01-50-52100	1,998.63	1,998.63
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35514	01-50-52100	897.15	897.15
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35534	01-50-52100	2,202.84	2,202.84
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35550	01-50-52100	2,477.38	2,477.38
11/20	11/20/2020	103783	864	H&H ELECTRIC COMPANY	35591	01-50-52100	4,944.70	4,944.70
11/20	11/20/2020	103762	2273	WINKLER TREE SERVICE	122397	01-50-52400	1,950.00	1,950.00
11/20	11/20/2020	103789	2147	UNIQUE PLUMBING CO	20201256	01-50-52400	333,094.33	333,094.33
11/20	11/20/2020	103688	1532	NAFISCO INC	00010915	01-50-60600	10,720.00-	10,720.00- V
11/20	11/20/2020	103755	2487	Sylvia Hutton	11182020	01-54-87002	625.00	625.00
11/20	11/20/2020	103733	257	BETTYE J. BROWN	PP24	01-56-52400	1,080.00	1,080.00
11/20	11/20/2020	103786	1613	OCCUPATIONAL HEALTH CENTERS	1012739726	01-56-52400	68.50	68.50
11/20	11/20/2020	103736	1927	COMMAND ATTENTION	09052020	01-65-67914	160.00	160.00
11/20	11/20/2020	103736	1927	COMMAND ATTENTION	11172020	01-65-67914	222.94	222.94
11/20	11/20/2020	103736	1927	COMMAND ATTENTION	3024304	01-65-67914	137.68	137.68
Total 01:								775,474.23
12								
11/20	11/20/2020	103766	320	CARGILL, INCORPORATED	2805710091	12-10-89013	14,347.24	14,347.24
11/20	11/20/2020	103769	466	COMED	08282020	12-10-89013	4,670.50	4,670.50
11/20	11/20/2020	103770	457	COMED	09112020	12-10-89013	32.53	32.53
11/20	11/20/2020	103770	457	COMED	09292020	12-10-89013	4,664.57	4,664.57
11/20	11/20/2020	103770	457	COMED	10122020	12-10-89013	35.00	35.00
11/20	11/20/2020	103771	452	COMED # 0023058102	09112020	12-10-89013	66.08	66.08
11/20	11/20/2020	103771	452	COMED # 0023058102	10122020	12-10-89013	64.63	64.63
11/20	11/20/2020	103772	459	COMED #0031163443	10082020	12-10-89013	112.25	112.25

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice GL Account	Invoice Amount	Check Amount
11/20	11/20/2020	103773	456	COMED #0277784031	10072020	12-10-89013	786.66	786.66
11/20	11/20/2020	103774	454	COMED #0511089044	10092020	12-10-89013	255.71	255.71
11/20	11/20/2020	103775	463	COMED #0536720000	09142020	12-10-89013	10.16	10.16
11/20	11/20/2020	103776	468	COMED #2208042159	09242020	12-10-89013	305.29	305.29
11/20	11/20/2020	103777	460	COMED #3351006000	09242020	12-10-89013	1,590.68	1,590.68
11/20	11/20/2020	103778	453	COMED #4791088147	09142020	12-10-89013	126.72	126.72
11/20	11/20/2020	103778	453	COMED #4791088147	10132020	12-10-89013	150.67	150.67
11/20	11/20/2020	103779	451	COMED #5653018024	10072020	12-10-89013	25.66	25.66
11/20	11/20/2020	103780	462	COMED #6079054047	09112020	12-10-89013	132.06	132.06
11/20	11/20/2020	103780	462	COMED #6079054047	10122020	12-10-89013	155.54	155.54
11/20	11/20/2020	103781	467	COMED #6080392012	09112020	12-10-89013	103.51	103.51
Total 12:								27,635.46
<b>15</b>								
11/20	11/20/2020	103784	988	INGENII, LLC	17027	15-60-52400	340.00	340.00
Total 15:								340.00
<b>22</b>								
11/20	11/20/2020	103785	1032	J NARDULLI CONCRETE INC	20201110	22-38-87000	351,967.96	351,967.96
Total 22:								351,967.96
<b>41</b>								
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	170761	41-51-52400	1,000.00	1,000.00
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	171534	41-51-52400	390.00	390.00
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	172374	41-51-52400	915.00	915.00
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	175932	41-51-52400	390.00	390.00
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	178620	41-51-52400	390.00	390.00
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	181013	41-51-52400	1,305.00	1,305.00
11/20	11/20/2020	103754	1994	SUBURBAN LABORATORIES INC	181835	41-51-52400	390.00	390.00
11/20	11/20/2020	103782	495	CORE & MAIN LP	N017599	41-52-60600	1,888.30	1,888.30
11/20	11/20/2020	103782	495	CORE & MAIN LP	N017642	41-52-60600	1,470.00	1,470.00
11/20	11/20/2020	103790	2165	UTILITY SERVICE CO., INC.	518946	41-52-87000	7,444.96	7,444.96
11/20	11/20/2020	103791	2200	VILLAGE OF MELROSE PARK	09202020	41-55-57301	52,695.41	52,695.41
11/20	11/20/2020	103791	2200	VILLAGE OF MELROSE PARK	10192020	41-55-57301	48,178.77	48,178.77
11/20	11/20/2020	103764	72	ALLIED WASTE SERVICES	0551-0149839	41-55-57400	20,817.68	20,817.68

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice GL Account	Invoice Amount	Check Amount
Total 41:								137,275.12
<b>72</b>								
11/20	11/20/2020	103758	2121	TRIGGI CONSTRUCTION, INC.	2009-03	72-33-82000	229,217.67	229,217.67
Total 72:								229,217.67
<b>73</b>								
11/20	11/20/2020	103738	679	EDWIN HANCOCK ENGINEERING CO	20-0875	73-33-52400	1,900.00	1,900.00
Total 73:								1,900.00
<b>77</b>								
11/20	11/20/2020	103737	639	DOOR AND WINDOW GUARD	1-0000087179-	77-33-52500	1,927.00	1,927.00
11/20	11/20/2020	103737	639	DOOR AND WINDOW GUARD	1-0000100422	77-33-52500	72.00	72.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-12-108	77-33-62601	290.00	290.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-14-104	77-33-62601	300.00	300.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-15-105	77-33-62601	130.00	130.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-16-102	77-33-62601	340.00	340.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-17-103	77-33-62601	80.00	80.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-19-101	77-33-62601	770.00	770.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-19-102	77-33-62601	730.00	730.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-23-101	77-33-62601	795.00	795.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-23-102	77-33-62601	750.00	750.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-25-1010	77-33-62601	2,800.00	2,800.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-25-1011	77-33-62601	1,000.00	1,000.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-25-1012	77-33-62601	2,500.00	2,500.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-25-1013	77-33-62601	2,000.00	2,000.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-25-1014	77-33-62601	2,250.00	2,250.00
11/20	11/20/2020	103745	1347	MAGNUS AND ANDERSON	20-25-109	77-33-62601	3,000.00	3,000.00
11/20	11/20/2020	103753	1912	SHAKESPEARE LAWN SPRAY	4551	77-33-62601	2,500.00	2,500.00
11/20	11/20/2020	103753	1912	SHAKESPEARE LAWN SPRAY	4552	77-33-62605	500.00	500.00
11/20	11/20/2020	103753	1912	SHAKESPEARE LAWN SPRAY	4553	77-33-62605	4,800.00	4,800.00
Total 77:								27,534.00
Grand Totals:								1,551,344.44

M = Manual Check, V = Void Check

Report Criteria:

Report type: Invoice detail

Check.Type = (<>) "Adjustment"

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M = Manual Check, V = Void Check

## VILLAGE OF MAYWOOD

### Open Invoices report as of November 24, 2020

The President and Board of Trustees of the Village of Maywood approve the following Invoices, as stated below and authorize the payment when, payment is due and funds are available.

\_\_\_\_\_  
President

\_\_\_\_\_  
Village Manager

Attest

\_\_\_\_\_  
Clerk

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
<b>01</b>									
<b>SPRINT</b>									
706910518-2	1	CELLULAR SVC *CLERK	Invoice	08/27/2020	11/29/2020	50.07		50.07	01-11-55410
Total 1568 SPRINT:						50.07	.00	50.07	
<b>AZAVAR AUDIT SOLUTIONS</b>									
149076-A	1	CONTIGENCY PAYMENT	Invoice	10/07/2020	10/07/2020	5,908.05		5,908.05	01-12-52400
Total 231 AZAVAR AUDIT SOLUTIONS:						5,908.05	.00	5,908.05	
<b>TASB, INC</b>									
580985	1	BOARDBOOK SUBSCRIPTION/SUPP	Invoice	09/01/2020	10/01/2020	4,000.00		4,000.00	01-12-54500
Total 2027 TASB, INC:						4,000.00	.00	4,000.00	
<b>SPRINT</b>									
706910518-2	7	CELLULAR SVC *VMO	Invoice	08/27/2020	11/29/2020	182.93		182.93	01-12-55410
Total 1568 SPRINT:						182.93	.00	182.93	
<b>OFFICE DEPOT</b>									
1289475540	1	VMO-OFFICE SUPPLIES	Invoice	10/09/2020	12/14/2020	95.86		95.86	01-12-60100
Total 1616 OFFICE DEPOT:						95.86	.00	95.86	
<b>COMCAST</b>									
08252020	1	V/H-PHONE/INTERNET-8/29-9/28	Invoice	08/25/2020	09/21/2020	484.19		484.19	01-14-55400
Total 444 COMCAST:						484.19	.00	484.19	
<b>MUNICIPAL WEB SERVICES</b>									
53995	1	VMO-WEBSITE HOSTING/UPDT/MAI	Invoice	11/06/2020	11/12/2020	310.00		310.00	01-18-56500
Total 1520 MUNICIPAL WEB SERVICES:						310.00	.00	310.00	
<b>AT&amp;T</b>									
09252020	1	POL-7084504471 0957 8/26-9/25	Invoice	09/25/2020	11/18/2020	6,462.17		6,462.17	01-19-55400
Total 183 AT&T:						6,462.17	.00	6,462.17	
<b>COMCAST CABLE</b>									
106368038	1	PHONE/INTERET/TRUNK	Invoice	08/15/2020	11/18/2020	11,090.50		11,090.50	01-19-55400
Total 446 COMCAST CABLE:						11,090.50	.00	11,090.50	
<b>SPRINT</b>									
706910518-2	2	CELLULAR SVC *MAYOR/BOT	Invoice	08/27/2020	11/29/2020	448.45		448.45	01-20-55410
706910518-2	8	TABLET PLANS	Invoice	08/27/2020	11/29/2020	106.00		106.00	01-20-55410
Total 1568 SPRINT:						554.45	.00	554.45	
<b>WEST CENTRAL MUNICIPAL</b>									
0009777-IN	1	FY 2020-2021 MEMBERSHIP DUES	Invoice	08/26/2020	10/26/2020	21,462.07		21,462.07	01-20-56100

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
Total 2235 WEST CENTRAL MUNICIPAL:						21,462.07	.00	21,462.07	
<b>SIGNCO</b>									
69827	1	WINDOW COVERINGS *HISTORICAL	Invoice	10/27/2020	10/27/2020	5,250.00		5,250.00	01-21-67906
Total 1941 SIGNCO:						5,250.00	.00	5,250.00	
<b>THOMPSON ELEVATOR INSPECTION</b>									
20-2580	1	ELEVATOR INSPECTION	Invoice	10/13/2020	10/13/2020	100.00		100.00	01-23-51800
20-2662	1	ELEVATOR INSPECTION	Invoice	10/21/2020	10/21/2020	100.00		100.00	01-23-51800
Total 2082 THOMPSON ELEVATOR INSPECTION:						200.00	.00	200.00	
<b>DOOR AND WINDOW GUARD</b>									
1-000010102	1	WINDOWS/DOOR RENTAL - 811 S. 10	Invoice	10/20/2020	10/16/2020	483.00		483.00	01-23-52500
I-000009640	1	WINDOWS/DOOR RENTAL 615 S 5T	Invoice	08/10/2020	11/09/2020	4,260.00		4,260.00	01-23-52500
Total 639 DOOR AND WINDOW GUARD:						4,743.00	.00	4,743.00	
<b>HINCKLEY SPRINGS</b>									
11407126090	1	WATER & CUP EQUIPMENT RENTAL	Invoice	09/02/2020	09/23/2020	25.25		25.25	01-23-54500
Total 903 HINCKLEY SPRINGS:						25.25	.00	25.25	
<b>SPRINT</b>									
706910518-2	3	CELLULAR SVC *CODE	Invoice	08/27/2020	11/29/2020	143.71		143.71	01-23-55410
Total 1568 SPRINT:						143.71	.00	143.71	
<b>ANIMAL WELFARE LEAGUE</b>									
8964	1	IMPOUNDED CATS/DOGS *SEPT 202	Invoice	09/30/2020	09/30/2020	1,204.00		1,204.00	01-23-60300
Total 118 ANIMAL WELFARE LEAGUE:						1,204.00	.00	1,204.00	
<b>BROADVIEW ANIMAL HOSPITAL</b>									
09-20	1	IMPOUNDED ANIMALS - SEPTEMBE	Invoice	09/01/2020	09/01/2020	1,580.00		1,580.00	01-23-60300
Total 298 BROADVIEW ANIMAL HOSPITAL:						1,580.00	.00	1,580.00	
<b>The Board of Trustees</b>									
18-41069	1	VETERINARY/ANIMAL TESTING	Invoice	11/06/2020	11/06/2020	63.00		63.00	01-23-60300
Total 2485 The Board of Trustees :						63.00	.00	63.00	
<b>FLEET SERVICES</b>									
66839271	1	FUEL *CODE	Invoice	07/31/2020	09/02/2020	576.90		576.90	01-23-62610
68382955	1	FUEL *CODE	Invoice	10/31/2020	11/18/2020	386.39		386.39	01-23-62610
Total 761 FLEET SERVICES:						963.29	.00	963.29	
<b>MAYWOOD GLASS &amp; MIRROR CO INC</b>									
48288	1	POL-(3) STEEL DOORS	Invoice	10/14/2020	11/04/2020	17,500.00		17,500.00	01-40-51100
Total 1420 MAYWOOD GLASS & MIRROR CO INC:						17,500.00	.00	17,500.00	

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
<b>CDS OFFICE TECHNOLOGIES</b>									
INV1344015	1	POL-DOCKING STATION	Invoice	11/16/2020	11/18/2020	509.00		509.00	01-40-51200
Total 340 CDS OFFICE TECHNOLOGIES:						509.00	.00	509.00	
<b>ILLINOIS DEPARTMENT OF</b>									
INT7N00228	1	BUREAU OF WEIGHTS & MEASURES	Invoice	09/30/2020	10/26/2020	812.89		812.89	01-40-51200
Total 941 ILLINOIS DEPARTMENT OF:						812.89	.00	812.89	
<b>SBC GLOBAL SERVICES, INC.</b>									
SB184194	1	MAINTENANCE BILLING 9-2-20-10-01	Invoice	08/19/2020	09/02/2020	373.94		373.94	01-40-51200
Total 1884 SBC GLOBAL SERVICES, INC.:						373.94	.00	373.94	
<b>AFFIRMED MEDICAL SERVICE</b>									
34226	1	POL-MEDICAL SUPPLIES	Invoice	10/26/2020	10/26/2020	97.46		97.46	01-40-52400
Total 47 AFFIRMED MEDICAL SERVICE:						97.46	.00	97.46	
<b>CDS OFFICE TECHNOLOGIES</b>									
INV1328638	1	IT ARBITRATOR 9-7-20 -10-06-20	Invoice	09/01/2020	09/29/2020	190.00		190.00	01-40-52400
INV1334703	1	IT ARBITRATOR 10-7-20	Invoice	10/01/2020	10/15/2020	190.00		190.00	01-40-52400
INV1340985	1	IT ARBITRATOR MAYWOOD	Invoice	11/02/2020	11/10/2020	190.00		190.00	01-40-52400
Total 340 CDS OFFICE TECHNOLOGIES:						570.00	.00	570.00	
<b>CINTAS FIRE PROTECTION</b>									
OF94595864	1	FIR-FIRE EXTINGUISHER INSPCTNS	Invoice	04/17/2020	11/05/2020	276.19		276.19	01-40-52400
Total 409 CINTAS FIRE PROTECTION:						276.19	.00	276.19	
<b>DEPT.OF CENTRAL MANAGEMENT SVC</b>									
T2107920	1	POL-COMMUNICATION CHARGES	Invoice	10/13/2020	11/10/2020	981.42		981.42	01-40-52400
Total 606 DEPT.OF CENTRAL MANAGEMENT SVC:						981.42	.00	981.42	
<b>FOREST SECURITY, INC.</b>									
106198	1	POL-QUARTERLY REPAIR AGREEME	Invoice	09/15/2020	09/29/2020	1,336.59		1,336.59	01-40-52400
Total 768 FOREST SECURITY, INC.:						1,336.59	.00	1,336.59	
<b>MARLIN BUSINESS BANK</b>									
18146482	1	PANASONIC TOUGHBOOK CONTRA	Invoice	06/15/2020	06/25/2020	803.34		803.34	01-40-52400
18146482		Chk No: 102936 (2)	Calculated	07/10/2020					01-10-20000
Total 1384 MARLIN BUSINESS BANK:						803.34	.00	803.34	
<b>SBC GLOBAL SERVICES, INC.</b>									
SB187730	1	MAINTENANCE BILLING 10/2-11/1	Invoice	09/18/2020	10/26/2020	373.94		373.94	01-40-52400
SB190991	1	MAINTENANCE BILLING 11/2-12/1	Invoice	10/19/2020	11/10/2020	373.94		373.94	01-40-52400
Total 1884 SBC GLOBAL SERVICES, INC.:						747.88	.00	747.88	
<b>COMCAST</b>									
09082020	1	PHONE/INTERNET 9/12-10/11	Invoice	09/08/2020	10/13/2020	668.31		668.31	01-40-55400
10082020	1	PHONE/INTERNET 10/12-11/11	Invoice	10/08/2020	11/05/2020	664.93		664.93	01-40-55400

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
Total 442 COMCAST:						1,333.24	.00	1,333.24	
<b>SPRINT</b>									
706910518-2	6	CELLULAR SVC *POLICE	Invoice	08/27/2020	11/29/2020	1,488.27		1,488.27	01-40-55410
Total 1568 SPRINT:						1,488.27	.00	1,488.27	
<b>CLIFFE PRINTING COMPANY</b>									
19006-M	1	POL PRINTING PRISONERS FORMS	Invoice	02/24/2020	08/27/2020	1,128.00		1,128.00	01-40-55500
19006-M		Chk No: 103229 (2)	Calculated	09/03/2020					01-10-20000
19006-O	1	POL PRINTING	Invoice	06/01/2020	09/02/2020	410.00		410.00	01-40-55500
19006-O		Chk No: 103229 (2)	Calculated	09/03/2020					01-10-20000
19006-OP	1	POL ENVELOPES	Invoice	08/04/2020	08/27/2020	850.00		850.00	01-40-55500
19006-OP		Chk No: 103229 (2)	Calculated	09/03/2020					01-10-20000
Total 428 CLIFFE PRINTING COMPANY:						2,388.00	.00	2,388.00	
<b>NORTH EAST MULTI-REGIONAL</b>									
276879	1	POL -TRAINING MENTAL HEALTH	Invoice	10/26/2020	11/10/2020	335.00		335.00	01-40-56300
Total 1595 NORTH EAST MULTI-REGIONAL:						335.00	.00	335.00	
<b>PRI Management Group</b>									
8508	1	NIBRS TRAINING 7/29/2020	Invoice	06/15/2020	07/15/2020	596.00		596.00	01-40-56300
8508		Chk No: 102982 (2)	Calculated	07/16/2020					01-10-20000
Total 2379 PRI Management Group:						596.00	.00	596.00	
<b>MAYWOOD EXPRESS</b>									
10-2020	1	PRISONERS MEAL FOR OCTOBER 2	Invoice	11/05/2020	11/10/2020	364.00		364.00	01-40-61000
Total 1414 MAYWOOD EXPRESS:						364.00	.00	364.00	
<b>FLEET SERVICES</b>									
66839271	4	FUEL *POLICE	Invoice	07/31/2020	09/02/2020	5,703.64		5,703.64	01-40-62610
68382955	4	FUEL *POLICE	Invoice	10/31/2020	11/18/2020	2,637.51		2,637.51	01-40-62610
Total 761 FLEET SERVICES:						8,341.15	.00	8,341.15	
<b>NICOR GAS</b>									
08172020	1	ACCT #6838580000 5 7/17-8/16	Invoice	08/17/2020	10/13/2020	1,406.63		1,406.63	01-40-62610
Total 1582 NICOR GAS:						1,406.63	.00	1,406.63	
<b>HOME DEPOT CREDIT SERVICES</b>									
8515708	1	FIR-MAINTENANCE AND SANITATION	Invoice	04/19/2020	10/23/2020	809.14		809.14	01-41-51100
Total 906 HOME DEPOT CREDIT SERVICES:						809.14	.00	809.14	
<b>HOUSE OF DOORS INC</b>									
16340	1	FIR-GARAGE DOOR REPAIR STATIO	Invoice	10/02/2020	10/06/2020	726.87		726.87	01-41-51100
Total 910 HOUSE OF DOORS INC:						726.87	.00	726.87	
<b>HOME DEPOT CREDIT SERVICES</b>									
1124995	1	FIR-CANOPY / TENT	Invoice	08/04/2020	09/16/2020	145.16		145.16	01-41-51200

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
Total 906 HOME DEPOT CREDIT SERVICES:						145.16	.00	145.16	
<b>MIDWEST AIR PRO, INC.</b>									
13748	1	FIR-VEHICLE TRANSMITTERS	Invoice	09/15/2020	09/21/2020	904.00		904.00	01-41-51200
Total 1481 MIDWEST AIR PRO, INC.:						904.00	.00	904.00	
<b>W.S. DARLEY &amp; CO</b>									
17414541	1	FIR- 6" STORZ CONNECTION TRUCK	Invoice	10/29/2020	10/30/2020	1,800.00		1,800.00	01-41-51200
Total 2215 W.S. DARLEY & CO:						1,800.00	.00	1,800.00	
<b>FIRE SERVICE INCORPORATED</b>									
33458	1	FIR-505-REPAIR/PARTS/SERVICE	Invoice	08/11/2020	10/06/2020	2,528.85		2,528.85	01-41-51300
33499	1	FIR- ENGINE 506 REPAIR	Invoice	08/17/2020	09/30/2020	7,158.00		7,158.00	01-41-51300
33977	1	FIR-502 ANNUAL LADDER CERTIFICA	Invoice	10/14/2020	10/23/2020	1,275.00		1,275.00	01-41-51300
Total 751 FIRE SERVICE INCORPORATED:						10,961.85	.00	10,961.85	
<b>COMCAST</b>									
09252020	1	FIR-SERVICE FROM 9/292020 TO 10/	Invoice	09/25/2020	10/11/2020	119.57		119.57	01-41-55400
Total 441 COMCAST:						119.57	.00	119.57	
<b>COMCAST</b>									
08182020	1	FIR-PHONE SVC 8/22-9/21	Invoice	08/18/2020	09/21/2020	438.94		438.94	01-41-55400
09182020	1	FIR-PHONE SVC 9/22-10/21	Invoice	10/16/2020	10/26/2020	438.15		438.15	01-41-55400
Total 443 COMCAST:						877.09	.00	877.09	
<b>SBC</b>									
708Z5311910	1	FIR- 708 Z53119109 8/17-9/16	Invoice	09/16/2020	10/26/2020	3,411.93		3,411.93	01-41-55400
Total 1883 SBC:						3,411.93	.00	3,411.93	
<b>SBC GLOBAL SERVICES, INC.</b>									
SB182550	1	EMERGENCY LINES REPAIR AT STAT	Invoice	08/05/2020	09/21/2020	210.00		210.00	01-41-55400
SB183503	1	EMERGENCY LINES AND FIRE ALAR	Invoice	08/14/2020	09/21/2020	380.63		380.63	01-41-55400
SB183797	1	MAINTENACE CONTRACT STATION 1	Invoice	08/17/2020	11/10/2020	221.45		221.45	01-41-55400
SB187291	1	FIR-MAINTENANCE BILLING PER CO	Invoice	09/15/2020	10/23/2020	221.45		221.45	01-41-55400
SB187412	1	FIR-MAINTENANCE BILLING PER CO	Invoice	09/16/2020	10/23/2020	175.40		175.40	01-41-55400
Total 1884 SBC GLOBAL SERVICES, INC.:						1,208.93	.00	1,208.93	
<b>SPRINT</b>									
706910518-2	5	CELLULAR SVC *FIRE	Invoice	08/27/2020	11/29/2020	146.16		146.16	01-41-55410
Total 1568 SPRINT:						146.16	.00	146.16	
<b>CLIFFE PRINTING COMPANY</b>									
12105-N	1	FIR-BUSINESS LETTERHEAD	Invoice	08/04/2020	08/04/2020	152.00		152.00	01-41-60100
12105-N		Chk No: 103229 (2)	Calculated	09/03/2020					01-10-20000
Total 428 CLIFFE PRINTING COMPANY:						152.00	.00	152.00	

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
<b>W.S. DARLEY &amp; CO</b>									
17413467	1	FIR-BOOTS DANIEL CERULLO	Invoice	10/20/2020	10/23/2020	139.95		139.95	01-41-61500
17413471	1	FIR-BOOTS LANTGEN	Invoice	10/23/2020	10/23/2020	139.95		139.95	01-41-61500
Total 2215 W.S. DARLEY & CO:						279.90	.00	279.90	
<b>FLEET SERVICES</b>									
66839271	2	FUEL *FIRE	Invoice	07/31/2020	09/02/2020	2,743.16		2,743.16	01-41-62600
68382955	2	FUEL *FIRE	Invoice	10/31/2020	11/18/2020	1,555.43		1,555.43	01-41-62600
Total 761 FLEET SERVICES:						4,298.59	.00	4,298.59	
<b>MCKESSON MEDICAL-SURGICAL INC</b>									
17034332	1	MEDICAL SUPPLIES	Invoice	09/08/2020	09/21/2020	399.69		399.69	01-41-63000
17041228	1	MEDICAL SUPPLIES	Invoice	09/16/2020	10/06/2020	85.69		85.69	01-41-63000
Total 2306 MCKESSON MEDICAL-SURGICAL INC:						485.38	.00	485.38	
<b>ALPHA PRIME COMMUNICATIONS</b>									
117041	1	FIR-PORTABLE RADIO, DESK RADIO	Invoice	10/06/2020	10/11/2020	750.00		750.00	01-41-63200
Total 78 ALPHA PRIME COMMUNICATIONS:						750.00	.00	750.00	
<b>STANDARD EQUIPMENT CO.</b>									
W05331	1	ELGIN SWEEPER REPAIRS	Invoice	08/27/2020	09/30/2020	590.11		590.11	01-50-51300
Total 1973 STANDARD EQUIPMENT CO.:						590.11	.00	590.11	
<b>WIGIT'S TRUCK SERVICE</b>									
109819	1	MANUEL SYSTEM INSTALL /REPAIR	Invoice	10/15/2020	11/20/2020	4,917.73		4,917.73	01-50-51300
110302	1	NEW PELICAN SWEEPER/BROOMS	Invoice	08/18/2020	09/25/2020	1,996.14		1,996.14	01-50-51300
110342	1	NEW PELICAN SWEEPER/CONVEYO	Invoice	09/01/2020	10/15/2020	962.34		962.34	01-50-51300
110354	1	PW-242 BUSHINGS/FITTINGS	Invoice	08/25/2020	09/25/2020	312.71		312.71	01-50-51300
110417	1	NEW PELICAN SWEEPER/SHOES	Invoice	09/29/2020	10/15/2020	1,305.20		1,305.20	01-50-51300
110469	1	OLD SWEEPER/BATTERY	Invoice	10/11/2020	10/15/2020	369.90		369.90	01-50-51300
Total 2251 WIGIT'S TRUCK SERVICE:						9,864.02	.00	9,864.02	
<b>H&amp;H ELECTRIC COMPANY</b>									
35444	1	ST LIGHT MAINT CMPLTD *8/17	Invoice	08/31/2020	11/04/2020	5,321.85		5,321.85	01-50-52100
Total 864 H&H ELECTRIC COMPANY:						5,321.85	.00	5,321.85	
<b>AMERICAN RECYCLING &amp; DISPOSAL</b>									
25460	1	PW-WASTE DISPOSAL SERVICE	Invoice	09/03/2020	10/03/2020	3,182.38		3,182.38	01-50-52400
25643	1	PW-WASTE DISPOSAL SERVICE	Invoice	10/01/2020	10/31/2020	1,676.80		1,676.80	01-50-52400
25739	1	PW-WASTE DISPOSAL SERVICE	Invoice	10/15/2020	11/14/2020	335.60		335.60	01-50-52400
Total 95 AMERICAN RECYCLING & DISPOSAL:						5,194.78	.00	5,194.78	
<b>EDWIN HANCOCK ENGINEERING CO</b>									
20-0710	1	WASHINGTON BOULEVARD, PHASE I	Invoice	07/31/2020	09/24/2020	16,743.00		16,743.00	01-50-52400
20-0790	1	2020 GREEN INFRASTRUCTURE ALL	Invoice	10/05/2020	10/22/2020	2,140.00		2,140.00	01-50-52400
20-0794	1	2020 MFT ROADWAY/RESURFACING	Invoice	10/05/2020	10/22/2020	5,584.50		5,584.50	01-50-52400
20-0796	1	2020 MAINTENANCE RFP ASSISTAN	Invoice	10/05/2020	10/22/2020	715.00		715.00	01-50-52400
20-0798	1	WASHINGTON BOULEVARD, PHASE I	Invoice	10/05/2020	10/22/2020	8,006.31		8,006.31	01-50-52400
20-0879	1	2020 UTILITY PERMIT REVIEWS	Invoice	11/09/2020	11/18/2020	286.00		286.00	01-50-52400

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
Total 679 EDWIN HANCOCK ENGINEERING CO:						33,474.81	.00	33,474.81	
<b>ILLINOIS DEPARTMENT OF</b>									
59350	1	MAINTENANCE OF TRAFFIC SIGNAL	Invoice	08/03/2020	10/02/2020	4,099.50		4,099.50	01-50-52400
Total 942 ILLINOIS DEPARTMENT OF:						4,099.50	.00	4,099.50	
<b>ROY STROM</b>									
0000109181	1	PW-YARD WASTE DISPOSAL	Invoice	10/15/2020	11/14/2020	281.55		281.55	01-50-52400
Total 1854 ROY STROM:						281.55	.00	281.55	
<b>STANDARD EQUIPMENT CO.</b>									
w05404	1	VACTOR TRUCK-PARTS,REPAIR,LAB	Invoice	10/05/2020	11/04/2020	18,151.83		18,151.83	01-50-52400
Total 1973 STANDARD EQUIPMENT CO.:						18,151.83	.00	18,151.83	
<b>WINKLER TREE SERVICE</b>									
121479	1	WIND STORM BRUSH CHIPPING	Invoice	08/14/2020	09/24/2020	1,800.00		1,800.00	01-50-52400
121856	1	VARIOUS TREE REMOVALS	Invoice	09/09/2020	10/10/2020	2,880.00		2,880.00	01-50-52400
121860	1	VARIOUS TREE REMOVALS	Invoice	09/10/2020	10/10/2020	2,160.00		2,160.00	01-50-52400
121932	1	TREE TRIMMING/REMOVALS DAY RA	Invoice	09/11/2020	10/10/2020	2,170.00		2,170.00	01-50-52400
122356	1	TREE TRIMMING/REMOVALS DAY RA	Invoice	09/30/2020	11/04/2020	2,880.00		2,880.00	01-50-52400
122572	1	TREE TRIMMING/REMOVALS DAY RA	Invoice	10/07/2020	10/07/2020	1,213.00		1,213.00	01-50-52400
Total 2273 WINKLER TREE SERVICE:						13,103.00	.00	13,103.00	
<b>COMCAST</b>									
08092020	1	CAMERA SYSTEM METRA 8/13-9/12	Invoice	08/09/2020	10/02/2020	118.35		118.35	01-50-55400
Total 440 COMCAST:						118.35	.00	118.35	
<b>COMCAST</b>									
09072020	1	300 OAK STREET 9/11-10/10	Invoice	09/07/2020	10/10/2020	263.69		263.69	01-50-55400
Total 2345 COMCAST:						263.69	.00	263.69	
<b>SPRINT</b>									
706910518-2	9	CELLULAR SVC *PW	Invoice	08/27/2020	11/29/2020	90.89		90.89	01-50-55410
Total 1568 SPRINT:						90.89	.00	90.89	
<b>AFFIRMED MEDICAL SERVICE</b>									
34227	1	PW-MEDICAL SUPPLIES	Invoice	10/05/2020	11/04/2020	121.76		121.76	01-50-60600
Total 47 AFFIRMED MEDICAL SERVICE:						121.76	.00	121.76	
<b>MENARDS</b>									
63707	1	ACRYLIC DESKTOP BARRIER	Invoice	07/16/2020	10/01/2020	338.47		338.47	01-50-60600
68648	1	PW-SUPPLIES	Invoice	09/14/2020	11/04/2020	193.97		193.97	01-50-60600
Total 1450 MENARDS:						532.44	.00	532.44	
<b>NAFISCO INC</b>									
00011154	1	SOLAR SPEED SIGNS	Invoice	08/28/2020	09/30/2020	7,784.24		7,784.24	01-50-60600

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
Total 1532 NAFISCO INC:						7,784.24	.00	7,784.24	
<b>CINTAS CORPORATION #344</b>									
4067264522	1	PW-UNIFORM SERVICE	Invoice	11/13/2020	11/13/2020	324.99		324.99	01-50-61500
Total 407 CINTAS CORPORATION #344:						324.99	.00	324.99	
<b>FLEET SERVICES</b>									
66839271	3	FUEL *PW	Invoice	07/31/2020	09/02/2020	5,320.92		5,320.92	01-50-62610
68382955	3	FUEL *PW	Invoice	10/31/2020	11/18/2020	3,639.76		3,639.76	01-50-62610
Total 761 FLEET SERVICES:						8,960.68	.00	8,960.68	
<b>COMED #0536720000</b>									
08132020	1	ELECTRIC SVC 7/14-8/12	Invoice	08/13/2020	10/01/2020	163.19		163.19	01-50-62650
Total 463 COMED #0536720000:						163.19	.00	163.19	
<b>NICOR GAS #6708165415 3</b>									
09162020	1	GAS SERVICE 8/16-9/14 *410 MAIN S	Invoice	09/16/2020	11/03/2020	39.43		39.43	01-50-62670
10162020	1	GAS SERVICE 9/14-10/14 *410 MAIN	Invoice	10/15/2020	12/01/2020	41.92		41.92	01-50-62670
Total 1575 NICOR GAS #6708165415 3:						81.35	.00	81.35	
<b>NICOR GAS</b>									
09162020	1	GAS SERVICE 8/16-9/13 *300 OAK S	Invoice	09/16/2020	11/03/2020	121.33		121.33	01-50-62670
10162020	1	GAS SERVICE 9/14-10/14 *300 OAK S	Invoice	10/16/2020	12/01/2020	122.21		122.21	01-50-62670
Total 1579 NICOR GAS:						243.54	.00	243.54	
<b>NICOR GAS 02-24-58-0000 4</b>									
09152020	1	GAS SERVICE 8/14-9/15 *W 9TH WIL	Invoice	09/15/2020	11/02/2020	.80		.80	01-50-62670
Total 1580 NICOR GAS 02-24-58-0000 4:						.80	.00	.80	
<b>NICOR GAS</b>									
09162020	1	ACCT #4036941512 6 7/17-9/14 200 S	Invoice	09/16/2020	11/03/2020	2,146.44		2,146.44	01-50-62670
Total 1582 NICOR GAS:						2,146.44	.00	2,146.44	
<b>SPRINT</b>									
706910518-2	10	CELLULAR SVC *PW	Invoice	08/27/2020	11/29/2020	36.54		36.54	01-53-55300
Total 1568 SPRINT:						36.54	.00	36.54	
<b>EDWIN HANCOCK ENGINEERING CO</b>									
20-0792	1	2020 MISCELLANEOUS DEVELOPME	Invoice	10/05/2020	10/22/2020	929.50		929.50	01-54-52400
20-0793	1	2020 GRANT APPLICATIONS	Invoice	10/05/2020	10/22/2020	2,439.00		2,439.00	01-54-52400
20-0878	1	2020 MISCELLANEOUS DEVELOPME	Invoice	11/09/2020	11/18/2020	143.00		143.00	01-54-52400
20-0880	1	2020 GRANT APPLICATIONS	Invoice	11/09/2020	11/18/2020	429.00		429.00	01-54-52400
Total 679 EDWIN HANCOCK ENGINEERING CO:						3,940.50	.00	3,940.50	
<b>OFFICE DEPOT</b>									
1257579940	1	C/D-OFFICE SUPPLIES	Invoice	09/21/2020	11/23/2020	32.99		32.99	01-54-60100
1257579980	1	C/D-OFFICE SUPPLIES	Invoice	09/21/2020	11/23/2020	14.99		14.99	01-54-60100

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
1257580000	1	C/D-OFFICE SUPPLIES	Invoice	09/21/2020	11/23/2020	131.12		131.12	01-54-60100
1288064320	1	C/D-OFFICE SUPPLIES	Invoice	10/07/2020	12/07/2020	183.31		183.31	01-54-60100
1288064360	1	C/D-OFFICE SUPPLIES	Invoice	10/07/2020	12/07/2020	11.12		11.12	01-54-60100
1308642560	1	C/D-OFFICE SUPPLIES	Invoice	10/15/2020	10/15/2020	25.47		25.47	01-54-60100
Total 1616 OFFICE DEPOT:						399.00	.00	399.00	
<b>OCCUPATIONAL HEALTH CENTERS</b>									
1012754200	1	HR-PRE-EMPLOYMENT SERVICES	Invoice	11/03/2020	12/03/2020	214.50		214.50	01-56-52400
Total 1613 OCCUPATIONAL HEALTH CENTERS:						214.50	.00	214.50	
<b>SPRINT</b>									
706910518-2	4	CENSUS PHONE/TABLET PLANS	Invoice	08/27/2020	11/29/2020	354.10		354.10	01-65-67915
Total 1568 SPRINT:						354.10	.00	354.10	
Total 01:						247,968.56	.00	247,968.56	
<b>41</b>									
<b>SPRINT</b>									
706910518-2	11	CELLULAR SVC *PW	Invoice	08/27/2020	11/29/2020	18.36		18.36	41-51-55300
706910518-2	12	CELLULAR SVC *PW	Invoice	08/27/2020	11/29/2020	54.81		54.81	41-52-55300
706910518-2		Chk No: 103502 (4)	Calculated	10/08/2020					41-10-20000
706910518-2		Chk No: 103555 (4)	Calculated	10/16/2020					41-10-20000
706910518-2		Chk No: 103653 (2)	Calculated	10/30/2020				73.17-	41-10-20000
Total 1568 SPRINT:						73.17	.00	.00	
Total 41:						73.17	.00	.00	
Total :						248,041.73	.00	247,968.56	
<b>Current period checks for future period invoices.</b>									
<b>01</b>									
<b>THOMAS FLEMING COMPANY</b>									
9766		Chk No: 103729 (1)	Calculated	11/10/2020				885.00-	01-10-20000
Total 2478 THOMAS FLEMING COMPANY:						.00	.00	885.00-	
<b>FIRE SERVICE INCORPORATED</b>									
32002		Chk No: 102260 (1)	Calculated	03/19/2020				1,245.24-	01-10-20000
32042		Chk No: 102117 (1)	Calculated	02/27/2020				504.42-	01-10-20000
Total 751 FIRE SERVICE INCORPORATED:						.00	.00	1,749.66-	
<b>NU LIFE TIRE SERVICE</b>									
0051		Chk No: 103750 (1)	Calculated	11/20/2020				70.00-	01-10-20000
0090		Chk No: 103750 (1)	Calculated	11/20/2020				869.00-	01-10-20000
0091		Chk No: 103750 (1)	Calculated	11/20/2020				285.00-	01-10-20000
0244		Chk No: 103750 (1)	Calculated	11/20/2020				325.00-	01-10-20000
0288		Chk No: 103750 (1)	Calculated	11/20/2020				70.00-	01-10-20000
0777		Chk No: 103750 (1)	Calculated	11/20/2020				50.00-	01-10-20000
0818		Chk No: 103750 (1)	Calculated	11/20/2020				70.00-	01-10-20000
A5778		Chk No: 102189 (1)	Calculated	03/04/2020				322.50-	01-10-20000
A5799		Chk No: 102189 (1)	Calculated	03/04/2020				362.50-	01-10-20000

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Discount Amount	Net Invoice Check Amount	GL Account Number
Total 1606 NU LIFE TIRE SERVICE:						.00	.00	2,424.00-	
<b>RDJ SPECIALITES INC</b>									
113788		Chk No: 103699 (1)	Calculated	11/05/2020				196.99-	01-10-20000
Total 1782 RDJ SPECIALITES INC:						.00	.00	196.99-	
<b>American Welding &amp; Gas Inc.</b>									
07406196		Chk No: 103659 (1)	Calculated	11/05/2020				208.30-	01-10-20000
07435881		Chk No: 103659 (1)	Calculated	11/05/2020				296.58-	01-10-20000
Total 2305 American Welding & Gas Inc.:						.00	.00	504.88-	
Total 01:						.00	.00	5,760.53-	
Total Current period checks for future period invoices.:						.00	.00	5,760.53-	
Grand Totals:						248,041.73	.00	242,208.03	

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
01-10-20000	3,939.34	9,699.87-	5,760.53-
01-11-55410	50.07	.00	50.07
01-12-52400	5,908.05	.00	5,908.05
01-12-54500	4,000.00	.00	4,000.00
01-12-55410	182.93	.00	182.93
01-12-60100	95.86	.00	95.86
01-14-55400	484.19	.00	484.19
01-18-56500	310.00	.00	310.00
01-19-55400	17,552.67	.00	17,552.67
01-20-55410	554.45	.00	554.45
01-20-56100	21,462.07	.00	21,462.07
01-21-67906	5,250.00	.00	5,250.00
01-23-51800	200.00	.00	200.00
01-23-52500	4,743.00	.00	4,743.00
01-23-54500	25.25	.00	25.25
01-23-55410	143.71	.00	143.71
01-23-60300	2,847.00	.00	2,847.00
01-23-62610	963.29	.00	963.29
01-40-51100	17,500.00	.00	17,500.00
01-40-51200	1,695.83	.00	1,695.83
01-40-52400	4,812.88	.00	4,812.88
01-40-55400	1,333.24	.00	1,333.24
01-40-55410	1,488.27	.00	1,488.27
01-40-55500	2,388.00	.00	2,388.00
01-40-56300	931.00	.00	931.00
01-40-61000	364.00	.00	364.00
01-40-62610	9,747.78	.00	9,747.78
01-41-51100	1,536.01	.00	1,536.01
01-41-51200	2,849.16	.00	2,849.16
01-41-51300	10,961.85	.00	10,961.85

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
01-41-55400	5,617.52	.00	5,617.52
01-41-55410	146.16	.00	146.16
01-41-60100	152.00	.00	152.00
01-41-61500	279.90	.00	279.90
01-41-62600	4,298.59	.00	4,298.59
01-41-63000	485.38	.00	485.38
01-41-63200	750.00	.00	750.00
01-50-51300	10,454.13	.00	10,454.13
01-50-52100	5,321.85	.00	5,321.85
01-50-52400	74,305.47	.00	74,305.47
01-50-55400	382.04	.00	382.04
01-50-55410	90.89	.00	90.89
01-50-60600	8,438.44	.00	8,438.44
01-50-61500	324.99	.00	324.99
01-50-62610	8,960.68	.00	8,960.68
01-50-62650	163.19	.00	163.19
01-50-62670	2,472.13	.00	2,472.13
01-53-55300	36.54	.00	36.54
01-54-52400	3,940.50	.00	3,940.50
01-54-60100	399.00	.00	399.00
01-56-52400	214.50	.00	214.50
01-65-67915	354.10	.00	354.10
41-10-20000	146.34	219.51-	73.17-
41-51-55300	18.36	.00	18.36
41-52-55300	54.81	.00	54.81
<b>Grand Totals:</b>	<b>252,127.41</b>	<b>9,919.38-</b>	<b>242,208.03</b>

Summary by General Ledger Posting Period

GL Posting Period	Debit	Credit	Net
02/20	.00	504.42-	504.42-
03/20	.00	1,930.24-	1,930.24-
04/20	5,908.05	.00	5,908.05
05/20	152.00	.00	152.00
06/20	803.34	.00	803.34
07/20	6,333.81	1,399.34-	4,934.47
08/20	23,851.38	.00	23,851.38
09/20	55,918.63	2,540.00-	53,378.63
10/20	78,128.19	219.51-	77,908.68
11/20	81,032.01	3,325.87-	77,706.14
<b>Grand Totals:</b>	<b>252,127.41</b>	<b>9,919.38-</b>	<b>242,208.03</b>

**VILLAGE OF MAYWOOD  
BOARD OF TRUSTEES  
VILLAGE COUNCIL ROOM  
125 SOUTH 5<sup>TH</sup> AVENUE  
MAYWOOD, ILLINOIS 60153  
TUESDAY, DECEMBER 1, 2020 AT 7:00 P.M.**

**AGENDA FOR TRUTH IN TAXATION PUBLIC HEARING  
ON THE PROPOSED 2020 REAL ESTATE TAX LEVY**

1. CALL TO ORDER.
2. ROLL CALL.
3. ACKNOWLEDGEMENT OF THE PUBLICATION OF THE PUBLIC HEARING NOTICE IN A LOCAL NEWSPAPER.
4. PRESENTATION ON THE 2020 REAL ESTATE TAX LEVY BY THE VILLAGE MANAGER AND THE FINANCE DIRECTOR.
  - A. DISCUSSION OF AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY.
  - B. GENERAL DISCUSSION OF THE FISCAL YEAR 2020-2021 (MAY 1, 2020 THROUGH APRIL 30, 2021) VILLAGE OF MAYWOOD BUDGET, THE 2020-2021 BUDGET AMENDMENTS, THE PROPOSED FISCAL YEAR 2021-2022 (MAY 1, 2021 THROUGH APRIL 30, 2022) VILLAGE OF MAYWOOD BUDGET, AND 2020 TAX LEVY ADOPTION PROCESS AND SCHEDULE.
5. QUESTIONS AND COMMENTS BY BOARD MEMBERS.
6. QUESTIONS BY THE PUBLIC AND PUBLIC COMMENT.
7. FINAL QUESTIONS AND COMMENTS BY BOARD MEMBERS.
8. MOTION TO PLACE "AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY" ON THE DECEMBER 15, 2020 VILLAGE BOARD MEETING AGENDA FOR FINAL ACTION AND APPROVAL.
9. MOTION TO CLOSE THE PUBLIC HEARING.

RETURN TO THE AGENDA FOR THE DECEMBER 1, 2020 REGULAR VILLAGE BOARD MEETING.

**Physical Attendance At This Public Hearing Is Limited To The Lesser Of 10 Individuals, With Priority Given To Village Officials, Village Staff And Consultants, Subject To Social Distancing Guidelines The Public Is Encouraged To Stay At Home And Watch, Listen To And Participate In The Public Hearing Via Electronic Means Public Comments And Any Responses Will Be Read Into The Public Hearing Record. Please Submit Public Comments Via Email In Advance Of The Public Hearing To: [Cthompkins@Maywood-Il.Org](mailto:Cthompkins@Maywood-Il.Org) Or [Tpvavlik@Maywood-Il.Org](mailto:Tpvavlik@Maywood-Il.Org) And/Or Faxing To (708) 681-8818. Options To Watch And Listen To The Public Hearing: Live Stream At Village Website Home Page: Go To [www.Maywood-Il.Org](http://www.Maywood-Il.Org) And Click "Video On Demand".**

The above Public Hearing restrictions are authorized by the Open Meetings Act, the CDC directive (social distancing guidelines) and Illinois Governor Disaster Proclamation dated November 13, 2020 (Restore Illinois Plan), and Executive Orders 2020-63 and 2020-71 extending the Governor's prior Executive Orders relating to the COVID-19 pandemic and his implementation of the "Restore Illinois" Plan (COVID-19 E.O. No. 59 and COVID-19 E.O. No. 67), as amended.



# VILLAGE OF MAYWOOD

## FINANCE DEPARTMENT

40 MADISON STREET, MAYWOOD, ILLINOIS 60153  
708-450-6320 (WATER BILLING)  
708-450-6310 (FINANCE DEPT.)

TO: Willie Norfleet, Village Manager  
FROM: Lanya Satchell, Director of Finance  
DATE: November 10, 2020  
RE: 2020 Property Tax Levy

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In preparation of the 2020 Tax Levy recommendation, consideration was given to what is necessary to adequately fund the Fiscal Year 2022 (May 1, 2021 – April 30, 2022) Operating Budget appropriated by the Corporate Fund. Based on the various concerns throughout the Village it is recommended that the Corporate Fund portion of the tax levy be increased by 5% (\$672,733).

Items that impacted my recommendation for an increase to the 2020 Tax Levy are as follows:

- **Collective bargaining agreements**, automatic wage increases payable to over 90% of Village employees account for one third of the total recommended (\$224K).
- **Staff replacement through attrition**, over the past few years each Department has faced and continue to face attrition due to retirement, promotion, and unfunded positions due to budgetary constraints. Approximately \$450K is required to bring staffing replacements up to 2018 staffing levels.
- **Machinery, Vehicle and Equipment costs**, Public Works has identified approximately \$500K in both machinery and vehicles to efficiently operate the department. Additionally, the Police Department has requested approximately \$600K for equipment, office furniture and painting of the facility that was not funded in the current Fiscal Year. An additional \$125K is requested by the Police Chief to upgrade and install 69 security cameras throughout the Village. Lastly, the Fire Department needs roof repairs at the station located at 700 St. Charles Rd. The quote received for the necessary repairs total \$109,440.00
- **Infrastructure – Local Share**, the Village continues to apply for grants to assist with infrastructure improvements throughout the Village. Once awarded, the Village must be prepared to pay a portion of the grant (local share). In FY2021-2022 the Village Engineers have estimated projects requiring funding from the Corporate Fund to be approximately \$1.2M.
- **Fred Hampton Aquatic Center**, the Village received a grant in the amount of \$335K to make many of the necessary repairs to the pool with a local share of approximately \$35K.

- **Fund Deficit Reductions**, over the past several years all Funds have been operating with a deficit fund balance. This deficit is the result of having accrued more expenses during the fiscal year than revenues received.
- **Cash Flow**, to pay bills timelier we need additional revenue to match the expenses.

The items referenced above total approximately \$3.2M and only represent a few of the issues and concerns throughout the Village; to address these concerns an increase of 5% is needed for the 2020 Tax Levy. While the 5% increase does not fully fund the items listed, discussion will be had during the budget cycle to determine what adjustments will be made to prioritize and fund the projects previously mentioned.

Other Funds that impact the tax levy are the Recreation Fund, Fire Pension Fund, and Police Pension Fund. It's my recommendation that the Recreation Fund remain flat at \$150,000. This recommendation is based on the utility of the Fund which is primarily for the maintenance and operation of the pool.

Recommended levies for the Police and Fire Pension Funds are impacted by actuarial studies in accordance with the Illinois Pension Code. As such, current actuarial studies for both Police and Fire Pensions are included for your review. The Village's Tax Levy Requirements for the Fire Pension has increased from \$3,135,792 to \$3,513,543(12.05%) and the Tax Levy Requirement for Police Pension has increased from \$4,125,310 to \$4,683,510 (13.53%). These increases are based on the unfunded liability, which represents monies that should've been in the fund and demographic factors that have changed to include the hiring of new employees, employees retiring or becoming disabled and salary increases.

The table below provides detail on the recommended Tax Levy for 2020:

Fund Name	Tax Levy – 2019	Tax Levy – 2020
Corporate Fund	\$ 13,454,661.00	\$ 14,127,394.00
Recreation Fund	\$ 150,000.00	\$ 150,000.00
Police Pension Fund	\$ 4,125,310.00	\$ 4,683,510.00
Fire Pension Fund	<u>\$ 3,135,792.00</u>	<u>\$ 3,513,543.00</u>
TOTAL	\$ 20,865,763.00	\$ 22,474,447.00

In a separate levy, the estimated property taxes for debt service and public building commission leases for 2019 are \$2,751,000 down \$5,000 from the previous year.

**TAX LEVY 2020**

	0%	1%	2%	3%	4%	5%
<b>TAX LEVY 2019</b>						
Corporate	\$ 13,454,661	\$ 134,547	\$ 269,093	\$ 403,640	\$ 538,186	\$ 672,733
Recreation	\$ 150,000	\$ 13,589,208	\$ 13,723,754	\$ 13,858,301	\$ 13,992,847	\$ 14,127,394
Police Pension	\$ 4,125,310	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000
Fire Pension	\$ 3,135,792	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510
	\$ 20,865,763	\$ 21,936,261	\$ 22,070,807	\$ 22,205,354	\$ 22,339,900	\$ 22,474,447
<b>Debt Service</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>
<b>TOTAL LEVY</b>	<b>\$24,552,714</b>	<b>\$ 24,687,261</b>	<b>\$ 24,821,807</b>	<b>\$ 24,956,354</b>	<b>\$ 25,090,900</b>	<b>\$ 25,225,447</b>

	6%	7%	8%	9%	10%	11%
<b>TAX LEVY 2019</b>						
Corporate	\$ 807,280	\$ 941,826	\$ 1,076,373	\$ 1,210,919	\$ 1,345,466	\$ 1,480,013
Recreation	\$ 14,261,941	\$ 14,396,487	\$ 1,076,373	\$ 14,665,580	\$ 14,800,127	\$ 14,934,674
Police Pension	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000
Fire Pension	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510	\$ 4,683,510
	\$ 20,865,763	\$ 22,743,540	\$ 9,423,426	\$ 23,012,633	\$ 23,147,180	\$ 23,281,727
<b>Debt Service</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>	<b>2,751,000</b>
<b>TOTAL LEVY</b>	<b>\$25,359,994</b>	<b>\$ 25,494,540</b>	<b>\$ 12,174,426</b>	<b>\$ 25,763,633</b>	<b>\$ 25,898,180</b>	<b>\$ 26,032,727</b>

FIRE PENSION INCREASE - 12.05%	\$ 377,751
POLICE PENSION INCREASE - 13.53%	\$ 558,200
DEBT SERVICE DECREASE	\$ (5,000)



# Village of MAYWOOD



125 SOUTH FIFTH AVENUE • MAYWOOD, ILLINOIS 60153 • (708) 450-4470

November 10, 2020

To: Mr. Willie Norfleet, Jr.  
Maywood Village Manager

From: Valdimir Talley, Jr.  
Maywood Chief of Police

Sir:

The attached proposal is being forwarded to your attention for consideration, and for submission to the Regularly Scheduled Village Board meeting which is scheduled to begin 7:00 pm on November 17, 2020.

#### **MPD Proposal #24**

On December 18, 2019 the Village Board set into place an amended code for Chapter 116 (Tobacco) and all related sections related to electronic cigarettes and flavored liquid nicotine products. There remains the ability for individuals over 21 to purchase these products and they are reaching the hands of our young people. Recently, during an investigation of suspected drug trafficking, it was learned the exchanges were actually electronic cigarettes and flavors. In fact, one of Maywood's youngest residents was playing in his yard, discovered a discarded electronic cigarette device, and placed it into his mouth.

It deeply concerns the Maywood Police Department, during a global pandemic, the public health threat these devices cause and the products which makes them attractive. We, therefore, wish to request the Board to make our Ordinance more restrictive and to prohibit electronic cigarettes and flavors from being sold in the Village. Penalties should begin at \$500 each occurrence with a \$500 administrative fee for tow services if a conveyance is utilized.

This request should not exceed more than 5 minutes of the Board's time to include a 30 second vaping video, and I would be available for any questions. Thank you for your support.

#### **Attachments**

cc: Chapter 116 File

## ORDINANCE NO. CO-2019-35

**AN ORDINANCE REVISING SECTION 116.02 (DEFINITIONS), CHAPTER 116 (TOBACCO)  
OF TITLE XI (BUSINESS REGULATIONS) OF THE MAYWOOD VILLAGE CODE  
WITH REGARD TO FLAVORED LIQUID NICOTINE PRODUCTS**

**WHEREAS**, the Village of Maywood (the "Village") is a home rule municipality, having all of the powers and authority granted to such municipalities pursuant to Article VII, Section 6 of the Illinois Constitution of 1970, and the applicable provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*, to adopt ordinances pertaining to the public health, safety and welfare, and to exercise any power and perform any function pertaining to its government and affairs; and

**WHEREAS**, the Village President and Board of Trustees have previously enacted Chapter 116 (Tobacco) of the Maywood Village Code relative to regulation of tobacco and tobacco sales within the Village; and

**WHEREAS**, among other things, the Illinois Municipal Code provides municipalities authority for the regulation and inspection of tobacco (65 ILCS 5/11-20-3), to perform all acts and make all regulations necessary or expedient for the promotion of health or the suppression of diseases (65 ILCS 5/11-20-5), to regulate and prohibit those businesses which create nuisances within the Village (65 ILCS 5/11-42-9 and -10), and to adopt and enforce all necessary police ordinances; and

**WHEREAS**, the Village President and Board of Trustees find that the health hazards of smoking and other uses of tobacco products, including the grave consequences of youth tobacco addiction, are well-documented, including through many years' worth of opinions of the United States Surgeon General, and that the prevention of underage tobacco use and the deterrence of adults from engaging in the consumption of tobacco products continue to be in the best interests of the Village and its residents; and

**WHEREAS**, the Village also has the authority to regulate the sale of flavored liquid nicotine products pursuant to its common law police powers (*see e.g. Opyt's Amoco, Inc. v. Village of South Holland*, 149 Ill.2d 265 (1992), *Greyhound Lines, Inc. v. City of Chicago*, 24 Ill.App.3d 718 (1st Dist. 1974) and *Illinois Cigarette Service Co. v. City of Chicago*, 89 F.2d 610 (7th Cir. 1937)); and

**WHEREAS**, the President and Board of Trustees of the Village make the following findings in regard to flavored liquid nicotine products:

- A. The United States Food and Drug Administration ("FDA") has found that flavors are added to tobacco and liquid nicotine products to improve flavor and taste by reducing the harshness, bitterness, and astringency; and
- B. The FDA has noted that research has shown that sweet-tasting flavors are particularly appealing to youth and young adults; and

- C. The FDA has noted that, according to a recent survey, eighty-one percent (81%) of current youth electronic cigarette users cited the availability of appealing flavors as the primary reason for use; and
- D. The United States Surgeon General found in a 2016 report that, in the United States, youth are more likely to use e-cigarettes than adults, and there was a 900% increase in e-cigarette use by high school students from 2011 to 2015; and
- E. The United States Surgeon General's 2016 report found that the most commonly cited reasons for using e-cigarettes among both youth and young adults are curiosity, flavoring and taste, and low perceived harm compared to other tobacco products; and

**WHEREAS**, in order to protect the public's health, safety and welfare, to reduce the usage of tobacco and liquid nicotine products among youth, the President and Board of Trustees of the Village desire to make certain amendments to the Maywood Village Code ("Village Code") relative to the sale of flavored liquid nicotine products in the Village; and

**WHEREAS**, pursuant to the authority granted by the above-cited laws, the President and Board of Trustees of the Village find that it is in the best interests of the health, safety and welfare of the Village, its residents, property owners, business owners and the public to approve the Code Amendments as set forth below in this Ordinance.

**BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1:** Each Whereas paragraph set forth above is incorporated by reference into this Section 1.

**SECTION 2:** Section 116.02 (Definitions), Chapter 116 (Tobacco) of Title XI (Business Regulations) of the Maywood Village Code is amended by amending existing definitions or by adding the new definitions set forth below, at their proper alphabetical location within the Section:

**"Electronic Cigarette.** Any electronically actuated device which, in operation, causes the user to exhale any smoke, vapor or other substance other than those produced by unenhanced human exhalation. "Electronic cigarette" includes any such device, whether manufactured, distributed, marketed, or sold as an electronic cigarette, an electronic cigar, an electronic cigarillo, an electronic pipe, an electronic hookah, or under any other product name or descriptor. The term "electronic cigarette" does not include any asthma inhaler or other device that has been specifically approved by the United States Food and Drug Administration.

**Flavored Liquid Nicotine Product.** Any liquid nicotine product that contains a constituent that imparts a characterizing flavor. As used in this definition, the term "characterizing flavor" means a distinguishable taste or aroma, other than the taste or aroma of tobacco, imparted either prior to or during consumption of a liquid nicotine product including, but not limited to, tastes or aromas of menthol, mint, wintergreen, chocolate, vanilla, honey, cocoa, any candy, any dessert, any alcoholic beverage, any fruit, any herb or any spice.

**Liquid Nicotine Product.** (1) Any electronic cigarette (i) containing liquid, gel, salt-based nicotine liquid, or other solution that contains nicotine, or (ii) packaged with a liquid, gel, salt-based nicotine liquid, or other solution that contains nicotine; and (2) any other container of liquid, gel, salt, salt-based nicotine liquid, or other solution where the liquid, gel, salt-based nicotine liquid, or other solution contains nicotine and is intended to be utilized in an electronic cigarette. The term "liquid nicotine product" does not include any product regulated by the United States Food and Drug Administration under Chapter V of the Food, Drug, and Cosmetic Act, 21 U.S.C. § 301, *et seq.*

**TOBACCO PRODUCTS.** Any substance containing tobacco leaf, including but not limited to cigarettes, cigars, snuff, smoking tobacco, any liquid nicotine product including but not limited to any flavored liquid nicotine product and/or smokeless tobacco. The term "Tobacco Products" also includes "E-Cigarette" even if certain e-cigarettes do not contain any tobacco."

**SECTION 3:** To the extent necessary, all tables of contents, indexes, headings, and internal references or cross-references to sections that need to be amended or deleted within the Maywood Code of Ordinances, as amended, as a consequence of the above Code Amendments, shall be amended by the Village's codifier so as to be consistent with the terms of this Ordinance.

**SECTION 4:** All ordinances, or parts of ordinances, in conflict with the provisions of this Ordinance, to the extent of such conflict, are repealed.

**SECTION 5:** Each section, paragraph, clause and provision of this Ordinance is separable, and if any provision is held unconstitutional or invalid for any reason, such decision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision.

**SECTION 6:** Except as to the Code amendments set forth above in this Ordinance, all Chapters and Sections of the Maywood Village Code, as amended, shall remain in full force and effect.

**SECTION 7:** This Ordinance shall be in full force and effect from and after its adoption, approval and publication in the manner provided by law.

**ADOPTED** this the 17th day of December, 2019 pursuant to a roll call vote as follows:

**AYES:** Mayor Perkins, Trustee(s) I. Brandon, M. Jones, A. Sanchez, K. Wellington, M. Lightford and N. Booker

**NAYS:** None

**ABSENT:** None

.APPROVED by me as Village President, and attested by the Village Clerk, on the 17th day of December, 2019.



Edwenna Perkins, Village President

ATTEST:



Viola Mims, Village Clerk



This Ordinance was published by me in pamphlet form on the 18<sup>th</sup> day of December, 2019.



Viola Mims, Village Clerk

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the attached document is a true and correct copy of that certain Ordinance now on file in my Office, entitled:

**ORDINANCE NO. 2019-35**

**AN ORDINANCE REVISING SECTION 116.02 (DEFINITIONS), CHAPTER 116 (TOBACCO)  
OF TITLE XI (BUSINESS REGULATIONS) OF THE MAYWOOD VILLAGE CODE  
WITH REGARD TO FLAVORED LIQUID NICOTINE PRODUCTS**

which Ordinance was passed by the Board of Trustees of the Village of Maywood at a Regular Village Board Meeting on the 17th day of December, 2019, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the 17th day of December, 2019.

I further certify that the vote on the question of the passage of said Ordinance by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

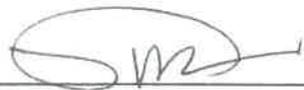
**AYES:** Mayor Perkins, Trustee(s) I. Brandon, M. Jones, A. Sanchez, K. Wellington, M. Lightford and N. Booker

**NAYS:** None

**ABSENT:** None

I do further certify that the original Ordinance, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this 17th day of December, 2019.

  
\_\_\_\_\_  
Viola Mims, Village Clerk

[SEAL]





# Village of MAYWOOD

125 SOUTH FIFTH AVENUE • MAYWOOD, ILLINOIS 60153 • (708) 450-4470



WHEREAS, After years of decline, tobacco use is growing at alarming rates, especially among youth, while Black and Hispanic life expectancy is also decreasing as a result of tobacco use; and

WHEREAS, As a society, we are losing another generation to tobacco addiction, with tobacco use up for the first time in decades as a result of vaping and flavored tobacco products; and

WHEREAS, The Village of Maywood is dedicated to protecting its communities, especially youth, from tobacco use - the leading cause of preventable death and disease in Illinois and the United States; and

WHEREAS, By aggressively promoting flavored tobacco products such as menthol cigarettes, mango e-cigarettes and chocolate cigarillos, the tobacco industry is targeting youth, and misleading them to believe that flavored tobacco products are more safe than other tobacco products; and

WHEREAS, With colorful packaging, sweet flavors, and cheap prices, these products are often hard to distinguish from the candy displays they are often sold near, and tobacco industry representatives have even been quoted as saying that flavored tobacco products "are for someone who likes the taste of candy, if you know what I'm saying"; and

WHEREAS, Flavored tobacco products make it easier to start using tobacco and harder to quit. Eighty percent of youth tobacco users started with a flavored product, and eighty percent of youth and young adult users say they would quit if flavored tobacco products were unavailable; and

WHEREAS, Researchers at the Harvard School of Public Health have found that the tobacco industry employs "a deliberate strategy to recruit and addict young smokers by adjusting menthol to create a milder experience for the first-time smoker"; and

WHEREAS, Approximately half of youth using tobacco products report using menthol cigarettes, and research shows that menthol cigarettes have slowed efforts to reduce smoking rates; and

WHEREAS, Research on tobacco industry tactics shows that menthol cigarettes are more heavily advertised and stocked and are sold for cheaper prices in majority African American neighborhoods; and

WHEREAS, The tobacco industry has deliberately targeted menthol cigarettes at African Americans since World War II; and

WHEREAS, Hispanic youth have the highest rate of menthol cigarette use compared to white and black youth; and

WHEREAS, Tobacco use makes poverty worse. Smoking a pack of cigarettes a day in Maywood costs \$4,070 a year, and smokers pay \$21,000 more for healthcare over a lifetime and miss more work to stay home sick; and

WHEREAS, smokers are more vulnerable to COVID-19 according to a growing body of evidence; and

WHEREAS, Maywood has been a leader in tobacco policy for years, including its passage of a Tobacco 21 law in 2017, and the passage of a new law increasing penalties for Tobacco 21 violations in 2019; and

WHEREAS, Enacting an ordinance written to end the sale of all flavored tobacco products in Maywood, including flavored cigars and menthol cigarettes, would protect Maywood's youth and help make Maywood a healthier place to live and work; now, therefore,

BE IT RESOLVED, That we, the Mayor and Members of Village Council of the Village of Maywood, assembled this \_\_\_\_ day of October, 2020, direct the Village Attorney to draft an ordinance that would end the sale of all flavored tobacco products in the Village of Maywood, including flavored e-cigarette



# Village of MAYWOOD

125 SOUTH FIFTH AVENUE • MAYWOOD, ILLINOIS 60153 • (708) 450-4470



“Electronic smoking device” means any device that may be used to deliver any aerosolized or vaporized substance to the person inhaling from the device, including, but not limited to, an e-cigarette, e-cigar, e-pipe, vape pen, or e-hookah. Electronic smoking device includes any component, part, or accessory of the device, and also includes any substance that may be aerosolized or vaporized by such device, whether or not the substance contains nicotine. Electronic smoking device does not include drugs, devices, or combination products authorized for sale by the U.S. Food and Drug Administration, as those terms are defined in the Federal Food, Drug, and Cosmetic Act.

“Flavored tobacco product” means any tobacco product that imparts a taste or smell, other than the taste or smell of tobacco, either prior to, or during the consumption of, a tobacco product, including, but not limited to, any taste or smell relating to fruit, menthol, mint, wintergreen, chocolate, cocoa, vanilla, honey, or any candy, dessert, alcoholic beverage, herb, or spice.

"Tobacco product" means:

- 1) Any product containing, made of, or derived from tobacco or nicotine that is intended for human consumption or is likely to be consumed, whether inhaled, absorbed, or ingested by any other means, including, but not limited to, a cigarette, a cigar, pipe tobacco, chewing tobacco, snuff, or snus;
- 2) Any electronic smoking device and any substance that may be aerosolized or vaporized by such device, whether or not the substance contains nicotine; or
- 3) any component, part, or accessory of 1) or 2), whether or not any of these contains tobacco or nicotine, including, but not limited to, filters, rolling papers, blunt or hemp wraps, hookahs, flavor enhancers, or pipes.

“Tobacco product” does not mean drugs, devices, or combination products authorized for sale by the U.S. Food and Drug Administration, as those terms are defined in the Federal Food, Drug, and Cosmetic Act.

Prohibition language:

It shall be unlawful for any retailer to sell, offer for sale, display, market, or advertise any flavored tobacco product.

There shall be a rebuttable presumption that a tobacco product is a flavored tobacco product if a tobacco retailer, manufacturer, or any employee or agent of a tobacco retailer or manufacturer has:

1. Made a public statement or claim that the tobacco product imparts a taste or smell other than the taste or smell of tobacco;
2. Used text or images, or both, on the tobacco product's labeling or packaging to explicitly or implicitly indicate that the tobacco product imparts a taste or smell other than tobacco; or
3. Taken action directed to consumers that would be reasonably expected to cause consumers to believe the tobacco product imparts a taste or smell other than tobacco.

# Village of MAYWOOD



125 SOUTH FIFTH AVENUE • MAYWOOD, ILLINOIS 60153 • (708) 450-4470

November 10, 2020

To: Mr. Willie Norfleet, Jr.  
Maywood Village Manager

From: Valdimir Talley, Jr.   
Maywood Chief of Police

Sir:

The attached proposal is being forwarded to your attention for consideration, and for submission to the Regularly Scheduled Village Board meeting which is scheduled to begin 7:00 pm on November 17, 2020.

#### **MPD Proposal #25**

The Maywood Police Department would like to renew a contract with Verra Mobility Corporation, formerly American Traffic Solutions, to continue professional services from December 31, 2020 through December 31, 2021. The Village Attorney has prepared the third amendment outlining terms and conditions and only requires Board authorization. Staff recommends action of this business item.

This request should not exceed more than 5 minutes of the Board's time, and I would be available for any questions. Thank you for your support.

#### **Attachments**

cc: RLR File

**THIRD AMENDMENT  
TO PROFESSIONAL SERVICES AGREEMENT**

This Third Amendment (the "Third Amendment") is dated as of the date of the last party's execution hereof (the "Effective Date") and is entered into between American Traffic Solutions, Inc., now known as Verra Mobility Corp. ("ATS"), an Arizona corporation with its principal place of business at 1150 N. Alma School Rd. Mesa, AZ 85201 and the Village of Maywood, Illinois ("Customer"), an Illinois municipal corporation with principal offices at 40 Madison Street, Maywood, Illinois, 60153.

**RECITALS**

WHEREAS, on July 22, 2008, the Customer and American Traffic Solutions ("ATS"), entered into a Professional Services Agreement for the Customer's use of the Axis™ System to enforce traffic violations (the "Agreement"); and

WHEREAS, on April 16, 2013, the Customer and ATS entered into an Amendment and Extension to Professional Services Agreement (the "First Amendment"); and

WHEREAS, on August 24, 2016, the Customer and ATS entered into a Second Amendment to Professional Services Agreement (the "Second Amendment"); and

WHEREAS, the Village of Maywood has indicated it is not willing to renew the Agreement for an additional three (3) years at this time, but would instead be willing to extend the Agreement for a single one (1) year term at this time, and ATS has indicated its willingness to enter into an amendment that would change the term consistent with the Village's proposal; and

WHEREAS, Section 18 of the Agreement requires any amendments, modifications, or alterations of the Agreement to be in writing and duly executed by the parties; and,

WHEREAS, the Customer and ATS mutually desire to amend, modify or alter certain terms and conditions of the Agreement.

**TERMS AND CONDITIONS**

NOW THEREFORE, in consideration of the mutual covenants and promises contained in this Amendment, the Customer and ATS do hereby agree as set forth below:

1. The above recitals are true and correct and are incorporated herein.
2. Section 4. TERM AND TERMINATION of the Agreement, which was subsequently amended pursuant to the terms set forth in the First Amendment and Second Amendment, is hereby amended by deleting section 4(a) in its entirety and replacing it with the following:
  - a. The term of this Agreement shall continue until December 31, 2021. This Agreement may be extended for an additional term of a year or years, and upon the same or revised other terms and conditions, following negotiation, mutual agreement of the Parties, and approval by the Parties of an additional amendment prior to December 31, 2021.
3. Except as expressly amended or modified by the terms of this Third Amendment, all terms of the Agreement and the First Amendment and Second Amendment shall remain in full force and effect. In the event of a conflict between the terms of this Third Amendment and the Agreement or the First Amendment or Second Amendment, the terms of this Third Amendment shall prevail and control.
4. The provisions of this Third Amendment, including the recitals, comprise all of the terms, conditions, agreements, and representations of the parties with respect to the subject matter hereof. All representations and promises made by any party to another, whether in writing or orally, concerning the subject matter of this Third Amendment are merged into this Third Amendment.

5. This Third Amendment may be executed in one or more counterparts, each of which shall constitute an original, but all of which taken together shall constitute one and the same instrument. Each party represents and warrants that the representative signing this Third Amendment on its behalf has all right and authority to bind and commit that party to the terms and conditions of this Third Amendment.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK;  
SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have executed this Amendment.

**VILLAGE OF MAYWOOD, ILLINOIS**

By:

\_\_\_\_\_  
Mayor or Village Manager

\_\_\_\_\_  
Date

ATTEST:

By:

\_\_\_\_\_  
Village Clerk

\_\_\_\_\_  
Date

**AMERICAN TRAFFIC SOLUTIONS, LLC, NOW KNOWN AS VERRA  
MOBILITY CORP.**

By:

\_\_\_\_\_  
Elizabeth Caracciolo  
SVP/GM,  
Government Solutions

\_\_\_\_\_  
Date

**APPROVED AS TO FORM**

By:

\_\_\_\_\_  
Village Attorney

\_\_\_\_\_  
Date

**ORIGINAL**

**ADDENDUM TO  
HOST COMMUNITY BENEFIT AGREEMENT BETWEEN  
THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS AND  
GREENWOOD TRANSFER, LLC FOR A SOLID WASTE TRANSFER FACILITY**

This Addendum to the "Host Community Benefit Agreement Between the Village of Maywood, Cook County, Illinois and Greenwood Transfer, LLC for a Solid Waste Transfer Facility" ("Addendum") is entered into between the Village of Maywood, Cook County, Illinois ("Village"), Greenwood Transfer, LLC ("Company") and Roy Strom Excavating Company ("Strom") concerning a solid waste transfer facility ("Transfer Facility") located at 1201 Greenwood Avenue, Maywood, Illinois 60153 on the \_\_\_ day of July, 2014 (the "Effective Date" as defined below). The Village, the Company and Strom are referred to at times herein individually as a "Party" and collectively as the "Parties." The term "Effective Date" shall mean the date on which the last signatory signs and dates this Addendum.

**RECITALS:**

**WHEREAS**, the Village and the Company entered into a "Host Community Benefit Agreement Between the Village of Maywood, Cook County, Illinois and Greenwood Transfer, LLC for a Solid Waste Transfer Facility" ("Agreement") on July 21, 2003 that governed the permitting, construction and operation of the Transfer Facility located 1201 Greenwood Avenue within the Village's corporate boundaries; and

**WHEREAS**, the Village and the Company desire to execute this Addendum to the Agreement to resolve a dispute that has arisen as a result of the Village having failed to utilize the Transfer Facility for Village purposes, and as a consequence of the Company's failure to pay host fees in regard to the operation of the Transfer Facility, as required under the Agreement; and

**WHEREAS**, in the interest of assisting to resolve the above-mentioned dispute, Strom, at its cost and using its equipment, has agreed to perform grading activities, on a one-time basis, to improve the condition of the Village's unpaved alleys, subject to the provisions set forth below in this Addendum; and

**WHEREAS**, after approval and execution of this Addendum by the Parties, the Company will immediately be obligated to pay host fees in accordance with the quarterly fee payment schedule set forth in Section 3.7 (Payment Schedule for Fees) of the Agreement on all qualifying transactions that generate a host fee that occur on and after the "Effective Date" of this Addendum. For example, if this Addendum is signed by both Parties on July 15, 2014, then the Company shall pay to the Village the required quarterly host fee payment relating to the "third quarter" time period of July/August/September 2014 (prorated to commence on July 15, 2014) by October 31, 2014; and

**WHEREAS**, the President and Board of Trustees of the Village of Maywood, a home rule Illinois municipal corporation, have the authority to enter into this Addendum pursuant to their home rule powers as provided by Article VII, Sections 6 and 10(a) of the Illinois Constitution of 1970 and the Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*, and find that entering into this Addendum is in the best interests of the Village.

**AMENDMENTS TO AGREEMENT:**

1. **Article 3 (Host Fees), Section 3.2 of the Agreement is amended in its entirety as follows:**

**Section 3.2 Quantity-Based Fees**

Solid Waste: The Company shall pay to the Village a base fee as provided below for each ton of Solid Waste received at the Transfer Facility (whether received in the same or separate vehicles) from the first date Solid Waste is received through the termination of this Agreement. Beginning on January 1 of 2015 and on each January 1 thereafter, the annual increase provision in Section 3.4 will be used to adjust the below per-ton fee.

**Per-Ton Fee**

Per ton	\$0.315
---------	---------

2. **Article 3 (Host Fees) of the Agreement is amended as follows, to include a new Section 3.4 (Annual Increase), which shall read in its entirety as follows:**

**Section 3.4 Annual Increase**

Beginning as of January 1 of the first year following the first full year of operations at the Transfer Station, and as of each January 1 thereafter, the per-ton fees described in Section 3.2 above will be adjusted from the per-ton fees of the previous year by the percentage change during the previous year in the Revised Consumer Price Index for All Urban Consumers (CPI-U) published by the United States Department of Labor – Statistics; provided, however, that at no time shall there be a downward adjustment made to the subject fees. The unadjusted percent change from January of the calendar year prior to the year of the increase to the January of the year of the increase shall be used to determine the percent change in this Section. This percent change shall apply retroactively to any time of the year of the increase that passed prior to the Department of Labor publishing that information in the year of the increase and the determination of the increase being made. (For example, for the adjustment being made in January, 2006, the CPI-U, unadjusted 12-month percent ending January, 2006, will be used. Since the CPI-U unadjusted 12-month percent ending January, 2006 is not typically published until mid-February, 2006, and the determination of what increase to apply will not be made until after the publication of the CPI-U for January, 2006, the increase under this Section shall apply retroactively to the period of time that has passed prior to it being published and determined, which in this example would be January 1, 2006, to some time at or after mid-February, 2006.) If the Consumer Price Index for All Urban Consumers shall cease to be published in the time frame described above, the Village and Company shall designate a comparable time frame or index, which shall then be used for determining the annual rate of adjustment. Under this Addendum, the Parties agree that the annual increases that should have been applied to the host fee prior to the date of this Addendum shall be waived and the above CPI-U calculation for the annual increases to the amended host fee shall be capped at a two percent (2.0%) increase for calendar year 2016 and subsequent years. The Parties also agree that the capped CPI-U annual increase calculation shall apply to the amended host fee for the 2016 calendar year and then to subsequent calendar years.

3. **Article 3 (Host Fees) of the Agreement is amended as follows, to include a new Section 3.9 (Satisfaction of Past-Due Host Fees by the Company), which shall read in its entirety as follows:**

**Section 3.9 Satisfaction of Past-Due Host Fees by the Company**

In satisfaction of payment to the Village of all past-due host fees by the Company under the Agreement owed through the date of the execution of this Addendum by the Company, the Village consents to allow Strom to perform certain grading activities of all unpaved alleys located within the corporate boundaries of the Village during the Summer of 2014 and the Spring of 2015. The Summer 2014 alley grading activities by Strom shall commence within fifteen (15) calendar days of the execution of this Addendum by the Company. **The Summer 2014 alley grading activities shall be completed by August 30, 2014** and shall be inspected by the Village staff and the Village Engineer. **The Spring 2015 alley grading activities shall begin April 1, 2015, or as soon as weather conditions permit, and shall be completed within thirty (30) days of commencement of the work.** Strom agrees to follow any inspection recommendations issued by the Village staff and the Village Engineer.

The Village, at its cost, agrees to pay for all aggregate stone and other materials that are to be applied to the alleys during these grading activities. The Village shall supply one of its dump trucks and a Village driver to operate the dump truck to assist Strom with the transportation of the aggregate stone and other materials. The Village, at its cost, shall also provide another employee to move any items (e.g., garbage cans, debris, etc.) that may be in the way of the grader. Strom, at its cost, shall provide a road grader and its own operator for the road grader and shall provide a roller to compact the alleys after grading. The Village, at its cost, shall provide an employee to operate the Strom roller. The Parties shall pay the fuel costs associated with their own equipment. The Parties are responsible for the maintenance, repair and security of their own equipment.

The Village, at its cost, is responsible for sending out notice to the residents and property owners who live adjacent to the alleys of the alley grading activities to be performed under this Addendum in the Summer 2014 and the Spring 2015.

4. **Article 4 (Miscellaneous), Section 4.1 (Assignment) of the Agreement is amended to read in its entirety as follows:**

**Section 4.1 Assignment**

If the Company desires to assign or attempt to sublet this Agreement, as amended, or any interest in this Agreement or any right or privilege appurtenant to this Agreement, it shall first notify the Village in writing of such proposed assignment. In addition, the Company shall notify the Village in writing of its desire to transfer any ownership or other interest in the Transfer Facility. The right to seek assignment or approval may occur only if all payments to the Village by the Company have been made and if the Company is not otherwise in default in connection with obligations under this Agreement, as amended. The Company's notice to the Village of an assignment of this Agreement or transfer of ownership or other interest in the Transfer Facility shall be in writing, and delivered by the Company to the Village no later than sixty (60) days prior to such assignment, sublet or transfer. The notice shall include at least the following information:

- (a) The name of the proposed assignee or transferee;

- (b) The terms of the proposed assignment or transfer;
- (c) The nature of business of the proposed assignee or transferee and the proposed use by the assignee or transferee; and
- (d) Information relating to the financial responsibility and general reputation of the proposed assignee or transferee that the Village may require.

In order to be eligible to complete an assignment or a transfer of ownership or other interest of any kind in the Transfer Facility, its underlying real property or the Agreement, as amended, the Company's proposed assignee or transferee shall first agree in writing to the following subsections (e) through (h), and shall provide a fully executed version of the written agreement, acceptable in form and content, to the Village for approval by the corporate authorities of the Village, which approval shall not be unreasonably withheld:

- (e) To assume all obligations and duties of the Company under this Agreement, as amended, and any conditions placed on the site location approval by the Village;
- (f) To be bound as an original Party to this Agreement and all addenda and amendments thereto;
- (g) To make any and all payments due under this Agreement, as amended, and/or assignment to the Village directly at its offices, as such payments become due; and
- (h) That the assignee or transferee shall not seek any amendment of or supplement to its development, operational or other permits from IEPA, without first obtaining the Village's approval on any proposed amendments, changes or supplements. Further, that the assignee or transferee will seek additional site location approval from the Village, pursuant to Section 39.2 of the Act, as amended, to the extent any change to the Transfer Facility or its operations, proposed by the assignee or transferee, affects the throughput, daily, monthly or annual capacity of the Transfer Facility; the physical, lateral or vertical property or structure boundaries of the Transfer Facility; or is otherwise required by law to receive site location approval, pursuant to Section 39.2.

Subject to the provisions of this Agreement regarding the right to assign or transfer, this Agreement, as amended, shall be binding on and inure to the benefit of the Parties and their heirs and successors. However, the Company shall remain primarily responsible for all obligations and liabilities under this Agreement, as amended, and for any assignment or transfer. Furthermore, in the event of an assignment or transfer, the Company shall remain primarily responsible for all obligations and liabilities of this Agreement, as amended, which accrue prior to the completion of any assignment or transfer. The Village may require an additional written commitment from the assignee or transferee to assume and comply with the duties and obligations of this Agreement, as amended. This Section 4.1 survives termination of this Agreement.

5. **Article 4 (Miscellaneous), Section 4.15 (Village's Use of Transfer Facility) of the Agreement is amended to read in its entirety as follows:**

**Section 4.15 Village's Use of Transfer Facility**

A. Subject to the *force majeure* provisions of this Agreement, upon written request of the Village, the Company shall arrange for disposal capacity for residential Solid Waste generated within the Village's corporate boundaries which the Company is permitted to receive for storage and transfer. The Company's obligation to secure disposal capacity shall extend only to residential Solid Waste which is initially abandoned or discarded within the Village. The Village shall reserve the right to transfer all or a portion of the residential Solid Waste it collects or which is collected by a contractor pursuant to contract with the Village to be transferred by the Company. If the Village intends to utilize the Transfer Facility for transfer purposes, the Village shall commence the transfer of said residential Solid Waste at the Transfer Facility after prior written notice to the Company and approval of a transfer agreement or a transfer and disposal agreement by the Parties.

B. The Company agrees that its charges to the Village or its contractor for storage, transfer and off-site treatment, recycling and/or disposal of residential waste will be no greater than the lowest charges the Company charges any other solid waste customer (without regard to volume).

**CONFLICT WITH AGREEMENT:**

This Addendum is meant to incorporate in its entirety the terms included within the Agreement, except as specifically changed herein. In the event there is a conflict between the terms and conditions of the Agreement and this Addendum, this Addendum shall be controlling. All provisions of the Agreement not affected by this Addendum shall remain in full force and effect.

**THE REMAINDER OF THIS PAGE  
HAS INTENTIONALLY BEEN LEFT BLANK**

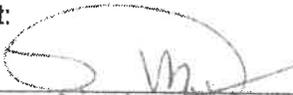
**AGREED AND ACCEPTED:**

**Village of Maywood,**  
an Illinois Municipal Corporation

By:   
Name: Edwenna Perkins  
Village President

Date: 8-8-2014

Attest:

By:   
Name: Viola Mims  
Village Clerk

Date: 8-8-2014

**Greenwood Transfer, LLC,**  
an Illinois Limited Liability Company

By:   
Name: Roy Strom  
Managing Member

Date: 7/30/14

By:   
Name: Dale L. Brooks  
Secretary

Date: 7/30/14

**Roy Strom Excavating Company,**  
an Illinois Corporation

By:   
Name: Dale L. Brooks  
President

Date: 7/30/14

Attest:  
By:   
Name: Roy Strom  
Secretary

Date: 7/30/14

**Date:** November 24, 2020  
**To:** Office of the Village Manager  
**From:** Office of the Fire Chief  
**Re:** Foreign Fire Tax / Allocation for the Fire Department  
Agenda Item Request

The attached documentation (relative to the Foreign Fire Tax Allocation for the Fire Department) was received from the Village Treasurer. I am asking that this item (submitted for your review and with your approval) be added to the next Regular Board of Trustees Meeting Agenda.

**C C:** Foreign Fire Tax Fund  
Fire Captains  
File

**FIRE TAX FUND**  
Illinois Municipal League  
P.O. Box 5180 500 East Capitol  
Springfield, Illinois 62705-5180

**Bank of Springfield**  
3400 West Wabash Ave.  
Springfield, IL 62707  
70-0855/0711

**036724**

PAY TO THE  
ORDER OF **Treasurer of Maywood FFI Board**

DATE

9/30/2020

CODE  
4172

AMOUNT

\$35,248.23

THIRTY-FIVE THOUSAND TWO HUNDRED FORTY-EIGHT AND 23/100

NOT VALID AFTER 90 DAYS

2020



*[Handwritten Signature]*

AUTHORIZED SIGNATURE

MP

⑈036724⑈ ⑆071108559⑆ 01101471⑈

Security Features Included Details on back

September 30, 2020

Treasurer of Maywood FFI Board

RE: **2020 Foreign Fire Insurance Tax**

Dear Treasurer,

The Illinois Municipal League (IML) collects the Foreign Fire Insurance Tax from more than 450 insurance companies outside of Illinois on behalf of fire protection entities enrolled in the Illinois Foreign Fire Insurance Tax program. Since 1937, IML has partnered with fire protection organizations throughout Illinois, and we have been collecting and distributing these funds effectively and efficiently on your behalf over the years.

The enclosed disbursement check is for payment of the tax on Foreign Fire Insurance companies (65 ILCS 5/11-10-1) for the year ending July 1, 2020.

**Deposit this Check Immediately – It is Void After 90 Days**

The enclosed disbursement check represents the amount collected, as submitted by the insurance companies filing returns, minus a service charge. **Please note the service charge has already been deducted.**

This year's disbursement represents a \$973.91 increase from last year's check.

Also enclosed is a list of collections paid by the insurance companies who filed payments.



Effective in 2019, we have capped our service charge at 5%. This cap was made possible by IML streamlining the collection and distribution processes which reduced operating costs. The result of these process improvements is often more money being returned in a more timely and accurate manner to you, our client.

By endorsing the disbursement check, the Payee accepts these funds as full payment and agrees that IML was authorized to collect the fees on its behalf. If you have questions or wish to request an additional review of submitted filings, please contact us by phone at (217) 525-1220 or by email at [firetax@iml.org](mailto:firetax@iml.org). Thanks.

**Name or Address Change Request:**

Please inform us of any changes to your contact information by contacting our office: in writing at PO Box 5180, Springfield, IL 62705-5180; or by phone at (217) 525-1220; or by email at [firetax@iml.org](mailto:firetax@iml.org).

**ILLINOIS MUNICIPAL LEAGUE**

500 East Capitol Avenue | PO Box 5180 | Springfield, Illinois 62705  
217.525.1220 phone | 217.525.7438 fax

Educate. Advocate. Empower.

September 30, 2020

Village of Maywood  
Steve Kuptz  
40 Madison St  
Maywood, IL 60153-2323

RE: **2020 Foreign Fire Insurance Tax**

Dear Steve Kuptz,

The Illinois Municipal League (IML) collects the Foreign Fire Insurance Tax from more than 450 insurance companies outside of Illinois for fire protection entities enrolled in the Illinois Foreign Fire Insurance Tax program. Since 1937, IML has partnered with fire protection organizations throughout Illinois, and we have been collecting and distributing these funds effectively and efficiently on your behalf over the years.

The enclosed sealed envelope contains a disbursement check that is payment of the tax on Foreign Fire Insurance companies (65 ILCS 5/11-10-1) for the year ending July 1, 2020. **State law, 65 ILCS 5/11-10-1, requires that this check be turned over to the treasurer of your Foreign Fire Insurance (FFI) board.** Please deliver this check promptly. It is void after 90 days. Please immediately contact the treasurer of your Foreign Fire Insurance board and give them the sealed envelope included in this mailing.

By endorsing the disbursement check, the Payee accepts these funds as full payment and agrees that IML was authorized to collect the fees on its behalf. If you have questions or wish to request an additional review of submitted filings, please contact us by phone at (217) 525-1220 or by email at [firetax@iml.org](mailto:firetax@iml.org).

The check, made payable to the treasurer of your FFI board, represents the amount collected, as submitted by the insurance companies filing returns, minus a service charge. **Please note the service charge has already been deducted.**

Effective in 2019, we have capped our service charge at 5%. This cap was made possible by IML streamlining the collection and distribution processes which reduced operating costs. The result of these process improvements is often more money being returned in a more timely and accurate manner to you, our client.



The sealed envelope also includes a list of collections paid by the insurance companies who filed payments. A duplicated copy of that list is included for your records indicating the companies, their premiums charged and tax collected.

**Dissolved Municipal Fire Department:**

If your municipal fire department dissolved and your municipality entered in to an agreement with a fire protection district, please contact our office: in writing at PO Box 5180, Springfield, IL 62705-5180; or by phone at (217) 525-1220; or by email at [firetax@iml.org](mailto:firetax@iml.org). We will need paperwork stating the dissolution of your fire department, as well as any annexation agreements or other legal documents stating coverage from the fire protection district.

**Municipalities Protected By Fire Protection Districts:**

If your municipality is included in a fire protection district and that district furnishes fire protection for your community, the sealed envelope should be given to the secretary of the fire protection district.

**Name or Address Change Request:**

Please inform us of any changes to your contact information by contacting our office: in writing at PO Box 5180, Springfield, IL 62705-5180; or by phone at 217-525-1220; or by email at [firetax@iml.org](mailto:firetax@iml.org).

**ILLINOIS MUNICIPAL LEAGUE**

500 East Capitol Avenue | PO Box 5180 | Springfield, Illinois 62705  
217.525.1220 phone | 217.525.7438 fax

Code	Page	Illinois Municipal League	Maywood
4172	1	500 East Capitol PO Box 5180 Springfield, Illinois 62705-5180	

Report covering Illinois State Fire Department Tax on Foreign Fire Insurance Companies

pursuant to 65ILCS 5/11-10-1, for the year ending July 1st 2020

THIS IS A CONSOLIDATED RETURN OF THOSE FIRE INSURANCE COMPANIES WHOSE NAME APPEAR BELOW FILING THEIR  
ACCOUNTS THROUGH THE ILLINOIS MUNICIPAL LEAGUE

Name of Insurance Company	Premium	Tax
1st Auto & Casualty Insurance Company	\$2,794.00	\$55.88
Acadia Insurance Company	\$1,463.30	\$29.27
ACE Property & Casualty Insurance Company	\$3.76	\$0.08
Acuity, A Mutual Insurance Company	\$2,009.40	\$40.19
Aegis Security Insurance Company	\$2,174.00	\$43.48
Allied Property & Casualty Insurance Company	\$4,501.03	\$90.02
Allmerica Financial Alliance Insurance Company	\$425.55	\$8.51
AMCO Insurance Company	\$2,784.26	\$55.69
American Bankers Insurance Company of Florida	\$1,473.00	\$29.46
American Economy Insurance Company	\$2,394.98	\$47.90
American Family Connect Property & Casualty Insurance Company	\$1,813.55	\$36.27
American Family Insurance Company	\$99,151.80	\$1,983.04
American Family Mutual Insurance	\$197,481.90	\$3,949.64
American Guarantee & Liability	\$3,936.85	\$78.74
American Modern Home Insurance Company	\$486.75	\$9.74
American Modern Property and Casualty Insurance Company	\$34,255.32	\$685.11
American Modern Select Insurance Company	\$13,385.83	\$267.72
American National Property & Casualty Co	\$3,367.45	\$67.35
American Security Insurance Company	\$1,813.48	\$36.27
American Standard Insurance Company of Wisconsin	\$292.14	\$5.84
American States Insurance Company	\$743.64	\$14.87
American Strategic Insurance Corp	\$4,693.00	\$93.86
AmGUARD Insurance Company	\$34,555.00	\$691.10
AmTrust Insurance Company of Kansas	\$349.50	\$6.99
Arch Insurance Company	\$2,089.64	\$41.79
Aspen American Insurance Company	\$503.48	\$10.07
Auto-Owners Insurance Company	\$5,256.32	\$105.13
Automobile Insurance Company of Hartford	\$525.60	\$10.51
Badger Mutual Insurance Company	\$12,642.11	\$252.84
Berkley National Insurance Company	\$147.00	\$2.94
Berkshire Hathaway Homestate Ins Co	\$9,446.00	\$188.92
Bristol West Insurance Company	\$6,205.60	\$124.11
Brotherhood Mutual Insurance Company	\$146.00	\$2.92
California Casualty General Insurance Company of Oregon	\$6,217.90	\$124.36
Cambridge Mutual Fire Insurance Company	\$6,330.00	\$126.60
Central Mutual Insurance Company	\$1,015.98	\$20.32
Century National Insurance Company	\$149.19	\$2.98
Charter Oak Fire Insurance Company	\$1,116.72	\$22.33
Church Mutual Insurance Company	\$16,850.05	\$337.00
Cincinnati Casualty Company	\$1,106.95	\$22.14
Cincinnati Insurance Company Inc	\$11,078.90	\$221.58
Conifer Insurance Company	\$576.00	\$11.52
Continental Insurance Company	\$127.64	\$2.56
Continental Western Insurance Company	\$3,578.95	\$71.58
Dairyland Insurance Company	\$33.65	\$0.67
Depositors Insurance Company	\$1,110.49	\$22.21
Diamond State Insurance Company	\$2,783.25	\$55.67
Electric Insurance Company	\$222.51	\$4.45
Emcasco Insurance Company	\$450.00	\$9.00
Employers Mutual Casualty Company	\$3,081.00	\$61.62
Erie Insurance Company	\$11,078.50	\$221.57
Erie Insurance Exchange	\$13,332.63	\$266.65
Essentia Insurance Company	\$270.30	\$5.41
Factory Mutual Insurance Company	\$3,805.04	\$76.10
Farmers Insurance Exchange	\$127,317.36	\$2,546.35
Federated Service Insurance Company	\$31,042.00	\$620.84
Fidelity & Guaranty Insurance Company	\$505.26	\$10.11
Fireman's Fund Insurance Company	\$24,570.80	\$491.42
First Acceptance Insurance Company Inc	\$502.40	\$10.05
First National Insurance Company of America	\$766.00	\$15.32
Foremost Insurance Company	\$172,213.05	\$3,444.26
Frankenmuth Mutual Insurance Company	\$5,167.40	\$103.35
Garrison Property & Casualty Company	\$2,816.40	\$56.33
Geico General Insurance Company	\$399.59	\$7.99
Geico Indemnity Company	\$206.42	\$4.13
Total amount of fire tax collected for the year ended: Less service charge due at Less reissue fee due Outstanding uncashed distribution collections Net check amount - check no.		
	57	<b>Totals</b>

Code	Page	Illinois Municipal League	Maywood
4172	2	500 East Capitol PO Box 5180 Springfield, Illinois 62705-5180	

Report covering Illinois State Fire Department Tax on Foreign Fire Insurance Companies

pursuant to 65ILCS 5/11-10-1, for the year ending July 1st 2020

THIS IS A CONSOLIDATED RETURN OF THOSE FIRE INSURANCE COMPANIES WHOSE NAME APPEAR BELOW FILING THEIR ACCOUNTS THROUGH THE ILLINOIS MUNICIPAL LEAGUE

Name of Insurance Company	Premium	Tax
General Automobile Insurance Company Inc	\$15.55	\$0.31
General Insurance Company of America	\$569.00	\$11.38
Government Employees Insurance Company	\$217.63	\$4.35
Grange Indemnity Insurance Company	\$1,549.20	\$30.98
Grange Mutual Casualty Company	\$5,256.30	\$105.13
Great American Assurance Company	\$1,004.00	\$20.08
Great American Ins Company of New York	\$2,350.00	\$47.00
Great American Insurance Company	\$20.50	\$0.41
Great Divide Insurance Company	\$3,508.75	\$70.18
Great Northern Insurance Company	\$20.85	\$0.42
Greater New York Mutual Insurance Company	\$9,094.00	\$181.88
Grinnell Mutual Reinsurance Company	\$20.88	\$0.42
GuideOne Elite Insurance Company	\$4,228.40	\$84.57
GuideOne Specialty Mutual Insurance Co	\$758.00	\$15.16
Hanover Insurance Company	\$4,675.11	\$93.50
Harleysville Insurance Company	\$1,194.55	\$23.89
Harleysville Preferred Insurance Company	\$20,070.00	\$401.40
Harleysville Worcester Insurance Company	\$2,082.65	\$41.65
Hartford Accident & Indemnity Company	\$219.00	\$4.38
Hartford Fire Insurance Company	\$20,931.00	\$418.62
Hartford Underwriters Insurance Company	\$4,134.00	\$82.68
Hastings Mutual Insurance Company	\$23.20	\$0.46
IL Emcasco Company	\$3,147.00	\$62.94
Insurance Company of Greater New York	\$15,136.00	\$302.72
Integon Casualty Insurance Company	\$160.12	\$3.20
Integon National Insurance Company	\$24.21	\$0.48
Jewelers Mutual Insurance Company	\$95.40	\$1.91
Lemonade Insurance Company	\$1,288.75	\$25.78
Liberty Mutual Fire Insurance Company	\$16,772.00	\$335.44
Liberty Mutual Personal Insurance Company	\$93,360.00	\$1,867.20
Lyndon Southern Insurance Company	\$3.48	\$0.07
Markel American Insurance	\$175.61	\$3.51
Meridian Security Insurance Company	\$65.95	\$1.32
Merrimack Mutual Fire Insurance Company	\$12,889.00	\$257.78
Metropolitan Casualty Insurance Company	\$16,386.18	\$327.72
Metropolitan Direct Property & Casualty Insurance Company	\$951.40	\$19.03
Metropolitan General Insurance Company	\$17.10	\$0.34
Metropolitan Group Property & Casualty Insurance Company	\$10,075.85	\$201.52
Metropolitan Property & Casualty Insurance Company	\$3,855.64	\$77.11
MIC General Insurance Corporation	\$13,093.00	\$261.86
Mid-Century Insurance Company	\$158.29	\$3.17
Midvale Indemnity Company	\$2,136.97	\$42.74
Milbank Insurance Company	\$12,581.87	\$251.64
Monroe Guaranty Insurance Company	\$3,752.05	\$75.04
National Casualty Company	\$3,515.09	\$70.30
National General Assurance Co	\$644.94	\$12.90
National General Insurance Company	\$18,147.73	\$362.95
National Trust Insurance Company	\$14,664.00	\$293.28
National Union Fire Insurance Company of Pittsburgh, PA	\$1,048.00	\$20.96
Nationwide Affinity Insurance Company of America	\$5,720.33	\$114.41
Nationwide General Insurance Company	\$4,084.68	\$81.69
Nationwide Insurance Company of America	\$9,626.14	\$192.52
Nationwide Mutual Fire Insurance Company	\$9,684.82	\$193.70
Nationwide Mutual Insurance Company	\$735.58	\$14.71
Nationwide Property & Casualty Insurance Company	\$10.80	\$0.22
New York Marine & General Ins Co	\$28.25	\$0.57
North American Elite Insurance Company	\$95.20	\$1.90
North River Insurance Company	\$997.91	\$19.96
Northland Insurance Company	\$1,690.10	\$33.80
Occidental Fire & Casualty Company of NC	\$6,470.00	\$129.40
Ohio Security Insurance Company	\$33,187.55	\$663.75
Owners Insurance Company	\$4,391.15	\$87.82
Permanent General Assurance Corporation	\$197.01	\$3.94
Permanent General Assurance Corporation of Ohio	\$19.02	\$0.38
Philadelphia Indemnity Insurance Company	\$3,161.00	\$63.22
Total amount of fire tax collected for the year ended:		
Less service charge due at		
Less reissue fee due		
Outstanding uncashed distribution collections		
Net check amount - check no.		
	<b>Totals</b>	

Code	Page	Illinois Municipal League	Maywood
4172	3	500 East Capitol PO Box 5180 Springfield, Illinois 62705-5180	

Report covering Illinois State Fire Department Tax on Foreign Fire Insurance Companies

pursuant to 65ILCS 5/11-10-1, for the year ending July 1st 2020

THIS IS A CONSOLIDATED RETURN OF THOSE FIRE INSURANCE COMPANIES WHOSE NAME APPEAR BELOW FILING THEIR  
ACCOUNTS THROUGH THE ILLINOIS MUNICIPAL LEAGUE

Name of Insurance Company	Premium	Tax
Phoenix Insurance Company	\$765.40	\$15.31
Praetorian Insurance Company	\$1,270.79	\$25.42
Progressive Northern Insurance Company	\$287.80	\$5.76
Property & Casualty Insurance Company of Hartford	\$15,024.00	\$300.48
QBE Insurance Corporation	\$2,195.64	\$43.91
Regent Insurance Company	\$9,709.14	\$194.18
ROOT Insurance Company	\$542.00	\$10.84
Safe Auto Insurance Company	\$344.45	\$6.89
SECURA Supreme Insurance Company	\$251.94	\$5.04
Selective Insurance Company of South Carolina	\$4,297.00	\$85.94
Sentinel Insurance Company LTD	\$1,931.00	\$38.62
Sentry Select Insurance Company	\$1,278.95	\$25.58
Shelter General Insurance Company	\$19,244.89	\$384.90
Shelter Mutual Insurance Company	\$269.20	\$5.38
Society Insurance, A Mutual Company	\$2,665.60	\$53.31
Standard Fire Insurance Company	\$2,246.03	\$44.92
Standard Guaranty Insurance Company	\$104,664.94	\$2,093.30
StarNet Insurance Company	\$326.80	\$6.54
Starr Indemnity & Liability Company	\$1,500.00	\$30.00
State Auto Property & Casualty	\$1,994.25	\$39.89
State Automobile Mutual Ins Co	\$515.66	\$10.31
Toggle Insurance Company	\$40.90	\$0.82
TravCo Insurance Company	\$46,835.35	\$936.71
Travelers Casualty Insurance Company of America	\$13,506.17	\$270.12
Travelers Commercial Insurance Company	\$451.20	\$9.02
Travelers Home & Marine	\$41,034.10	\$820.68
Travelers Indemnity Company	\$2,407.08	\$48.14
Travelers Indemnity Company of America	\$20,351.80	\$407.04
Travelers Indemnity Company of Connecticut	\$6,470.46	\$129.41
Travelers Personal Insurance Company	\$7,130.00	\$142.60
Travelers Property & Casualty Company of America	\$7,077.04	\$141.54
Travelers Property Casualty Ins Co	\$1,679.00	\$33.58
Truck Insurance Exchange	\$2,216.29	\$44.33
Trumbull Insurance Company	\$6,810.00	\$136.20
Trustgard Insurance Company	\$1,001.60	\$20.03
Twin City Fire Insurance Company	\$1,606.00	\$32.12
United Services Automobile Association	\$19,836.13	\$396.72
United States Liability Insurance Company	\$20,212.00	\$404.24
Universal Property & Casualty Insurance Company	\$450.83	\$9.02
USAA Casualty Insurance Company	\$6,293.05	\$125.86
USAA General Indemnity Company	\$40,915.92	\$818.32
Valley Forge Insurance Company	\$1,603.35	\$32.07
Vanliner Insurance Company	\$81.60	\$1.63
Verlan Fire Insurance Company	\$73,345.00	\$1,466.90
Viking Insurance Company of Wisconsin	\$26.38	\$0.53
Wesco Insurance Company	\$489.95	\$9.80
West American Insurance Company	\$422.80	\$8.46
West Bend Mutual Insurance Company	\$43,577.99	\$871.56
Westfield Insurance Company	\$5,743.00	\$114.86
Westport Insurance Corporation	\$1.25	\$0.03
XL Specialty Insurance Company	\$360.00	\$7.20
Zurich American Insurance Company	\$2,543.25	\$50.87
<b>Total amount of fire tax collected for the year ended: 7/1/2020</b>	\$37,103.40	
Less service charge due at	\$1,855.17	5%
Less reissue fee due	\$0.00	
Outstanding uncashed distribution collections	\$0.00	
Net check amount - check no.	\$35,248.23	#36724
<b>59 Totals</b>	\$1,855,166.28	\$37,103.40

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Allied Waste Service

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoices for garbage service for the month of September 2020.

<u>Invoice</u>	<u>Date</u>	<u>Amount</u>
0551-014972054	09/30/2020	\$154,895.00
0551-015002737	10/31/2020	\$154,895.00

**RECOMMENDATION:** It is recommendation that the total payments of \$309,790.00 be approved for payment. The expense account to be charged: 41-55-574.00.



5050 W. Lake Street  
Melrose Park IL 60160-276666

**Customer Service** (708) 345-7050  
RepublicServices.com/Support

**Important Information**

With My Republic Services, you can easily pay your bill, schedule a pickup and more. Sign up today at RepublicServices.com/MyAccount

**Account Number** 3-0551-0010051  
**Invoice Number** 0551-014972054  
**Invoice Date** September 30, 2020  
**Previous Balance** \$619,580.00  
**Payments/Adjustments** -\$464,685.00  
**Current Invoice Charges** \$154,895.00

<b>Total Amount Due</b> <b>\$309,790.00</b>	<b>Payment Due Date</b> <b>Past Due</b>
--	--

**PAYMENTS/ADJUSTMENTS**

Description	Reference	Amount
Payment - Thank You 09/09	103148	-\$154,895.00
Payment - Thank You 09/24	103298	-\$154,895.00
Payment - Thank You 09/24	103298	-\$154,895.00

**CURRENT INVOICE CHARGES**

Description	Reference	Quantity	Unit Price	Amount
<b>Contract: 10051 Village Of Maywood (C4)</b>				
Disposal/Recycling 09/30		1.0000	\$41,525.00	\$41,525.00
Recycling Service 09/01-09/30		1.0000	\$15,300.00	\$15,300.00
Residential Service 09/01-09/30		1.0000	\$80,590.00	\$80,590.00
Yardwaste Service 09/01-09/30		1.0000	\$17,480.00	\$17,480.00

**CURRENT INVOICE CHARGES, Due by October 25, 2020**

**\$154,895.00**

Recommended To Be Paid

Dept. Head: Willie Noyler

Expense Acct: \_\_\_\_\_

Date: 11-13-20 PO # \_\_\_\_\_

Simple account access at your fingertips.

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<b>Past Due</b>	<b>30 Days</b> \$154,895.00	<b>60 Days</b> \$0.00	<b>90+ Days</b> \$0.00
-----------------	--------------------------------	--------------------------	---------------------------



5050 W. Lake Street  
Melrose Park IL 60160-276666

Please Return This  
Portion With Payment

**Total Enclosed**

Return Service Requested

**Total Amount Due** \$309,790.00  
**Payment Due Date** Past Due  
**Account Number** 3-0551-0010051  
**Invoice Number** 0551-014972054

For Billing Address Changes.  
Check Box and Complete Reverse.

Make Checks Payable To:



VILLAGE OF MAYWOOD  
ATTN: TANIKA  
40 MADISON ST  
MAYWOOD IL 60153-2323

REPUBLIC SERVICES #551  
PO BOX 9001154  
LOUISVILLE KY 40290-1154



5050 W. Lake Street  
 Melrose Park IL 60160-27666  
**Customer Service** (708) 345-7050  
 RepublicServices.com/Support

**Account Number** 3-0551-0010051  
**Invoice Number** 0551-015002737  
**Invoice Date** October 31, 2020  
**Past Due on 10/31/20** \$309,790.00  
**Payments/Adjustments** -\$154,895.00  
**Current Invoice Charges** \$154,895.00

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<b>Total Amount Due</b> \$309,790.00	<b>Payment Due Date</b> Past Due
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**PAYMENTS/ADJUSTMENTS**

Description	Reference	Amount
Payment - Thank You 10/16	103446	-\$154,895.00

**CURRENT INVOICE CHARGES**

Description	Reference	Quantity	Unit Price	Amount
<b>Contract: 10051 Village Of Maywood (C4)</b>				
Disposal/Recycling 10/31		1.0000	\$41,525.00	\$41,525.00
Recycling Service 10/01-10/31		1.0000	\$15,300.00	\$15,300.00
Residential Service 10/01-10/31		1.0000	\$80,590.00	\$80,590.00
Yardwaste Service 10/01-10/31		1.0000	\$17,480.00	\$17,480.00

**CURRENT INVOICE CHARGES, Due by November 25, 2020** \$154,895.00

**Recommended To Be Paid**

**Dept. Head:** *W. M. Mayfield*

**Expense Acct:** \_\_\_\_\_

**Date:** 11-24-20 **PO #** \_\_\_\_\_

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<b>Past Due</b>	<b>30 Days</b> \$154,895.00	<b>60 Days</b> \$0.00	<b>90+ Days</b> \$0.00
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5050 W. Lake Street  
 Melrose Park IL 60160-27666

Please Return This  
 Portion With Payment

**Total Enclosed**

Return Service Requested

VILLAGE OF MAYWOOD  
 ATTN: TANIKA  
 40 MADISON ST  
 MAYWOOD IL 60153-2323

**Total Amount Due** \$309,790.00  
**Payment Due Date** Past Due  
**Account Number** 3-0551-0010051  
**Invoice Number** 0551-015002737

For Billing Address Changes,  
 Check Box and Complete Reverse

Make Checks Payable To:

REPUBLIC SERVICES #551  
 PO BOX 9001154  
 LOUISVILLE KY 40290-1154

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, AT&T

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoice #708450447110 dated 10/25/2020 for phone service 9/26/2020-10/25/2020.

**RECOMMENDATION:** It is recommendation that the total payments of \$5,899.25 be approved for payment. The expense account to be charged: 01-19-55400.



VILLAGE OF MAYWOOD  
40 MADISON ST  
MAYWOOD, IL 60153-2323

Page 1 of 2  
Account Number 708 450-4471 095 7  
Billing Date Oct 25, 2020

Web Site **att.com**

Invoice Number 708450447110

# Monthly Statement

Sep 26 - Oct 25, 2020

## Bill-At-A-Glance

Previous Bill	16,989.83
Payment	.00
Adjustments	.00
Past Due - Please Pay Immediately	16,989.83
Current Charges	5,899.25
<b>Total Amount Due</b>	<b>\$22,889.08</b>
Current Charges Due in Full by	<b>Nov 19, 2020</b>

## Billing Summary

Online: [att.com/myatt](http://att.com/myatt)

<b>Plans and Services</b>	5,899.25
1-877-438-0041	
Repair Service:	
1-877-888-5622	
<b>Total of Current Charges</b>	<b>5,899.25</b>

**Recommended To Be Paid**

Dept. Head: Willie Noyles

Expense Acct: \_\_\_\_\_

Date: 11-29-20 PO # \_\_\_\_\_

## News You Can Use Summary

- PREVENT DISCONNECT
  - RATE INCREASE
  - FEE DESCRIPTIONS
  - CENTREX RATE CHANGE
  - CARRIER INFO
  - PAYMENT ARRANGEMENTS
  - PAPERLESS BILLING
  - COST ASSESSMENT CHR
- See "News You Can Use" for additional information.

## Plans and Services

### Monthly Service - Oct 25 thru Nov 24

Monthly Charges	5,072.12
Federal Access Charge	16.48
<b>Total Monthly Service</b>	<b>5,088.60</b>

### Additions and Changes to Service

(Computed from Service Date to Billing Date)

This section of your bill reflects charges and credits resulting from account activity.

Item	No.	Description	Quantity	USOC	Monthly Rate	Amount Billed
------	-----	-------------	----------	------	--------------	---------------

#### Main Line 708 450-4471

Date: Oct 25, 2020

#### Order Number R9046132361

Effective Oct 1, 2020, your Bill reflects an increase of \$1.66 in your Monthly Service charges. Charges are prorated from Oct 1, 2020 thru Oct 24, 2020

1. Monthly Service	1.33
Total Charges for Order Number R9046132361	1.33
Total Charges for Main Line 708 450-4471	1.33

#### Station 708 343-2121

Date: Oct 25, 2020

#### Order Number R9046132361

Effective Oct 1, 2020, your Bill reflects an increase of \$.28 in your Monthly Service charges. Charges are prorated from Oct 1, 2020 thru Oct 24, 2020

2. Monthly Service	.22
Total Charges for Order Number R9046132361	.22
Total Charges for Station 708 343-2121	.22
<b>Total Additions and Changes to Service</b>	<b>1.55</b>

### Surcharges and Other Fees

State Infrastructure Maintenance Fee	25.56
State Additional Charges	5.07
Federal Universal Service Fee	2.31
IL Universal Service Fee	93.00
IL Telecom Relay Svc and Eqp	.02
Cost Assessment Charge	18.69
<b>Total Surcharges and Other Fees</b>	<b>144.65</b>

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Blue Cross Blue Shield

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoice for health insurance premiums for the month of November 2020.

**RECOMMENDATION:** It is recommendation that the total payments of \$239,485.46 be approved for payment. The expense account to be charged: 41-55-57302.



**Blue Cross BlueShield of Illinois**

A Division of Health Care Service Corporation, a Mutual Legal Reserve Company,  
an Independent Licensee of the Blue Cross and Blue Shield Association.

Remittance Address:  
Blue Cross and Blue Shield of Illinois  
P. O. Box 650615  
Dallas, TX 75265-0615

6901 00881010202 9916071

For All Billing Inquiries Call:  
800-414-7147

Account:	769282 - VILLAGE OF MAYWOOD	0328
Profile:	0000258151 - ALL SUBSCRIBERS	
Bill Date:	10-15-2020	Payment Due Date: 11-01-2020
Bill Period:	11-01-2020 to 12-01-2020	
		Page 3

**BILL SUMMARY**

Previous Amount Billed

**\$574,883.98**

**Payments**

Check # 103224  
Check # 103409

**Adjustments**

COVID Relief Premium Credit  
COVID Relief Premium Credit

**Total Payments and Adjustments**

**(\$623,053.89)**

**Remaining Balance**

**(\$48,169.91)**

**Fees**

Current Charges  
Subscriber Fee Adjustments

287,548.68  
106.69

**Total Fees**

**\$287,655.37**

**Total Amount Due \***

**\$239,485.46**

\* Total Amount Due includes the effects of Health Insurer and Reinsurance fees (including but not limited to successor or alternate programs), if any, plus any federal and state taxes applicable to the fees for (BCBSIL) products/services. Allocated Taxes and Fees: \$5,754.18

In order to properly apply your payment and avoid possible disruption of service, please note the following instructions when remitting your payment:

If remitting by check, please use the payment coupon and envelope that is provided with your Bill.

If remitting electronically via wire, please indicate the following in the description field of the transmittal:

769282 0000258151 11-01

If sending your payment via overnight delivery service, please include the payment coupon and address to:

Blue Cross Blue Shield of Illinois  
Attention: 650615  
1501 North Plano Road, Suite 100  
Richardson, TX 75081

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Broadview Animal Hospital

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoices for impounded animals and other services for the Village of Maywood Code Enforcement Department.

<u>Invoice</u>	<u>Date</u>	<u>Amount</u>
06-20	06/30/2020	\$7,900.00
10-20	10/31/2020	\$5,140.00

**RECOMMENDATION:** It is recommendation that the total payments of \$13,040.00 be approved for payment. The expense account to be charged: 01-23-60300.

# BROADVIEW ANIMAL HOSPITAL

2128 S. 17<sup>TH</sup> AVENUE BROADVIEW, ILLINOIS 60155

PHONE (708)344-1909 FAX (708)344-1913

BROADVIEWVET@GMAIL.COM

## BILLING INVOICE

I.S. Gill, DVM

INVOICE ~~DATE~~ # 06-20

Attention: Code Enforcement  
Village of Maywood,  
Illinois, 60153

Ref.: Impounded animals and other service rendered for the month of: June, 2020

395 DOG DAYS @ \$20.00 PER DAY = 7900 -

\_\_\_\_\_ CAT DAYS @ \$14.00 PER DAY = \_\_\_\_\_

\_\_\_\_\_ EUTHANASIA AND/OR CREMATION @ \$ \_\_\_\_\_ PER ANIMAL = \_\_\_\_\_

\_\_\_\_\_ XYLAZINE BOTTLE(S) @ \$ \_\_\_\_\_ PER BOTTLE = \_\_\_\_\_

\_\_\_\_\_ KETAMINE BOTTLE(S) @ \$ \_\_\_\_\_ PER BOTTLE = \_\_\_\_\_

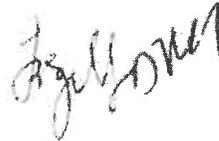
\_\_\_\_\_ RABIES OBSERVATION @ \$35 PER OBSERVATION = \_\_\_\_\_

\_\_\_\_\_ OTHER SERVICES \_\_\_\_\_

TOTAL \$ 7900.00

Please remit payment to Broadview Animal Hospital.

YOUR SINCERE,



DR. I. S. GILL

APPROVED TO BE PAID

DATE: 11/3/2020

DEPT HEAD: [Signature]

EXPENSE ACCT. 01-73-0000

PO#: \_\_\_\_\_

Apple

MAYWOOD ANIMAL CONTROL  
MONTHLY IMPOUNDMENT

Month JUNE Year 2020

DATE-IN	DATE-OUT	DAYS HELD	P.U. LOCATION	TRA	CC'S	DOG	CAT	SE	BREED/COLOR	OFFICER	DISPOSITION
6/01	6/25	25	5 <sup>TH</sup> /Lexington			X			Chihuahua	325	AWL
6/01	6/30	30	40 Madison			X			Terrier mix	307	AWL
6/01	6/25	25	1201 So. 16 <sup>TH</sup>			X			Pitbull	307	AWL
6/01	6/25	25	622 So. 16 <sup>TH</sup>			X			Pitbull		AWL
6/01	6/30	30	9 <sup>TH</sup> /Legion			X			Poodle mix	325	AWL
6/01	6/30	30	40 Madison			X			Terrier mix	307	AWL
6/01	6/25	25	1400 So. 20 <sup>TH</sup>			X			Pitbull	307	AWL
6/01	6/25	25	1400 So. 20 <sup>TH</sup>			X			Pitbull	307	AWL
6/01	6/5	05	8 <sup>TH</sup> /Harrison			X			Pitbull	324	OWNER
6/01	6/30	30	411 So. 3 <sup>RD</sup>			X			Yorkie	308	AWL
6/01	6/30	30	904 N. 2 <sup>ND</sup>			X			Pitbull	304	
6/01	6/30	30	235 S. 17 <sup>TH</sup>			X			Chihuahua	307	OWNER
6/03	6/5	03	211 So. 20 <sup>TH</sup>			X			Golden Retriever	307	OWNER
6/05	6/30	26	5 <sup>TH</sup> /Roosevelt			X			Pit Bull	Bradley	
6/18	6/30	13	1922 So. 12 <sup>TH</sup>			X			Pitbull	307	
6/17	6/30	14	1630 So. 17 <sup>TH</sup>			X			Pitbull	307	
6/21	6/23	3	1 <sup>ST</sup> /Lake St			X			Borderman	✓	OWNER
6/21	6/30	10	151 So. 20 <sup>TH</sup>			X			Pitbull		
6/23	6/30	8	1230 So. 19 <sup>TH</sup>			X			Staff <sup>Terrier</sup> <del>Terrier</del> <sup>Terrier</sup>	307	
6/27	6/30	4	2621 11 <sup>TH</sup> AVE			X			Male Chihuahua	16	OWNER
6/30	6/30	1	614 S. 6 <sup>TH</sup>			X			Pitbull	323/324	
6/30	6/30	1	614 S. 6 <sup>TH</sup>			X			Pitbull mixed	323/324	

5 ~~395~~ 395 dog days 7900

CREMATIONS: \_\_\_\_\_  
BITE EXAMS: \_\_\_\_\_

KETASET BOTTLES: \_\_\_\_\_  
RUMPUN BOTTLES: \_\_\_\_\_  
EUTHANASIA: \_\_\_\_\_

# BROADVIEW ANIMAL HOSPITAL

2128 S. 17<sup>TH</sup> AVENUE BROADVIEW, ILLINOIS 60155

PHONE (708)344-1909 FAX (708)344-1913

BROADVIEWVET@GMAIL.COM

## BILLING INVOICE

LS. Gill, DVM

INVOICE # ~~10-20~~ 10-20

Attention: Code Enforcement  
Village of Maywood,  
Illinois, 60153

Ref: Impounded animals and other service rendered for the month of: OCT., 2020

243 DOG DAYS @ \$20.00 PER DAY = 4860-

15 CAT DAYS @ \$14.00 PER DAY = 210-

EUTHANASIA AND/OR CREMATION @ \$ \_\_\_\_\_ PER ANIMAL= \_\_\_\_\_

XYLAZINE BOTTLE(S) @ \$ \_\_\_\_\_ PER BOTTLE= \_\_\_\_\_

KETAMINE BOTTLE(S) @ \$ \_\_\_\_\_ PER BOTTLE= \_\_\_\_\_

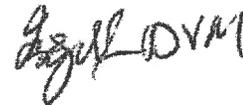
2 RABIES OBSERVATION @ \$35 PER OBSERVATION= 70-

OTHER SERVICES \_\_\_\_\_

TOTAL \$ 5140-

Please remit payment to Broadview Animal Hospital.

YOUR SINCERE,



DR. L. S. GILL

APPROVED TO BE PAID  
DATE: 11/3/2020  
DEPT HEAD: [Signature]  
EXPENSE ACCT. 01-23-2020  
PO#: \_\_\_\_\_

MAYWOOD ANIMAL CONTROL  
MONTHLY IMPOUNDMENT

Month OCT Year 2020

#	DATE-IN	DATE-OUT	DAYS HELD	P.U. LOCATION	TRA	CC'S DOG	CAT	SE	BREED/COLOR	OFFICER	DISPOSITION
1	10/01	10/31	31	228 So. 18 <sup>TH</sup>		X			Pitbull	307	Owner
2	10/01	10/31	31	228 So. 18 <sup>TH</sup>		X			Pitbull	307	owner
3	10/01	10/14	14	206 So. 20 <sup>TH</sup>		X			Yorkie mix	307	AWL
4	10/01	10/31	31	819 So. 14 <sup>TH</sup>		X			German Shepard <sup>MIX</sup>	307	Owner
5	10/01	10/14	14	1241 So. 13 <sup>TH</sup>			X		Cat	307	AWL
6	10/01	10/14	14	1501 So. 8 <sup>TH</sup>		X			Pitbull	307	AWL
7	10/01	10/26	26	1021 So. 10 <sup>TH</sup>		X			Pitbull	307	AWL
8	10/01	08/05	5	1400 So. 4		X			Poodle mix	307	Owner
9	10/01	10/31	31	614 So. 16 <sup>TH</sup>		X			Pitbull	307	
10	10/02	10/14	13	20 <sup>TH</sup> ST. Charles Rd		X			Chihuahua	307	AWL
11	10/05	10/06	2	1100 So. 2 <sup>ND</sup>		X			Rottweiler	307	owner
12	10/09	10/27	19	46 Madison ST.		X			Maltese	307	AWL
13	10/19	10/27	8	140 So. 16 <sup>TH</sup>		X			Husky	307	AWL
14	10/19	10/20	2	832 So. 11		X			Pitbull	307	owner
15	10/22	10/26	5	2125 So. 10 <sup>TH</sup>		X			Rottweiler	307	owner
16	10/22	10/28	6	1626 So. 15 <sup>TH</sup>		X			Terrier mix	307	AWL
17	10/26	10/27	2	509 So. 6 <sup>TH</sup>		X			Great Dane	307	AWL
18	11/01			2006 So. 9 <sup>TH</sup>		X			Pitbull	319	AWL

ivs 243 Dog days  
 vs 15 Cat days  
 4860  
 210  
 76  
 5000

CREMATIONS: \_\_\_\_\_  
 BITE EXAMS: 11

KETASET BOTTLES: \_\_\_\_\_  
 RUMPUN BOTTLES: \_\_\_\_\_  
 EUTHANASIA: \_\_\_\_\_

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, City of Chicago

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoices for water services from Sep 17, 2020 to Oct 16, 2020.

<u>Account</u>	<u>Date</u>	<u>Amount</u>
432532-432532	11/9/2020	\$141,719.91
432533-432533	11/9/2020	\$148,898.58

**RECOMMENDATION:** It is recommendation that the total payments of \$290,618.49 be approved for payment. The expense account to be charged: 41-55-57300.



City of Chicago  
 Department of Finance-Utility Billing  
 P.O. Box 6330  
 Chicago, Illinois 60680-6330



**WATER, SEWER, GARBAGE, TAX BILL**

Bill Date: Nov-09-2020

Customer: MAYWOOD VILLAGE COLLECTOR  
 Service Address: S 9TH AVE & W IOWA  
 Account Number: 432532-432532

**Recommended To Be Paid**

Dept.Head: William Naylor

Expense Acct: \_\_\_\_\_

Date: 11-24-20 PO # \_\_\_\_\_

**Your Total Service Cost: \$293,064.80**  
**To Avoid Penalties, Pay By: Nov-30-2020**

**Pay online:** [www.cityofchicago.org/finance](http://www.cityofchicago.org/finance)

**Pay by mail:** Send a check and the bottom portion of this page to the P.O. Box address listed at the top left corner

**Pay over the phone:** Call 312-744-4426

**Pay in person:** Visit Department of Finance Payment Centers or EZ Pay Stations

**Metered Account Bill Summary**

Bill Period: Sep-17-2020 - Oct-16-2020

Previous Balance	\$325,386.38
Adjustments	\$0.00
Payments	\$174,041.49
Current Water	\$139,567.72
Current Sewer	\$0.00
Current Penalty	\$2,152.19
<b>TOTAL DUE</b>	<b>\$293,064.80</b>

**Additional Information**

View your bills, sign up for paperless billing, enroll in a payment plan or AutoPay at: [www.cityofchicago.org/finance](http://www.cityofchicago.org/finance). Please see the back of this bill for more details.

Per the Municipal Code, water and sewer rates will be adjusted by Consumer Price Index to fund the continued upgrade of Chicago's water and sewer system. Effective June 1, 2020, rates will increase by 2.45%.

**Need a Payment Plan?  
 Have a Question? Call 312-744-4426**



City of Chicago  
 Department of Finance-Utility Billing  
 P.O. Box 6330  
 Chicago, Illinois 60680-6330

Account: 432532-432532      Due Date: Nov-30-2020      Total Due: \$293,064.80

**Important! Make checks payable to City of Chicago - Utility Billing. Be sure to include your account number on check and include bottom portion of this bill with payment.**

7011 1 AB 0.416 7011  
  
 MAYWOOD VILLAGE COLLECTOR  
 40 MADISON ST  
 MAYWOOD, IL 60153-2323

**Amount Enclosed: \$** \_\_\_\_\_



City of Chicago  
 Department of Finance-Utility Billing  
 P.O. Box 6330  
 Chicago, Illinois 60680-6330



**WATER, SEWER, GARBAGE, TAX BILL**

Bill Date: Nov-09-2020

Customer: MAYWOOD VILLAGE COLLECTOR  
 Service Address: S 9TH AVE & W IOWA  
 Account Number: 432533-432533

**Recommended To Be Paid**

Dept. Head: Willie Hooper

Expense Acct: \_\_\_\_\_

Date: 11-24-00 PO # \_\_\_\_\_

**Your Total Service Cost: \$307,343.32**

**To Avoid Penalties, Pay By: Nov-30-2020**

**Pay online:** [www.cityofchicago.org/finance](http://www.cityofchicago.org/finance)

**Pay by mail:** Send a check and the bottom portion of this page to the P.O. Box address listed at the top left corner

**Pay over the phone:** Call 312-744-4426

**Pay in person:** Visit Department of Finance Payment Centers or EZ Pay Stations

**Metered Account Bill Summary**

Bill Period: Sep-17-2020 - Oct-16-2020

Previous Balance	\$616,483.42
Adjustments	\$0.00
Payments	\$458,038.68
Current Water	\$143,192.46
Current Sewer	\$0.00
Current Penalty	\$5,706.12
<b>TOTAL DUE</b>	<b>\$307,343.32</b>

**Additional Information**

View your bills, sign up for paperless billing, enroll in a payment plan or AutoPay at: [www.cityofchicago.org/finance](http://www.cityofchicago.org/finance). Please see the back of this bill for more details.

Per the Municipal Code, water and sewer rates will be adjusted by Consumer Price Index to fund the continued upgrade of Chicago's water and sewer system. Effective June 1, 2020, rates will increase by 2.45%.

**Need a Payment Plan?**

**Have a Question? Call 312-744-4426**



City of Chicago  
 Department of Finance-Utility Billing  
 P.O. Box 6330  
 Chicago, Illinois 60680-6330

Account: 432533-432533      Due Date: Nov-30-2020      Total Due: \$307,343.32

Important! Make checks payable to City of Chicago - Utility Billing. Be sure to include your account number on check and include bottom portion of this bill with payment.

7017 1 AB 0.416 7017  
  
 MAYWOOD VILLAGE COLLECTOR  
 40 MADISON ST  
 MAYWOOD, IL 60153-2323

**Amount Enclosed: \$ \_\_\_\_\_**

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Hancock Engineering

**SPECIFIC ACTION REQUESTED:** Payment approval of the invoices for engineering services rendered for the Village of Maywood Public Works Department.

<u>Invoice</u>	<u>Amount</u>	<u>Description</u>
20-0876	\$19,468.00	2020 Green Infrastructure Alleys (MWRD)
20-0877	\$26,812.00	2020 Alley and Roadway Improvement
20-0798	\$16,028.00	2020 MFT Roadway/Resurfacing and Watermain Improvements

**RECOMMENDATION:** It is recommendation that the total payments of \$62,308.00 be approved for payment. The expense account to be charged: Various Accounts.



ENTERED  
11-18-20

November 9, 2020

President and Board of Trustees  
Village of Maywood  
40 Madison Street  
Maywood, Illinois 60153

Attention: Mr. Willie Norfleet, Jr., Village Manager

2020 Green Infrastructure Alleys (MWRD)  
EHE File Number: 565-19-24601

**ENGINEERING SERVICES RENDERED:** during the period ending 09/30/2020

Construction Engineering Services related to providing line and grade staking, daily records of contractor activities, and construction observation.

Engineer-VI	39.0 Hours	@	\$140.00	=	\$5,460.00
Engineer-II	136.0 Hours	@	103.00	=	<u>14,008.00</u>

Bill No. 9, Amount Requested \$19,468.00

cc: Ms. Lanya Satchell, Finance Director  
Ms. Tanika Skipper, Accounts Payable

Recap:	<u>Design</u>	<u>SBO</u>	<u>Construction</u>	<u>TOTAL</u>
Previous	\$68,500.00	\$2,450.00	\$2,140.00	\$73,090.00
Current	<u>0.00</u>	<u>0.00</u>	<u>19,468.00</u>	<u>19,468.00</u>
Total	\$68,500.00	\$2,450.00	\$21,608.00	\$92,558.00

RECOMMENDED TO BE PAID  
DATE: 11-17-20  
DEPT HEAD: Willie Norfleet  
EXPENSE ACCT: 1-50-52400  
PO#



ENTERED  
11-18-20

November 9, 2020

President and Board of Trustees  
Village of Maywood  
40 Madison Street  
Maywood, Illinois 60153

Attention: Mr. Willie Norfleet, Jr., Village Manager

2020 Alley and Roadway Improvement  
EHE File Number: 565-19-27401

**ENGINEERING SERVICES RENDERED:** during the period ending 09/30/2020

Engineering Service related to construction engineering, including line and grade staking, construction observation, project coordination, and resident notification.

Engineer-VI	50.0 Hours	@	\$140.00	=	\$7,000.00
Engineer-IV	144.5 Hours	@	120.00	=	17,340.00
Engineer-II	24.0 Hours	@	103.00	=	<u>2,472.00</u>

Bill No. 9, Amount Requested \$26,812.00

cc: Ms. Lanya Satchell, Finance Director  
Ms. Tanika Skipper, Accounts Payable

Recap:	<u>Design</u>	<u>Construction</u>	<u>TOTAL</u>
Previous	\$159,000.00	\$97,417.00	\$256,417.00
Current	<u>0.00</u>	<u>26,812.00</u>	<u>26,812.00</u>
Total	\$159,000.00	\$124,229.00	\$283,229.00

**RECOMMENDED TO BE PAID**  
**DATE:** 11-17-20  
**DEPT HEAD:** *Willie Norfleet*  
**EXPENSE ACCT:** 72-33-52408  
**PO#** \_\_\_\_\_

Invoice No. 20-0881



November 9, 2020

ENTERED  
11-18-20

President and Board of Trustees  
 Village of Maywood  
 40 Madison Street  
 Maywood, Illinois 60153

Attention: Mr. Willie Norfleet, Jr., Village Manager

2020 MFT Roadway/Resurfacing and Watermain Improvements

EHE File Number: 565-20-10301

**ENGINEERING SERVICES RENDERED:** during the period ending 09/30/2020

Engineering Service related to line and grade staking, construction layout and construction observation.

Engineer-VI	32.5 Hours	@	\$143.00	=	\$4,647.50
Engineer-IV	11.0 Hours	@	123.00	=	1,353.00
Engineer-II	95.5 Hours	@	105.00	=	<u>10,027.50</u>

<u>Bill No. 6, Amount Requested</u>	<u>\$16,028.00</u>
-------------------------------------	--------------------

cc: Ms. Lanya Satchell, Finance Director  
 Ms. Tanika Skipper, Accounts Payable

Recap:	<u>Design</u>	<u>SBO</u>	<u>Construction</u>	TOTAL
Previous	\$57,000.00	\$2,225.00	\$5,584.50	\$64,809.50
Current	<u>0.00</u>	<u>0.00</u>	<u>\$16,028.00</u>	<u>16,028.00</u>
Total	\$57,000.00	\$2,225.00	\$21,612.50	\$80,837.50

RECOMMENDED TO BE PAID

DATE: 11-17-20

DEPT HEAD: Willie Norfleet  
1-50-52400

EXPENSE ACCT: 1-50-52400

PO# \_\_\_\_\_

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Mark-It Striping, Inc.

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoice #220053 dated 08/04/2020 for various streets pavement markings for the Village of Maywood Public Works Department.

**RECOMMENDATION:** It is recommendation that the total payments of \$29,025.76 be approved for payment. The expense account to be charged: 01-50-52400.

# Mark-It Striping, Inc.

643 Parkwood Ave.  
Romeoville, IL 60446

Phone (815)407-1700 Fax (815)407-1702

Customer ID MAYWOOD

JOHN WEST  
MAYWOOD, VILLAGE OF  
40 MADISON STREET  
MAYWOOD, IL 60153

Phone (708)491-8842 Fax (708)450-4422  
ROAD STRIPING

**Invoice# 220053**

Date 08/04/2020 Page# 1

Job ID MAYWOOD20

2020 VARIOUS STREETS  
PAVEMENT MARKINGS  
IL

Description	Quantity	U/M	Price	Total
Thermoplastic 4"	16,634.00	LF	\$0.89	\$14,804.26
Thermoplastic 6"	3,405.00	LF	\$1.40	\$4,767.00
Thermoplastic 12"	1,646.00	LF	\$2.75	\$4,526.50
Thermoplastic 24"	849.00	LF	\$4.40	\$3,735.60
L/S Thermoplastic	271.00	SF	\$4.40	\$1,192.40

*429,025.76*

RECOMMENDED TO BE PAID
DATE: <u>11.16.20</u>
DEPT HEAD: <u>John West</u>
EXPENSE ACCT: <u>01-50-52400</u>
PO# _____

SECOND INVOICE

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Municipal Employee V.E.B.A. Trust

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoice #0664 dated 11/03/2020 for health and dental insurance premiums for the month of November 2020.

**RECOMMENDATION:** It is recommendation that the total payments of \$96,658.98 be approved for payment. The expense account to be charged: 01-19-58000.

MUNICIPAL EMPLOYEE V.E.B.A. TRUST

**Invoice**

770 North Church Road  
 Suite H  
 Elmhurst, Illinois 60126

Date	Invoice #
11/3/2020	0664

<b>Bill To</b>
Village of Maywood LaSondra Banks 40 Madison Street Maywood, IL 60153

P.O. No.	Terms	Project
DECEMBER 2020	1st of the Month	

Quantity	Description	Rate	Amount	
	ZIMMERMAN, DAN - PPO/E (retired) - DENTAL	47.59	47.59	
<table border="1"> <tr> <td> <p><b>RECOMMENDED TO BE PAID</b></p> <p>DATE: <u>11/13/20</u></p> <p>DEPT HEAD: <u>LaSondra Banks</u></p> <p>EXPENSE ACCT: <u>01-19-58000</u></p> <p>PO# _____</p> </td> </tr> </table>		<p><b>RECOMMENDED TO BE PAID</b></p> <p>DATE: <u>11/13/20</u></p> <p>DEPT HEAD: <u>LaSondra Banks</u></p> <p>EXPENSE ACCT: <u>01-19-58000</u></p> <p>PO# _____</p>		
<p><b>RECOMMENDED TO BE PAID</b></p> <p>DATE: <u>11/13/20</u></p> <p>DEPT HEAD: <u>LaSondra Banks</u></p> <p>EXPENSE ACCT: <u>01-19-58000</u></p> <p>PO# _____</p>				
		<b>Total</b>	\$96,658.98	

<b>Phone #</b>
630-832-6772

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, Triggi Construction

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoice #2009-04 dated 11/10/2020 the reference project which includes roadway and drainage improvements along 6<sup>th</sup> Avenue (Madison Street to Washington Blvd), School Street (6<sup>th</sup> Avenue to 5<sup>th</sup> Avenue), Warren Street (6<sup>th</sup> Avenue to 5<sup>th</sup> Avenue), Legion Street (East of Greenwood Avenue) and Wilcox (9<sup>th</sup> Avenue to 5<sup>th</sup> Avenue). The project also includes improvements to Alleys 101, 106, and 344.

The project to be constructed consists of the removal and replacement of curb and gutter, sidewalks, and driveway aprons; replacement or repair of defective drainage structures; replacement of deteriorated storm sewer and laterals and certain sections of combined sewer; excavation of the existing pavement; installation of an aggregate base course; installation of concrete alley and concrete street pavements; installation of permeable brick pavers and infiltration pits within alley pavements; reconstructing pavements with hot-mix asphalt binder and hot-mix asphalt surface courses, milling and resurfacing of hot-mix asphalt pavements, restoration of disturbed sections of the parkways and alley right of ways, and other related work.

The work represented on the pay estimate includes work performed between September 25, 2020 and November 6, 2020. Generally, the work performed within this period includes asphalt pavement resurfacing and placement of topsoil and sod. We have reviewed the work performed and have found the work represented by the quantities on this estimate satisfactorily completed to date. We have reviewed the current project quantities with representatives of Triggi Construction, Inc., and have found them to be accurate.

**RECOMMENDATION:** It is recommendation that the total payments of \$205,439.58 be approved for payment. The expense account to be charged: 72-33-82000.



Civil Engineers ♦ Municipal Consultants ♦ Established 1911

November 23, 2020

Mr. Willie Norfleet, Jr.  
Village Manager  
Village of Maywood  
40 Madison Street  
Maywood, Illinois 60153

**Recommended To Be Paid**

**Dept. Head:** Willie Norfleet

**Expense Acct:** 72-33-82000

**Date:** 11-24-20 **PO #** \_\_\_\_\_

Re: 2020 Alley and Roadway Improvements Project  
Pay Estimate No. 4

Dear Mr. Norfleet:

Triggi Construction, Inc. of West Chicago has continued their work on the referenced project. The project includes roadway and drainage improvements along 6<sup>th</sup> Avenue (Madison Street to Washington Blvd.), School Street (6<sup>th</sup> Avenue to 5<sup>th</sup> Avenue), Warren Street (6<sup>th</sup> Avenue to 5<sup>th</sup> Avenue), Legion Street (East of Greenwood Avenue), and Wilcox (9<sup>th</sup> Avenue to 5<sup>th</sup> Avenue). The project also includes improvements to Alleys 101, 106, and 344.

The project to be constructed consists of the removal and replacement of curb and gutter, sidewalks, and driveway aprons; replacement or repair of defective drainage structures; replacement of deteriorated storm sewer laterals and certain sections of combined sewer; excavation of the existing pavement; installation of an aggregate base course; installation of concrete alley and concrete street pavements; installation of permeable brick pavers and infiltration pits within alley pavements; reconstructing pavements with hot-mix asphalt binder and hot-mix asphalt surface courses, milling and resurfacing of hot-mix asphalt pavements, restoration of disturbed sections of the parkways and alley right of ways, and other related work.

The work represented on this pay estimate includes work performed between September 25, 2020 and November 6, 2020. Generally, the work performed within this period includes asphalt pavement resurfacing and placement of topsoil and sod. We have reviewed the work performed and have found the work represented by the quantities on this estimate satisfactorily completed to date. We have reviewed the current project quantities with representatives of Triggi Construction, Inc., and have found them to be accurate.

We therefore recommend that the Village of Maywood approve the payment of the Contractor's Invoice No. 2009-04 in the amount of \$205,439.58. We have attached the Contractor's Affidavit and Waivers of Lien for this Pay Estimate No. 4. The project is being funded through the Madison Street TIF.

If you should have any questions, please call our office at your convenience.

William Peterhansen, P.E., CFM

cc: Mr. John West, Director of Public Works  
Triggi Construction, Inc., P.O. Box 235, 1975 Powis Road, West Chicago, IL 60186-0235

Enclosures

2020 Alley and Roadway Improvements  
 Owner: Village of Maywood  
 Contractor: Triggs Construction, Inc.  
 Engineer: Hancock Engineering Co.  
 Engineer's Pay Estimate No. 4  
 Date: November 6, 2020

No.	Item	Unit	AWARDED		QUANTITY			Unit Price	Amount
			Quantity	Value	Overage	Remaining	Completed		
1	Earth Excavation	CuYd	1,300	58,500.00	-	130	1,170	45.00	52,650.00
2	Earth Excavation (Special)	CuYd	700	31,500.00	-	487	213	45.00	9,585.00
3	Undercut Excavation	CuYd	300	7,500.00	-	300	-	25.00	-
4	Porous Granular Embankment, 3"	CuYd	300	7,500.00	-	300	-	25.00	-
5	Infiltration Pit	CuYd	55	5,500.00	-	19	36	100.00	3,600.00
6	Exploratory Excavation	Hour	10	10.00	-	10	-	1.00	-
7	Removal and Disposal of Regulated Substances	CuYd	1,100	1,100.00	-	1,000	100	1.00	100.00
8	Comb Curb & Gutter Removal	Foot	7,400	40,700.00	218	0	7,618	5.50	41,899.00
9	Sidewalk Removal	SqFt	18,500	27,750.00	5,696	0	24,196	1.50	36,294.00
10	Driveway Pavement Removal	SqYd	1,400	14,000.00	-	179	1,221	10.00	12,210.00
11	Pavement Removal	SqYd	3,200	48,000.00	309	0	3,509	15.00	52,635.00
12	Pavement Removal (Streets)	SqYd	1,500	22,500.00	-	916	584	15.00	8,760.00
13	Pavement Removal (Wilcox)	SqYd	3,700	92,500.00	-	152	3,548	25.00	88,700.00
14	Pavement Removal Parking	SqYd	600	9,000.00	-	28	572	15.00	8,580.00
15	Hot-Mix Asphalt Surface Removal (Variable Depth)	SqYd	6,200	31,000.00	716	0	6,916	5.00	34,580.00
16	Incidental HMA Surface Removal	SqYd	1,500	11,250.00	-	1,133	367	7.50	2,752.50
17	HMA Surface Removal - Butt Joint	SqYd	350	5,250.00	200	0	550	15.00	8,250.00
18	10" Dia. PVC Combined Sewer Pipe Replacement	Foot	70	28,000.00	23	0	93	400.00	37,200.00
19	12" Dia. PVC Combined Sewer Pipe Replacement	Foot	63	1,575.00	30	0	93	25.00	2,325.00
20	Additional 10" Dia. PVC Combined Sewer Pipe Replacement	Foot	24	24.00	-	16	8	1.00	8.00
21	Additional 12" Dia. PVC Combined Sewer Pipe Replacement	Foot	24	24.00	-	22	2	1.00	2.00
22	6" Dia. PVC Sanitary Sewer Service Pipe	Foot	50	50.00	-	50	-	1.00	-
23	Sanitary Service Connection	Each	8	2,000.00	-	5	3	250.00	750.00
24	10" Dia. PVC Storm Sewer Pipe	Foot	1,200	48,000.00	194	0	1,394	40.00	55,760.00
25	Trench Backfill	CuYd	600	600.00	-	150	450	1.00	450.00
26	Ty "C" CB, 2' Dia, Type 1 Frame, Open Lid	Each	1	3,000.00	2	0	3	3,000.00	9,000.00
27	Restricted Depth CB, 4' Dia, Ty 1 Frame, Open Lid	Each	22	99,500.00	7	0	29	4,250.00	123,250.00
28	10"x4" Catch Basin Trap & Restrictor	Each	1	575.00	-	0	1	575.00	575.00
29	Restricted Depth San MH, 4' Dia, Ty1 Frame, CLid	Each	3	21,000.00	-	0	3	7,000.00	21,000.00
30	Restricted Depth Storm MH, 4' Dia, Ty1 Frame, CLid	Each	4	28,000.00	4	0	8	7,000.00	56,000.00
31	Connection to Existing Structure	Each	10	2,500.00	-	8	2	250.00	500.00
32	Connection to Existing Storm Sewer	Each	1	5,500.00	-	0	1	5,500.00	5,500.00
33	Frames & Lids to be Adjusted	Each	50	23,750.00	-	28	22	475.00	10,450.00
34	Structure to be Reconstructed	Each	12	22,200.00	1	0	13	1,850.00	24,050.00
35	Frames & Lids	Each	40	10,000.00	-	17	23	250.00	5,750.00
36	Structure to be Removed	Each	21	1,050.00	30	0	51	50.00	2,550.00
37	Structure to be Abandoned	Each	7	350.00	-	7	-	50.00	-
38	Water Service Boxes & Valve Boxes to be Adjusted	Each	10	2,500.00	-	1	9	250.00	2,250.00
39	Fire Hydrant and Water Valve to be Replaced	Each	2	19,500.00	-	0	2	9,750.00	19,500.00
40	Comb Conc C&G, Ty B-6.12 (Modified)	Foot	7,200	144,000.00	38	0	7,238	20.00	144,760.00
41	Concrete Curb, Ty B	Foot	500	12,500.00	-	70	430	25.00	10,750.00
42	PCC Sidewalk, 5"	SqFt	18,500	120,250.00	5,568	0	24,068	6.50	156,442.00
43	Detectable Warnings	SqFt	700	17,500.00	10	0	710	25.00	17,750.00
44	PCC Driveway Pavement, 7"	SqYd	1,400	70,000.00	-	180	1,220	50.00	61,000.00
45	PCC Driveway Pavement, 8"	SqYd	600	33,000.00	-	468	132	55.00	7,260.00
46	PCC Pavement, 8" (Jointed)	SqYd	4,300	215,000.00	-	168	4,132	50.00	206,600.00
47	PCC Alley Pavement, 8"	SqYd	1,100	55,000.00	-	169	931	50.00	46,550.00
48	Edge Grade Adjustment	Foot	80	800.00	-	8	72	10.00	720.00
49	White Wax Compound	SqYd	10,000	1,000.00	-	10,000	-	0.10	-
50	PCC Base Course, 8"	SqYd	1,900	76,000.00	823	0	2,723	40.00	108,920.00
51	Deformed Tie Bars	Each	1,600	8,000.00	-	1,174	426	5.00	2,130.00
52	Permeable Brick Pavers	SqFt	400	10,000.00	-	98	302	25.00	7,550.00
53	Remove and Reset Existing Brick Pavers	SqFt	300	7,500.00	-	282	18	25.00	450.00
54	Incidental Hot-Mix Asphalt Surfacing	SqYd	2,750	68,750.00	-	2,005	745	25.00	18,625.00
55	Geogrid for Ground Stabilization	SqYd	6,100	12,200.00	-	999	5,101	2.00	10,202.00
56	Aggregate Base Course, Type B, 6"	SqYd	6,100	45,750.00	-	999	5,101	7.50	38,257.50
57	Aggregate Base Course, Type B, 8"	SqYd	2,500	25,000.00	-	1,830	670	10.00	6,700.00
58	Bituminous Materials (Tack Coat) 55-1	Gal	6,200	620.00	-	5,120	1,080	0.10	108.00
59	HMA Binder Course, IL 19.0, N50 (Reconstruction) 4"	Ton	225	22,500.00	-	225	-	100.00	-
60	HMA Leveling Binder (Machine Method)	Ton	400	38,000.00	75	0	475	95.00	45,125.00
61	HMA Binder Course, IL 19.0, N50 (Parking Pavement) 3"	Ton	120	14,400.00	-	0	120	120.00	14,400.00
62	HMA Surface Course, Mlx 'D', N50	Ton	975	82,875.00	-	125	850	85.00	72,250.00
63	Topsoil Placement 3"	SqYd	5,200	5,200.00	-	2,406	2,794	1.00	2,794.00
64	Sodding	SqYd	5,200	72,800.00	-	2,406	2,794	14.00	39,116.00
65	Supplemental Watering	Unit	25	25.00	-	25	-	1.00	-
66	Inlet Filters	Each	53	2,650.00	-	31	22	50.00	1,100.00
67	Sign Panel - Type 1	SqFt	175	9,375.00	-	175	-	22.50	-
68	Telescoping Steel Sign Support	Foot	375	4,687.50	-	375	-	12.50	-
69	Thermoplastic Pavement Marking - Line 4"	Foot	900	1,350.00	-	900	-	1.50	-
70	Thermoplastic Pavement Marking - Line 6"	Foot	1,400	3,150.00	-	1,400	-	2.25	-
71	Thermoplastic Pavement Marking - Line 24"	Foot	900	2,700.00	-	300	-	9.00	-
72	Polyurea Pavement Marking Type 1 - Line 6"	Foot	475	2,375.00	-	475	-	5.00	-
73	Polyurea Pavement Marking Type 1 - Line 24"	Foot	200	4,000.00	-	200	-	20.00	-
74	Construction Videotaping	Unit	6	3,000.00	-	3	3	500.00	1,500.00
75	Traffic Control & Protection	LS	1	83,500.00	-	0	0.95	83,500.00	79,325.00
76	Longitudinal Joint Sealant	Foot	0	0.00	1,459	0	1,459	5.00	7,295.00

Total \$1,997,278.00 \$ 1,845,055.00  
 Retainer (10%) \$ 184,505.50  
 Less Previous Pay Estimates \$ 1,455,109.92  
 Total Amount Due, Estimate No. 4 \$ 205,439.58

**WAIVER OF LIEN TO DATE**

STATE OF ILLINOIS  
COUNTY OF COOK

} SS

Gty # \_\_\_\_\_

Escrow # \_\_\_\_\_

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by VILLAGE OF MAYWOOD  
to furnish LABOR AND MATERIALS  
for the premises known as MAYWOOD - 2020 ALLEY & ROADWAY IMPROVEMENTS  
of which VILLAGE OF MAYWOOD is the owner.

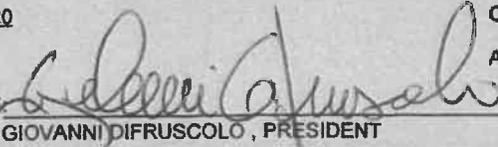
THE undersigned, for and in consideration of Two Hundred Five Thousand Four Hundred Thirty Nine and 58/100 Dollars  
(\$205,439.58) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged, do(es) hereby waive and  
release any and all lien or claim of, or right to, lien, under the statutes of the State of ILLINOIS, relating to mechanics' liens, with respect  
to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the  
moneys, funds or other considerations due or to become due from the owner, on account of all labor, services, material, fixtures, apparatus or machinery,  
furnished to this date by the undersigned for the above-described premises, INCLUDING EXTRAS.\*

DATE November 10, 2020

COMPANY NAME Triggi Construction, Inc.

ADDRESS P O Box 235, 1975 Powis Road, West Chicago, IL 60186-0235

SIGNATURE AND TITLE

  
GIOVANNI DIFRUSCOLO, PRESIDENT

\*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT.

**CONTRACTOR'S AFFIDAVIT**

STATE OF ILLINOIS  
COUNTY OF COOK

} SS

TO WHOM IT MAY CONCERN:

THE UNDERSIGNED, (NAME) GIOVANNI DIFRUSCOLO BEING DULY SWORN, DEPOSES  
AND SAYS THAT HE OR SHE IS (POSITION) PRESIDENT OF  
(COMPANY NAME) Triggi Construction, Inc. WHO IS THE  
CONTRACTOR FURNISHING LABOR AND MATERIALS WORK ON THE BUILDING  
LOCATED AT VARIOUS LOCATIONS, MAYWOOD, IL 60153  
OWNED BY VILLAGE OF MAYWOOD

That the total amount of the contract including extras\* is \$1,997,278.00 on which he or she has received payment of \$1,455,109.92 prior to this  
payment. That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the validity  
of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said work and all parties  
having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof and the amount due or to become  
due to each, and that the items mentioned include all labor and material required to complete said work according to plans and specifications:

NAMES AND ADDRESSES	WHAT FOR	CONTRACT PRICE INCLDG EXTRAS*	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
TRIGGI CONSTRUCTION, INC. P.O. BOX 235 WEST CHICAGO, IL 60186-0235	REPLACEMENT- CONCRETE	934,870.75	874,795.62	4,869.79	55,205.34
LINDAHL BROTHERS, INC. 622 E GREEN STREET BENSENVILLE, IL 60106-2579	ASPHALT PAVING/MILL	267,614.50	0.00	152,252.39	115,362.11
LPS PAVEMENT COMPANY, INC. 67 STONEHILL ROAD OSWEGO, IL 60543	BRICK PAVERS	6,000.00	5,400.00	0.00	600.00
PRECISION PAVEMENT MARKINGS, INC. 1220 BELL COURT PINGREE GROVE, IL 60140	PAVT. MARKINGS	11,780.75	0.00	0.00	11,780.75
ROY ERIKSON OUTDOOR MAINTENANCE 4430 137TH PLACE CRESTWOOD, IL 60418	LANDSCAPING	72,825.00	0.00	35,204.40	37,620.60
SMITH MAINTENANCE COMPANY 2221 W WALNUT STREET CHICAGO, IL 60612	TRAFFIC CONT & PROT	25,975.00	14,580.00	810.00	10,585.00
SUBURBAN GENERAL CONSTRUCTION, INC. 1019 E 31ST STREET LAGRANGE PARK, IL 60526	STORM SEWER	364,712.00	328,240.80	0.00	36,471.20
PRAIRIE MATERIAL 5185 PAYSHPERE CIRCLE CHICAGO, IL 60674	READY MIX CONCRETE	313,500.00	232,093.50	12,303.00	69,103.50

**CONTRACTOR'S AFFIDAVIT**

STATE OF ILLINOIS  
COUNTY OF COOK

} SS

TO WHOM IT MAY CONCERN:

THE UNDERSIGNED, (NAME) GIOVANNI DIFRUSCOLO BEING DULY SWORN, DEPOSES  
AND SAYS THAT HE OR SHE IS (POSITION) PRESIDENT OF  
(COMPANY NAME) Triggi Construction, Inc. WHO IS THE  
CONTRACTOR FURNISHING LABOR AND MATERIALS WORK ON THE BUILDING  
LOCATED AT VARIOUS LOCATIONS, MAYWOOD, IL 60153  
OWNED BY VILLAGE OF MAYWOOD

That the total amount of the contract including extras\* is \$1,997,278.00 on which he or she has received payment of \$1,455,109.92 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the validity of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor and material required to complete said work according to plans and specifications:

NAMES AND ADDRESSES	WHAT FOR	CONTRACT PRICE INCLDG EXTRAS*	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
TOTAL LABOR AND MATERIAL INCLUDING EXTRAS* TO COMPLETE.		1,997,278.00	1,455,109.92	205,439.58	336,728.50

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated.

DATE November 10th, 2020

SIGNATURE

Giovanni Difruscolo  
GIOVANNI DIFRUSCOLO, PRESIDENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 10th DAY OF NOVEMBER, 2020

\*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE

ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT.

NOTARY PUBLIC



# Triggi Construction, Inc.

P O Box 235  
 1975 Powis Road  
 West Chicago, IL 60186-0235

Phone (630)584-4490 Fax (630)584-0271

Customer ID 27

VILLAGE OF MAYWOOD  
 40 MADISON STREET  
 MAYWOOD, IL 60153

Phone (708)344-1200  
 PAY ESTIMATE FOUR

**Invoice # 2009-04**

Date 11/10/2020 Page # 1

Job ID 2009

MAYWOOD - 2020 ALLEY &  
 ROADWAY  
 VARIOUS LOCATIONS  
 MAYWOOD, IL 60153

Phase ID	Description	Job to Date Quantity	U/M	Price	Job to Date Total
9901	EARTH EXCAVATION	1,170.00	CY	\$45.00	\$52,650.00
9902	EARTH EXCAVATION SPL	213.00	CY	\$45.00	\$9,585.00
9903	UNDERCUT EXCAVATION				
9904	POROUS GRAN EMBANK 3"				
9905	INFILTRATION PIT	36.00	CY	\$100.00	\$3,600.00
9906	EXPLORATORY EXCAVATION				
9907	REM & DISP REG SUBSTANCES	100.00	CY	\$1.00	\$100.00
9908	CURB AND GUTTER REMOVAL	7,618.00	FT	\$5.50	\$41,899.00
9909	SIDEWALK REMOVAL	24,136.00	SF	\$1.50	\$36,204.00
9910	DRIVEWAY PAVT REMOVAL	1,221.00	SY	\$10.00	\$12,210.00
9911	PAVEMENT REMOVAL	3,509.00	SY	\$15.00	\$52,635.00
9912	PAVT REMOVAL - STREETS	584.00	SY	\$15.00	\$8,760.00
9913	PAVT REMOVAL - WILCOX	3,548.00	SY	\$25.00	\$88,700.00
9914	PAVT REMOVAL - PARKING	572.00	SY	\$15.00	\$8,580.00
9915	HMA SURFACE REMOVAL VD	6,916.00	SY	\$5.00	\$34,580.00
9916	INCIDENTAL HMA SURFACE REM	367.00	SY	\$7.50	\$2,752.50
9917	HMA SURFACE REM - BUTT JT	550.00	SY	\$15.00	\$8,250.00
9918	10" PVC COMB SEWER REPL	93.00	FT	\$400.00	\$37,200.00
9919	12" PVC COMB SEWER REPL	93.00	FT	\$25.00	\$2,325.00
9920	ADDL 10" PVC COMB SEWER REPL	8.00	FT	\$1.00	\$8.00
9921	ADDL 12" PVC COMB SEWER REPL	2.00	FT	\$1.00	\$2.00
9922	6" PVC SANITARY SERVICE				

Continued

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**Invoice # 2009-04**

Date 11/10/2020 Page # 2

Job ID 2009

MAYWOOD - 2020 ALLEY &  
 ROADWAY  
 VARIOUS LOCATIONS  
 MAYWOOD, IL 60153

Phase ID	Description	Job to Date Quantity	U/M	Price	Job to Date Total
9923	SANITARY SERVICE CONNECT	3.00	EA	\$250.00	\$750.00
9924	10" PVC STORM SEWER	1,394.00	FT	\$40.00	\$55,760.00
9925	TRENCH BACKFILL	450.00	CY	\$1.00	\$450.00
9926	TY C CATCH BASIN 2' T1 FR OL	3.00	EA	\$3,000.00	\$9,000.00
9927	R-D CATCH BASIN 4' T1 FR OL	29.00	EA	\$4,250.00	\$123,250.00
9928	10" X 4" CB TRAP & RESTRICTOR	1.00	EA	\$575.00	\$575.00
9929	R-D SAN MANHOLE 4' T1 FR CL	3.00	EA	\$7,000.00	\$21,000.00
9930	R-D STORM MANHOLE 4' T1 FR CL	8.00	EA	\$7,000.00	\$56,000.00
9931	CONNECT TO EXIST STRUCTURE	2.00	EA	\$250.00	\$500.00
9932	CONNECT TO EXIST SEWER	1.00	EA	\$5,500.00	\$5,500.00
9933	FRAME AND LID ADJUSTED	22.00	EA	\$475.00	\$10,450.00
9934	STRUCTURE RECONSTRUCTED	13.00	EA	\$1,850.00	\$24,050.00
9935	FRAME AND LID	23.00	EA	\$250.00	\$5,750.00
9936	STRUCTURE REMOVED	51.00	EA	\$50.00	\$2,550.00
9937	STRUCTURE ABANDONED				
9938	WATER / VALVE BOX ADJUST	9.00	EA	\$250.00	\$2,250.00
9939	FIRE HYDRANT & VALVE REPL	2.00	EA	\$9,750.00	\$19,500.00
9940	CURB AND GUTTER B6.12 MOD	7,238.00	FT	\$20.00	\$144,760.00
9941	CONCRETE CURB TY B	430.00	FT	\$25.00	\$10,750.00
9942	PCC SIDEWALK 5"	24,068.00	SF	\$6.50	\$156,442.00
9943	DETECTABLE WARNINGS	710.00	SF	\$25.00	\$17,750.00
9944	PCC DRIVEWAY PAVT 7"	1,220.00	SY	\$50.00	\$61,000.00
9945	PCC DRIVEWAY PAVT 8"	132.00	SY	\$55.00	\$7,260.00
9946	PCC PAVEMENT 8" JOINTED	4,132.00	SY	\$50.00	\$206,600.00

Continued

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 PAY ESTIMATE FOUR

**Invoice # 2009-04**

Date 11/10/2020 Page # 3

Job ID 2009

MAYWOOD - 2020 ALLEY &  
 ROADWAY  
 VARIOUS LOCATIONS  
 MAYWOOD, IL 60153

Phase ID	Description	Job to Date Quantity	U/M	Price	Job to Date Total
9947	PCC ALLEY PAVEMENT 8"	931.00	SY	\$50.00	\$46,550.00
9948	EDGE GRADE ADJUSTMENT	72.00	FT	\$10.00	\$720.00
9949	WHITE WAX COMPOUND				
9950	PCC BASE CSE 8"	2,723.00	SY	\$40.00	\$108,920.00
9951	DEFORMED TIE BARS	426.00	EA	\$5.00	\$2,130.00
9952	PERMEABLE BRICK PAVERS	302.00	SF	\$25.00	\$7,550.00
9953	REM & RESET BRICK PAVERS	18.00	SF	\$25.00	\$450.00
9954	INCIDENTAL HMA SURFACING	745.00	SY	\$25.00	\$18,625.00
9955	GEOGRID F/ GR STAB	5,101.00	SY	\$2.00	\$10,202.00
9956	AGGREGATE BASE CSE TY B 6"	5,101.00	SY	\$7.50	\$38,257.50
9957	AGGREGATE BASE CSE TY B 9"	670.00	SY	\$10.00	\$6,700.00
9958	BIT MATLS TACK COAT SS-1	1,080.00	GL	\$0.10	\$108.00
9959	HMA BINDER 19.0 N50 RECONST 4"				
9960	HMA LEVEL BINDER MM	475.00	TN	\$95.00	\$45,125.00
9961	HMA BINDER 19.0 N50 PARKING 3"	120.00	TN	\$120.00	\$14,400.00
9962	HMA SURFACE CSE MIX D N50	850.00	TN	\$85.00	\$72,250.00
9963	TOPSOIL PLACEMENT 3"	2,794.00	SY	\$1.00	\$2,794.00
9964	SODDING	2,794.00	SY	\$14.00	\$39,116.00
9965	SUPPLE WATERING				
9966	INLET FILTERS	22.00	EA	\$50.00	\$1,100.00
9967	SIGN PANEL TY 1				
9968	TELES STEEL SIGN SUPPORT				
9969	THPL PAVT MK LINE 4"				

Continued

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VILLAGE OF MAYWOOD  
 40 MADISON STREET  
 MAYWOOD, IL 60153

Phone (708)344-1200  
 PAY ESTIMATE FOUR

**Invoice # 2009-04**

Date 11/10/2020 Page # 4

Job ID 2009

MAYWOOD - 2020 ALLEY &  
 ROADWAY  
 VARIOUS LOCATIONS  
 MAYWOOD, IL 60153

Phase ID	Description	Job to Date Quantity	U/M	Price	Job to Date Total
9970	THPL PAVT MK LINE 6"				
9971	THPL PAVT MK LINE 24"				
9972	POLYUREA PAVT MK T1 LINE 6"				
9973	POYUREA PAVT MK T1 LINE 24"				
9974	CONST VIDEOTAPING	3.00	UN	\$500.00	\$1,500.00
9975	TRAFFIC CONTROL & PROTECT	0.95	LS	\$83,500.00	\$79,325.00
9976	LONGITUDINAL JOINT SEALANT	1,459.00	FT	\$5.00	\$7,295.00
9990	RESERVED				

Original Contract	1,997,278.00	Work Completed to Date	1,845,055.00
Approved Change Orders	0.00	Less Retentions	184,505.50
Current Contract	1,997,278.00	Net Completed to Date	1,660,549.50
		Less Net Previously Billed	1,455,109.92
Balance to Complete	152,223.00	<b>Net Due This Invoice</b>	<b>205,439.58</b>

TERMS: NET DUE 11/10/2020.



20 N. Wacker Drive, Ste 1660  
Chicago, Illinois 60606-2903  
T 312 984 6400 F 312 984 6444

15010 S. Ravinia Avenue, Ste 10  
Orland Park, Illinois 60462-5353  
T 708 349 3888 F 708 349 1506

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mtjurusik@ktjlaw.com  
DD 312-984-6432

**MEMORANDUM**

**TO: Mayor Edwenna Perkins and Board of Trustees, Village of Maywood**  
**FROM: Michael T. Jurusik**  
**DATE: November 24, 2020**  
**RE: Madison Street / 5th Avenue Tax Increment Financing Redevelopment Project Area Fund**  
**Awning Façade Improvements by Global Estates, LLC at 840 South 17th Avenue, Maywood, Illinois**

Per the preliminary approval vote at the November 17, 2020 Village Board Meeting, I have enclosed the following document for your review, consideration and action at an upcoming Village Board Meeting:

AN ORDINANCE AUTHORIZING CERTAIN EXPENDITURES FROM THE MADISON STREET / 5TH AVENUE TAX INCREMENT FINANCING REDEVELOPMENT PROJECT AREA FUND TO PAY FOR THE VILLAGE’S SHARE OF A FAÇADE IMPROVEMENT PROJECT (Awning Façade Improvements by Global Estates, LLC at 840 South 17th Avenue, Maywood, Illinois)

Global Estates, LLC filed an application with the Village of Maywood (“Village”) for reimbursement of the Village’s fifty percent (50%) share of the Façade Improvements to the existing building located at 840 South 17th Avenue, Maywood, Illinois. The Project Improvements consist of the replacement of exterior awnings on the front of the existing building. The Total Project Costs equal \$3,000.00. The Village’s share of the Project Costs equals \$1,500.00. These Project Improvements and Costs are eligible for reimbursement under both the Village’s Façade Improvement Program and the Madison Street / 5th Avenue Tax Increment Financing Redevelopment Project Area Fund.

If there are any questions, please contact me.

*Mike*

Enclosure

- cc. Viola Mims, Village Clerk (w/ encl.)
- Willie Norfleet, Jr., Village Manager (w/ encl.)
- David Myers, Director of Community Development (w/ encl.)
- Lanya Satchell, Finance Director (w/ encl.)
- Angela Smith, Coordinator of Business Development (w/ encl.)

**AN ORDINANCE AUTHORIZING CERTAIN EXPENDITURES  
FROM THE MADISON STREET / 5TH AVENUE TAX INCREMENT FINANCING  
REDEVELOPMENT PROJECT AREA FUND TO PAY FOR  
THE VILLAGE'S SHARE OF A FAÇADE IMPROVEMENT PROJECT**

**(Awning Façade Improvements by Global Estates, LLC  
at 840 South 17th Avenue, Maywood, Illinois)**

**WHEREAS**, the President and Board of Trustees (the "Corporate Authorities") of the Village of Maywood, Cook County, Illinois (the "Village"), in an effort to revitalize the Village's local economy and provide for the comprehensive and coordinated development of an underutilized and blighted area within the Village, have adopted a redevelopment plan and project, designated a redevelopment project area, and adopted the use of tax increment financing ("TIF") in accordance with the Illinois Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1 *et seq.*, as amended (the "Act"), for the Madison Street / 5th Avenue Tax Increment Financing Redevelopment Project Area (the "Project Area"); and

**WHEREAS**, the Corporate Authorities have determined that, in order to encourage private investment and restore and enhance the tax base of the Village and affected taxing districts, certain blighting and adverse conditions within the Project Area must be removed, certain infrastructure improvements must be made, and the Project Area must be redeveloped; and

**WHEREAS**, the removal of blight and adverse conditions, the completion of infrastructure improvements and the redevelopment of the Project Area require the expenditure of redevelopment project costs as defined in the Act, as summarized in the Madison Street / 5th Avenue Tax Increment Financing Redevelopment Project and Plan (the "Plan") by the Village; and

**WHEREAS**, under Ordinance No. CO-2013-12, approved at a public meeting on March 13, 2013, the Corporate Authorities extended the estimated date of completion of the Original Plan and Project, and the estimated date of the retirement of all obligations incurred to finance redevelopment project costs as defined by the Original Plan and Project, to December 31, 2020, subject to receipt of year 2020 incremental real estate tax revenues during calendar year 2021; and

**WHEREAS**, in 2003, the Corporate Authorities established a "Commercial Property Improvement Program" (known as the "Façade Improvement Program") (the "Program") and the Program is funded, in part, on an annual basis with Madison Street / 5th Avenue TIF Funds in order to pay for eligible façade improvements as applied for by business owners and property owners of property located within the Project Area; and

**WHEREAS**, Global Estates, LLC, located at 840 South 17th Avenue, Maywood, Illinois, filed a Façade Improvements Application (the "Application") with the Village for the above-listed improved property, which has an existing building, and Village Staff has issued a Memorandum dated November 17, 2020 recommending that the requested façade improvements set forth in the Application be approved and that the Village pay its fifty percent (50%) share of the proposed façade improvements for

the Property. Copies of the Application and the Village Staff Memorandum are attached to this Ordinance as Group Exhibit "A" and made a part hereof. After review of the Application and the Village Staff Memorandum, the Corporate Authorities find it necessary and beneficial to approve the use of Madison Street / 5th Avenue TIF Funds to pay the Village's fifty percent (50%) share of eligible façade improvements for the Applicant, as follows:

<b>Applicant:</b>	<b>Global Estates, LLC</b>
<b>Improvements:</b>	<b>Replacement of Exterior Awnings for the building at 840 South 17th Avenue, Maywood, Illinois (the "Project")</b>
<b>Estimated Total Project Cost:</b>	<b>\$3,000.00</b>
<b>Estimated Village's Share:</b>	<b>\$1,500.00 (the "Expenditures")</b>

; and

**WHEREAS**, it is desirable and in the best interests of the residents, businesses and property owners of the Village for the Corporate Authorities to approve the Application and to authorize the reimbursement of the Village's Share as set forth above, which Expenditures will be paid to the Applicant upon submittal of the required proof of completion of the façade improvements, releases of lien, and Village inspection and approval of the improvements as being compliant with the Village Code.

**BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1: Recitals.** The statements set forth in the preambles of this Ordinance are found to be true and correct and are adopted as part of this Ordinance.

**SECTION 2: Authority.** The Village is a duly constituted and organized home rule municipality, as described in Division 6 of Article VII of the Illinois Constitution of 1970, and as such may exercise any power and perform any function pertaining to its government and affairs including, but not limited to, the power to tax and incur debt. This Ordinance is adopted in connection with implementing the Plan in accordance with the Act. This Ordinance is a declaration of official intent under Treasury Regulation Section 1.150-2.

**SECTION 3: Approval of Application and Authorization of Expenditures.** The Corporate Authorities of the Village:

- (a) Approve the Façade Improvement Program Application of Global Estates, LLC for the property located at 840 South 17th Avenue, Maywood, Illinois, as attached hereto as Group Exhibit "A" and made a part hereof.
- (b) Authorize the use of Madison Street / 5th Avenue TIF Funds to pay the Village's fifty percent (50%) share of the total costs of the proposed façade improvements in an amount not to exceed to \$1,500.00, subject to the Applicant complying with the conditions, terms and provisions of this Ordinance and the Façade Improvement Program.

**SECTION 4: Public Inspection.** This Ordinance shall be immediately available for inspection by the public at the office of the Village Clerk.

**SECTION 5: Repealer.** All ordinances, or parts of ordinances, in conflict with the provisions of this Ordinance, to the extent of such conflict, are repealed.

**SECTION 6: Severability.** Each section, paragraph, clause and provision of this Ordinance is separable, and if any provision is held unconstitutional or invalid for any reason, such decision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision.

**SECTION 7: Ratification.** All actions of the Corporate Authorities, agents and employees of the Village that are in conformity with the purpose and intent of this Ordinance, whether taken before or after the adoption of this Ordinance, are ratified, confirmed and approved.

**SECTION 8: Effective Date.** This Ordinance shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as required by law.

ADOPTED this \_\_\_ day of December, 2020, pursuant to a roll call vote as follows:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

APPROVED by me as Village President, and attested to by the Village Clerk, on the \_\_\_ day of December, 2020.

\_\_\_\_\_  
Edwenna Perkins, Village President

ATTEST:

\_\_\_\_\_  
Viola Mims, Village Clerk

Published by me in pamphlet form this \_\_\_ day of December, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

**Group Exhibit "A"**

**Application for Façade Improvements  
filed by Global Estates, LLC for the building  
at 840 South 17th Avenue, Maywood, Illinois**

**and**

**Village Staff Memorandum dated November 17, 2020**

**(attached)**



# MAYWOOD

Village of Eternal Light

## PROJECT INFORMATION

Proposed use of funds (Check all that apply and briefly describe work)

Type of Work	Est. Cost
Brick Cleaning and tuck-pointing _____	\$ _____
Storefront rehab/replacement _____	\$ _____
Window/door repair/replacement _____	\$ _____
Painting of exterior surface _____	\$ _____
Exterior lighting _____	\$ _____
Awning <u>Replace old + missing awnings</u> _____	\$ <u>3,000.00</u>
Signage _____	\$ _____
Total Cost of Project _____	\$ _____
Total Grant Request _____	\$ <u>1,500.00</u>

Note: Applicant must provide copy of proof of ownership, all proposed materials and design drawings for estimated scope of work and, upon completion, a copy of the contractors' waivers of lien for evidence of payment.

**ATTACH:**

- \_\_\_\_\_ Building design
- \_\_\_\_\_ Bids and/or estimates
- \_\_\_\_\_ Color samples
- \_\_\_\_\_ Catalog cuts of lighting fixtures
- \_\_\_\_\_ Sign design
- \_\_\_\_\_ Logo for business signage

4CDC/FacadeGuidelines.doc

**Office Use Only:**

Date Received:

Committee Meeting Date:

Funds Deposit into Account #:

Grant Awarded:

22

Applicant Notified:



3645 W. Irving Park Rd  
 Chicago, IL 60618  
 Phone: 773.509.0590  
 E-Mail: signstudio00@aol.com  
 Web: www.signstudiochicago.com

# invoice

**Attention:** Andre & Vena Nelson  
**Company:** Global States LLC  
**Address:** 852 S. 17<sup>th</sup> Ave. Maywood IL 60153  
**Phone:** Cell: 708-975-6059 Fax:  
**Email:** Vnelson@gobigaccounting.com

**Invoice No.:** 5590  
**Date:** November 5, 2020

Item	Description	Dimensions	Quantity	Price	Total
	Regarding Estimate #6605				
	Awning Recover (Color: R-164 Charcoal Grey)	60LF		\$50 LF	\$3,000.00

- Customer Responsible for providing all Material for installation 2 weeks prior to install.
- Any sign / product installed are still property of sign studio until remainder of balance is paid in full.

**Notes:** Please make your check payable to Sign Studio USA Limited

**Total:** \$3,000.00

WE THANK YOU FOR YOUR BUSINESS!



Village of **MAYWOOD**



40 MADISON STREET • MAYWOOD, ILLINOIS 60153 • (708) 450-4405  
Community Development

**TO:** Willie Norfleet Jr., Village Manager

**From:** Angela Smith, Coordinator of Business Development

**DATE:** November 17, 2020-BOT Agenda

**RE:** Façade Improvement – Awning replacement 840 S. 17th

**Background:**

Please find attached an application from the Maywood Property Management, LLC for participation in the Façade Improvement Program, located at 840 S. 17th. The owner is requesting funds for replacing awnings for the commercial storefronts. By submission of application the Owner/Manager has been made aware of all zoning/permits requirements. Property owner and manager have also been informed that the façade program is a reimbursement program, that reimbursements are only paid once project is complete with proof of payment to all contractors submitted. At the time of application the property owners are not delinquent on property taxes or water obligations.

**Fiscal Impact:**

Reduction from Madison TIF Fund of \$1,500.00

**Approval:**

Authorization of funds from the Madison TIF in the amount of \$1,500.00 for Global Estates (Vena and Andre Nelson), LLC participation in the Façade Program and authorization for payment once project is complete.

Attachments: Application

STATE OF ILLINOIS     )  
  ) SS.  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Village Clerk of the Village of Maywood, Cook County, Illinois, certify that the attached document is a true and correct copy of the Ordinance now on file in my office, entitled:

**ORDINANCE NO. CO-2020-\_\_\_\_\_**

**AN ORDINANCE AUTHORIZING CERTAIN EXPENDITURES  
FROM THE MADISON STREET / 5TH AVENUE TAX INCREMENT FINANCING  
REDEVELOPMENT PROJECT AREA FUND TO PAY FOR  
THE VILLAGE'S SHARE OF A FAÇADE IMPROVEMENT PROJECT**

**(Awning Façade Improvements by Global Estates, LLC  
at 840 South 17th Avenue, Maywood, Illinois)**

which was passed by a roll call vote of the Board of Trustees of the Village of Maywood at a Special Meeting of the Board of Trustees held on the \_\_\_ day of December, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the \_\_\_ day of December, 2020.

I further certify that the vote on the question of the passage of the said Ordinance by the Board of Trustees of the Village of Maywood was taken by the Ayes and Nays and recorded in the Journal of Proceedings of the Board of Trustees of the Village of Maywood, and that the result of the vote was as follows, to wit:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

I do further certify that the original Ordinance, of which the attached is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this \_\_\_ day of December, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

SEAL

**MEMORANDUM**

**TO: Mayor Edwenna Perkins and Board of Trustees, Village of Maywood**

**FROM: Michael A. Marrs**

**DATE: November 24, 2020**

**RE: An Ordinance Approving and Authorizing the Execution of Certain Redevelopment Agreements and Amending the Approvals Previously Given Regarding the Tax Reactivation Sale of Bundle Number 1 and Bundle Number 2 and 1601 South 5th Avenue, Maywood, Illinois**

---

Attached for your consideration at the Regular Board of Trustees meeting of December 1, 2020, is:

**AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF CERTAIN REDEVELOPMENT AGREEMENTS AND AMENDING THE APPROVALS GIVEN IN ORDINANCE NO. CO-2019-08 APPROVING THE SALE AND CONVEYANCE OF CERTAIN SURPLUS VILLAGE-OWNED REAL PROPERTY COMMONLY KNOWN AS 4 SOUTH 20TH AVENUE, 126 SOUTH 13TH AVENUE, 203/205 SOUTH 15TH AVENUE, 711 SOUTH 9TH AVENUE, 431 SOUTH 14TH AVENUE, 1114 SOUTH 2ND AVENUE AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS UNDER THE VILLAGE'S TAX REACTIVATION PROGRAM (BUNDLE NUMBER 1 AND BUNDLE NUMBER 2 AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS), along with its related Exhibits, including three (3) Redevelopment Agreements setting forth terms and conditions of the conveyance and redevelopment of the properties.**

The sale of these properties was previously approved to developer Batelli Partners, LLC in March, 2019. This matter is now prepared to close the first week in December 2020, but the bidder has asked to take title as BP Opportunity Investments LLC (the "Developer"), an LLC that has the same two members as the previously approved Batelli Partners. In order for the purchaser to receive title insurance, the Board needs to amend its previous approvals in order to authorize the sale to BP Opportunity Investments LLC instead of Batelli Partners. In addition, the Board is approving the three (3) Redevelopment Agreements associated with this sale, which include development timelines that differ from the one specified in the previous approving Ordinance. The Developer plans to develop the properties in phases. The timelines for commencing redevelopment of the properties are as follows:

1. Within six (6) months from the Closing Date for 126 S. 13th Avenue;
2. Within twelve (12) months from the Closing Date for 203/205 S. 15th Avenue;
3. Within twenty-four (24) months from the Closing Date for 4 S. 20th Avenue;
4. Within six (6) months from the Closing Date for 431 S. 14th Avenue;
5. Within twelve (12) months from the Closing Date for 711 S. 9th Avenue;
6. Within eighteen (18) months from the Closing Date for 1114 S. 2nd Avenue; and
7. Within eighteen (18) months from the Closing Date for 1601 S. 5<sup>th</sup> Avenue.

Once started, all redevelopment must be completed within twelve (12) months from the start of construction for that address. If the project at a particular address is not commenced or

completed on a timely basis as required herein, the Village's obligations under the applicable Redevelopment Agreement may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the applicable properties and any improvements back to the Village.

If there are any questions, please contact me.

*Michael Marrs*

**Enclosures**

cc: Viola Mims, Village Clerk (w/ encls.)  
Willie Norfleet, Jr., Village Manager (w/ encls.)  
David Myers, Director of Community Development (w/ encls.)  
Angela Smith, Project Manager (w/ encls.)  
Michael T. Jurusik, Village Attorney (w/ encls.)



ORDINANCE NO. CO-2020-\_\_\_\_\_

**AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF CERTAIN REDEVELOPMENT AGREEMENTS AND AMENDING THE APPROVALS GIVEN IN ORDINANCE NO. CO-2019-08 APPROVING THE SALE AND CONVEYANCE OF CERTAIN SURPLUS VILLAGE-OWNED REAL PROPERTY COMMONLY KNOWN AS 4 SOUTH 20TH AVENUE, 126 SOUTH 13TH AVENUE, 203/205 SOUTH 15TH AVENUE, 711 SOUTH 9TH AVENUE, 431 SOUTH 14TH AVENUE, 1114 SOUTH 2ND AVENUE AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS UNDER THE VILLAGE'S TAX REACTIVATION PROGRAM**

**(BUNDLE NUMBER 1 AND BUNDLE NUMBER 2 AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS)**

**WHEREAS**, the President and Board of Trustees of the Village of Maywood are authorized, under their home rule powers set forth at Article VII, Section 6 of the Illinois Constitution of 1970 and Chapter 156 (Tax Reactivation Program) of the Maywood Village Code, to offer for sale and to sell surplus real property in accordance with the Village's Tax Reactivation Program; and

**WHEREAS**, in 2017, the Village of Maywood ("Village"), as part of what is commonly known as 2017 Bundled Surplus Properties, bundled various surplus Village-owned properties together and released a Request for Proposals inviting bids on the various bundles; and

**WHEREAS**, two such bundles, known as Bundle Number 1 and Bundle Number 2, consist of vacant parcels of real property commonly known as 4 South 20th Avenue (PIN: 15-10-117-018), 126 South 13th Avenue (PIN: 15-10-231-041), 203/205 South 15th Avenue (PINs: 15-10-402-002 and -003), 711 South 9th Avenue (PINs: 15-11-340-003 and -004), 431 South 14th Avenue (PINs: 15-10-413-014 and -013) and 1114 South 2nd Avenue (PIN: 15-14-114-015), Maywood, Illinois ("Bundle Number 1 and Bundle Number 2 Properties"). Bundle Number 1 and Bundle Number 2 Properties, along with vacant Village owned property located at 1601 South 5th Avenue (PINs: 15-14-152-001, -002 and -003), shall be referred to as the "Subject Properties" (the "Subject Properties"), the legal descriptions of which are attached hereto as Exhibit "A"; and

**WHEREAS**, in 2019, Batelli Partners, LLC submitted an offer to purchase the Subject Properties for a total of Eighteen Thousand and No/100 Dollars (\$18,000.00) for redevelopment as single-family and multi-family homes, and indicated its willingness to be subject to the conditions and covenants required by the Tax Reactivation Program; and

**WHEREAS**, the President and Board of Trustees, on March 20, 2019, approved Ordinance No. CO-2019-08 authorizing the sale of the Subject Properties to Batelli Partners, LLC; and

**WHEREAS**, Batelli Partners, LLC desires to amend the previous approvals made in Ordinance No. CO-2019-08, so that the conveyances may be made to BP Opportunity Investments LLC, an entity with the same two (2) members as Batelli Partners, LLC, to revise the development timelines approved in said Ordinance, and to approve and authorize the execution of certain redevelopment agreements relative to the conveyance and redevelopment of the Subject Properties; and

**WHEREAS**, the President and Board of Trustees of the Village find it to be in the best interests of the Village to amend the approvals given in Ordinance No. 2019-CO-08 to authorize the sale of the Subject Properties to BP Opportunity Investments LLC instead of Batelli Partners, LLC, pursuant to the terms and conditions of the Tax Reactivation Program, and to authorize and approve the execution of the three (3) redevelopment agreements for the Subject Properties attached hereto as **Group Exhibit "B"** and made a part hereof (collectively, the "Redevelopment Agreements"), concerning the conveyance and redevelopment of the Subject Properties, and for the redevelopment of the Subject Properties to be subject to the timelines and other terms and conditions set forth in the Redevelopment Agreements in lieu of the timelines set forth in Ordinance No. CO-2019-08.

**BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1: Incorporation.** Each whereas paragraph set forth above is incorporated by reference into this Section 1.

**SECTION 2: Approval Sale of Bundled Properties to Alternate Entity.** Pursuant to its home rule powers as provided by Article VII, Section 6 of the Illinois Constitution of 1970 and Chapter 156 (Tax Reactivation Program) of the Maywood Village Code, the President and Board of Trustees of the Village of Maywood amend the approvals given in Ordinance No. CO-2019-08 by approving and authorizing the sale and conveyance of title to the Subject Properties to BP Opportunity Investments LLC instead of Batelli Partners, LLC.

**SECTION 3: Approval of the Redevelopment Agreements and of Amended Development Timelines.** The President and Board of Trustees further approve and authorize the execution of the Redevelopment Agreements relative to the conveyance and redevelopment of the Subject Properties in substantially the form set forth in **Group Exhibit "B"**. Any amendments to the Redevelopment Agreements made hereafter but prior to execution shall be subject to the approval of the Village Manager and Village Attorney. The sale and redevelopment of the Subject Properties shall be in conformance with the terms and conditions set forth in the Redevelopment Agreements, and the conditions of sale regarding timelines for redevelopment set forth in Ordinance No. CO-2019-08 are amended to those set forth in the Redevelopment Agreements. If the redevelopment of the Subject Properties is not commenced or completed on a timely basis as required herein, or is not completed in substantial compliance with the plans attached to the Redevelopment Agreements, the

Village's obligations under the Redevelopment Agreements may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Subject Properties and any improvements thereon back to the Village.

**SECTION 4: Authority to Execute.** Village staff and the Village Attorney are directed to prepare the quitclaim deeds and all other necessary documents to consummate this real estate transaction. The Village President, the Village Manager and/or the Village Clerk, or their designees, are authorized and directed to execute and deliver the Redevelopment Agreements, quitclaim deeds and such other documents as may be necessary or convenient to allow the Village to consummate this transaction and to comply with all of the applicable requirements of the Maywood Village Code relative to the sale of the Subject Property under the Tax Reactivation Program.

**SECTION 5: Repealer.** All ordinances, or parts of ordinances, including the applicable parts of Ordinance No. CO-2019-08, in conflict with the provisions of this Ordinance, to the extent of such conflict, are repealed.

**SECTION 6: Severability.** Each section, paragraph, clause and provision of this Ordinance is separable, and if any provision is held unconstitutional or invalid for any reason, such decision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision.

**SECTION 7: Ratification.** All actions of the Corporate Authorities, agents and employees of the Village that are in conformity with the purpose and intent of this Ordinance, whether taken before or after the adoption of this Ordinance, are ratified, confirmed and approved.

**SECTION 8: Effective Date.** This Ordinance shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as required by law.

**ADOPTED** this \_\_ day of December, 2020, pursuant to a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** by me this \_\_\_ day of December, 2020, and attested by the Village Clerk on the same day.

\_\_\_\_\_  
Edwenna Perkins, Village President

**ATTEST:**

\_\_\_\_\_  
Viola Mims, Village Clerk

Published by me in pamphlet form this \_\_\_\_ day of December, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

**ACKNOWLEDGMENT AND AGREEMENT  
TO COMPLY WITH THE TERMS, CONDITIONS AND PROVISIONS  
SET FORTH IN MAYWOOD ORDINANCE NO. CO-2020-\_\_\_**

I, the undersigned, agree to comply with and fulfill each and every term, condition and obligation set forth above in Ordinance:

**AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF  
CERTAIN REDEVELOPMENT AGREEMENTS AND AMENDING THE APPROVALS GIVEN  
IN ORDINANCE NO. CO-2019-08 APPROVING THE SALE AND CONVEYANCE OF  
CERTAIN SURPLUS VILLAGE-OWNED REAL PROPERTY COMMONLY KNOWN AS  
4 SOUTH 20TH AVENUE, 126 SOUTH 13TH AVENUE, 203/205 SOUTH 15TH AVENUE,  
711 SOUTH 9TH AVENUE, 431 SOUTH 14TH AVENUE,  
1114 SOUTH 2ND AVENUE AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS  
UNDER THE VILLAGE'S TAX REACTIVATION PROGRAM**

**(BUNDLE NUMBER 1 AND BUNDLE NUMBER 2  
AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS)**

**BP OPPORTUNITY INVESTMENTS LLC**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Managing Member

By: \_\_\_\_\_

Name: \_\_\_\_\_

Notary Public

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Exhibit "A"

**Legal Descriptions of Subject Properties**

**4 South 20th Avenue (PIN: 15-10-117-018):**

LOT 4 AND THE NORTH ½ OF LOT 5 IN BLOCK 36 IN PROVISO LAND ASSOCIATIONS ADDITION TO MAYWOOD IN SECTION 10, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS

**126 South 13th Avenue (PIN: 15-10-231-041):**

LOTS 267, 268 AND 269 IN MADISON STREET ADDITION, BEING A SUBDIVISION OF PART OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**203/205 South 15th Avenue (PINs: 15-10-402-002 and -003):**

LOTS 3 AND 4 IN BLOCK 28 IN PROVISO LAND ASSOCIATION ADDITION TO MAYWOOD IN SECTION 10, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS

**711 South 9th Avenue (PINs: 15-11-340-003 and -004):**

LOTS 3 AND 4 IN BLOCK 110 IN MAYWOOD A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTH WEST 1/4 OF SECTION 2, TOWNSHIP 39 NORTH RANGE 12, THE WEST 1/2 OF SECTION 11, TOWNSHIP 39 NORTH, RANGE 12 AND THE NORTH WEST 1/4 OF SECTION 14, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

**431 South 14th Avenue (PINs: 15-10-413-014 and -013):**

LOTS 200 AND 201 IN MADISON STREET ADDITION, A SUBDIVISION OF PART OF SECTION 10-39-12 IN COOK COUNTY, ILLINOIS

**1114 South 2nd Avenue (PIN: 15-14-114-015):**

LOT 13 (EXCEPT THE SOUTH 17 FEET THEREOF) AND ALL OF LOT 14 AND THE SOUTH 24.2 FEET OF LOT 15 IN BLOCK 136, IN MAYWOOD, A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 2-39-12. THE WEST 1/2 OF SECTION 11-39-12, AND THE NORTHWEST 1/4 OF SECTION 14-39-12 IN COOK COUNTY, ILLINOIS

**1601 South 5th Avenue (PINs: 15-14-152-001, -002 and -003):**

LOTS 1 AND 2 AND THE NORTH ½ OF LOT 3 IN BLOCK 179 IN MAYWOOD, A SUBDIVISION OF PARTS OF SECTIONS 2, 11 AND 14, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**Group Exhibit "B"**

**The Redevelopment Agreements**

(attached)



**THIS DOCUMENT WAS PREPARED BY,  
AND AFTER RECORDING PLEASE  
RETURN TO:**

Michael A. Marrs  
Klein, Thorpe and Jenkins, Ltd.  
20 North Wacker Drive, Suite 1660  
Chicago, Illinois 60606  
Box 324

PINS: **15-10-117-018-0000**  
**15-10-231-041-0000 and**  
**15-10-402-002-0000 & -003-0000**

## **REDEVELOPMENT AGREEMENT**

**THIS REDEVELOPMENT AGREEMENT** (the "**Agreement**") is made as of the Effective Date (as that term is defined herein) between the **VILLAGE OF MAYWOOD, an Illinois municipal corporation** (the "**Village**"), and **BP OPPORTUNITY INVESTMENTS LLC, an Illinois limited liability company** (the "**Developer**").

### **SECTION I – PRELIMINARY STATEMENTS.**

Among the matters of mutual inducement which have resulted in this Agreement are the following:

1. The Village is the owner of vacant parcels of land located at 4 S. 20<sup>th</sup> Avenue, 126 S. 13<sup>th</sup> Avenue and 203/205 S. 15<sup>th</sup> Avenue, in the Village of Maywood, County of Cook, State of Illinois, and as more specifically legally described on **EXHIBIT 1** attached hereto (the "Properties") and made a part hereof.

2. The Village desires to convey and the Developer desires to acquire from the Village, subject to the terms and conditions set forth in this Agreement, all of the Village's right, title and interest in the Properties in an "**AS IS, WHERE IS,**" condition, including all environmental conditions associated with the soil and groundwater.

3. The Developer proposes to improve and develop the Properties as follows:

**Rehabilitation and redevelopment of the currently vacant lots with the following:**

**4 S. 20<sup>th</sup> Avenue – Townhomes (number to be determined and possibly involving adjacent land)**

**126 S. 13<sup>th</sup> Avenue – Two (2) 2-flat buildings upon subdivision of the lot; and**

**203/205 S. 15<sup>th</sup> Avenue – Two (2) single-family homes.**

**Collectively, the foregoing are the “Improvements” and the purchase and rehabilitation of the Properties is the “Project.” The estimated total cost of the Project is TWO MILLION and 00/100 DOLLARS (\$2,000,000.00).**

The proposed Improvements are as shown on the Village-approved exterior elevation documents (the “Plan Documents”) attached hereto and made a part hereof as **GROUP EXHIBIT 2**. The Village’s approval of the Plan Documents is only a preliminary approval of the Developer’s concept plan for purposes of entering into this Agreement and does not constitute preliminary or final approval of any site or building plan approvals or zoning relief that the Developer needs to construct the Project.

The Corporate Authorities have determined that the sale of the Properties to Developer and construction by Developer of the Project pursuant to this Agreement represents a viable, productive use of the Properties and is in the best interests of the Village. In addition, the Corporate Authorities are of the opinion that the Properties, which are currently vacant and unused, and which have been vacant for a number of years, should be put to productive use and should be sold to the Developer because they are no longer necessary, appropriate, or required for use by the Village, and because the Project will serve the needs of the Village, beautify the Village, increase the quality residential housing stock of the Village, will result in additional property taxes and assist in stimulating growth and stabilizing the tax base.

## **SECTION II – TRANSFER OF PROPERTIES.**

1. **EFFECTIVE DATE/TERM.** This Agreement shall become effective as of the date that the Village Manager and Village Clerk sign the Agreement below (the “Effective Date”) and shall terminate upon the earlier of: (i) notice of termination pursuant to any provision listed herein providing for such termination, or (ii) the earlier of four (4) years from the Effective Date, or completion of the Project, as evidenced by issuance of the final occupancy permit for the last of the homes to be built on the Properties.

2. **PURCHASE AND SALE.** The Village agrees to sell to the Developer, and the Developer agrees to purchase from the Village, all of the Village’s right, title and interest in the Properties as described in **EXHIBIT 1** hereof; and all improvements, buildings, structures and attached fixtures (excluding any personal property and trade fixtures of the Village and/or any tenants of the Village, if any) located on the Properties, including any and all rights, privileges, easements and appurtenances, if any, thereunto belonging.

3. **PURCHASE PRICE/EARNEST MONEY.** The purchase price to be paid by the Developer to the Village for the Properties shall be EIGHT THOUSAND AND 00/100THS DOLLARS (**\$8,000.00**) (“Purchase Price”), payable at closing.

4. **INITIAL DEPOSIT – REIMBURSEMENT OF VILLAGE COSTS.** Developer has made an initial deposit with the Village of FOUR THOUSAND FIVE HUNDRED AND 00/100THS DOLLARS (\$4,500.00) in the form of a certified check or other certified funds within forty eight (48) hours of the Village’s approval of an Ordinance authorizing the sale and this Agreement (the “Initial Deposit”). The purpose of the Initial Deposit is to provide an initial deposit towards the Purchase Price, along with funds to reimburse the Village for fees, costs and expenses incurred in the course of preparing, approving and carrying out this Agreement and the sale of the Properties, including but not limited to title and closing costs and fees, survey costs, attorneys’ fees, and engineer’s fees. Upon termination of this Agreement prior to closing for any reason, Developer shall be entitled to the prompt return of the balance of the Initial Deposit, minus any reimbursement costs incurred by the Village prior to termination. Developer shall receive a credit for the Initial Deposit at closing, but is responsible for payment of all fees, costs and expenses related to

approving and carrying out this Agreement, including the sale of the Properties, to the extent such fees, costs and expenses exceeded the amount of the Initial Deposit.

5. **TITLE INSURANCE.** The Village, at the Developer's cost and expense, shall deliver to the Developer, a title commitment (the "**Title Commitment**") issued by Chicago Title Insurance Company (the "**Title Company**"), in the amount of the Purchase Price, subject only to (i) the exclusions and conditions contained in the Title Commitment; (ii) the restrictions and reservations, if any, contained in the Deed; (iii) utility and drainage easements and such other covenants, easements, restrictions and matters of record; (iv) any additional easements recommended by the Village Engineer to be part of the conveyance; and (v) acts done or suffered by or judgments against the Developer (collectively, the "**Permitted Exceptions**").

6. **SURVEY AND PLAT OF RESUBDIVISION.** The Developer, at Developer's cost, shall order and obtain boundary survey (the "**Survey**"), prepared by a surveyor licensed by the State of Illinois. The Developer, at Developer's cost, shall order and obtain a Plat of Resubdivision for 126 S. 13<sup>th</sup> Avenue. Approval of the Plat of Resubdivision by the Board of Trustees of the Village is a precondition to closing. The Plat of Resubdivision shall be recorded, at the Developer's expense, following closing.

7. **DEED.** The Properties shall be conveyed to Developer by the Village through recordable quitclaim deeds (the "Deeds"). The Deeds shall provide that the Properties are being conveyed in "As Is, Where Is" condition, including any environmental conditions existing in, on or beneath the Properties." The Deed shall further require that the Properties be developed and maintained as set forth in this Agreement. If public utilities, street lighting, sanitary or storm sewers, fire hydrants and related water service lines, public sidewalks or any other above or below grade infrastructure or public improvements are located within any portion of the Properties to be sold, the Village shall reserve in the quitclaim deed, a public utility or sidewalk easement of sufficient size to accommodate the repair, replacement, or maintenance of the public facilities or the installation of additional public facilities. The Village Engineer, in his or her discretion, shall determine the size of the required easement area. The quitclaim deed will not remove or release any existing non-Village easement rights or other conditions of public record that are enforceable by other persons or private or public entities.

8. **CONDITION OF THE PROPERTIES.** The Developer acknowledges and agrees that the Properties are being conveyed to Developer by the Village in "AS IS, WHERE IS" condition, including any environmental conditions existing in, on or beneath the Properties. Except as provided for under this Agreement, the Village makes no representations or warranties regarding the physical, environmental or structural condition of the Properties or of any buildings thereon, including but not limited to layout, square footage, zoning, use and occupancy restrictions, susceptibility to flooding or with respect to the existence or absence of toxic or hazardous materials, substances or wastes in, on or affecting the Properties, their soil or groundwater, the scope and extent of any remediation performed on the Properties or the presence or lack of radon, asbestos, underground storage tanks, or other environmental contamination on, in or under the Properties. As part of this Agreement, the Village assigns to Developer any and all rights to any claims it may have against prior owners of the Properties pertaining to the environmental condition of the Properties, except for those rights necessary for the Village to retain to protect itself from such liability.

The Developer expressly acknowledges that it has not relied upon any representation or warranty made by either the Village or any officer, employee, agent or representative of the Village in connection with the Properties, including specifically, without limitation, any warranty or representation as to the condition of the personal property, if any, the Properties' planning status, topography, grading, climate, air, flood, water rights, water, utilities, present and future zoning, governmental entitlements and restrictions, soil, subsoil, paint or contamination of soil or water, access to public roads, habitability or fitness for any particular purpose, or the presence or absence of any hazardous material.

Developer acknowledges and understands that it is its responsibility to petition for and obtain any zoning relief necessary for the construction of the Project.

9. **DUE DILIGENCE PERIOD.**

A. At any and all times prior to Closing, Developer shall be entitled to perform any and all investigations, structural and system inspections with regard to the physical condition of the Properties, soil reports, engineering studies, surveys and other studies and tests on the Properties which the Developer may reasonably deem necessary, including Phase I and Phase II environmental assessments, as part of Developer's intended redevelopment of the Properties (collectively, the "Inspections"). Developer understands, acknowledges and agrees that any Inspections undertaken by him prior to Closing shall be at its sole risk and expense, and that the Village shall in no way be obligated to make reimbursement to it for such work should Closing not occur for any reason.

B. Developer's access to the Properties to perform the Inspections and Repairs shall be governed by a temporary access agreement with the Village.

C. In the event that the Inspections and Repairs reveal that the Properties are not suitable for the Developer's use, poses a material health, safety or environmental hazard, including the existence of any environmental condition which may be dangerous and/or unacceptable to the Developer, or the presence of any hazardous material, the Developer, shall have the right, in its sole and exclusive judgment, to terminate this Agreement prior to the Closing Date, upon written notice to the Village. If the Agreement is terminated under this Paragraph, the Village shall return the Initial Deposit to the Developer, minus any out-of-pocket expenses incurred by the Village, and each party shall otherwise pay its own costs and expenses incurred under this Agreement and shall not seek reimbursement, contribution or damages from or against the other party for such costs and expenses or damages of any other kind, including costs incurred by Developer relative to Inspections performed prior to termination.

D. If the Developer elects to terminate this Agreement pursuant to this Paragraph, Developer shall have the obligation, at the Village's sole discretion, to restore the Properties to their original condition prior to such Inspections, and indemnify the Village, as provided herein.

12. **NO DEBTS.** Developer is required to pay all fees, debts, judgments, penalties or other money due and owing the Village prior to or at closing on the parcel. Developer must not be delinquent on payment of any Cook County real estate taxes on property owned by it within the Village. Closing may not take place unless all amounts due are satisfied.

13. **OTHER CONDITIONS OF SALE.** Prior to Closing, Developer is required to provide satisfactory proof to the Village of adequate, available funding to complete the Project.

14. **CLOSING DATE.** The Closing Date for conveyance of the Properties shall be concurrent with, or within ninety (90) days of the approval and execution of this Agreement, unless a later date is mutually agreed to by the Parties.

**SECTION III – REDEVELOPMENT OF THE PROPERTIES**

1. **CONSTRUCTION OF IMPROVEMENTS.** Subject to delays caused by force majeure, the Developer shall, following conveyance of the Properties, initiate the construction of the Project on the Properties in substantial conformance with the Plan Documents attached hereto as part of **GROUP EXHIBIT 2** and made a part hereof, within six (6) months from the Closing Date for 126 S. 13<sup>th</sup> Avenue, within twelve (12) months from the Closing Date for 203/205 S. 15<sup>th</sup> Avenue, and within twenty four (24) months from the Closing Date for 4 S. 20<sup>th</sup> Avenue (collectively, the "Commencement Dates"), and shall complete the portion of the Project at each address

within twelve (12) months from the Commencement Date for that address. Said Project shall be as described in Section I.3, and as more specifically described and depicted in the Plan Documents attached hereto as **GROUP EXHIBIT 2** and made a part hereof. Plan documents for 4 S. 20<sup>th</sup> Avenue are not included, as the Developer is still in the process of attempting to acquire additional adjacent property for that Project. Plans for 4 S. 20<sup>th</sup> shall be provided to the Village for separate approval once finalized. If the Project is not commenced or completed on a timely basis as required herein, the Village's obligations under this Agreement may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Properties and any improvements thereon back to the Village as further detailed in Section IV.1.A.

2. **TAXES, FEES AND CHARGES.** Developer agrees to promptly pay or cause to be paid as the same become due, any and all fees, taxes and governmental charges of any kind that may at any time be lawfully assessed with respect to the Project or required under this Agreement. Developer agrees to pay when due, any and all real estate taxes and special assessments with respect to the Properties, together with all improvements constructed or to be constructed on the Properties. If Developer fails to timely pay real estate taxes and special assessments when due as required by this Agreement, the Village may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Properties and any improvements thereon back to the Village as further detailed in Section IV.1.A.

#### **SECTION IV - GENERAL PROVISIONS.**

##### **1. DEFAULT.**

A. **Developer Breach.** In the event Developer fails or refuses to construct the Project on the Properties consistent with the Plan Documents making up **GROUP EXHIBIT 2** or as may be modified by mutual agreement of the parties, or fails or refuses to make the Improvements that comprise the Project within the relevant time frames provided for herein (subject to Force Majeure and weather conditions and the mutual agreement of the parties), fails to maintain the Improvements following construction, or fails to make timely payment of real estate taxes during the term of the Agreement and after closing, the Village may terminate this Agreement upon thirty (30) days notice. In such case, at the sole option and direction of the Village Board, and subject to the rights of Developer's lender(s), if any, Developer shall be obligated to (i) repay to the Village or the applicable taxing body amounts of all taxes, penalties and interest accrued against the Properties during the time period owned by the Developer; and (ii) reconvey title to the Properties by warranty deed (free and clear of any liens, encumbrances, easements or other conditions of title created by Developer or its agents that would prohibit the Village from acquiring fee simple good, marketable title to the Properties) to the Village pursuant to the notice of default, as liquidated damages for the default, both parties agreeing that under such circumstances actual damages are difficult to estimate but that repayment of taxes, penalties and interest and reconveyance of the Properties, if exercised by the Village, is the best estimate of damages, and the Village shall not have any responsibility for or obligation to pay Developer any other compensation, damages or penalties to Developer for the reconveyance of fee simple title to the Properties or improvements made by Developer thereto. Upon reconveyance by Developer, the Village shall have the right to re-enter and re-possess the Properties and those improvements and personal property that are not removed by Developer. The Village specifically acknowledges that any right of re-entry and repossession it may have is entirely subordinate to any mortgage or any other third party lien holder.

B. **Additional Default Provisions - Right to Terminate Before the Closing Date.** Anything to the contrary in this Agreement notwithstanding, this Agreement may be terminated prior to closing by either party or by mutual consent of the Village and Developer for any reason at any time prior to the Closing Date without any liability, damages or compensation, other than reimbursement of the Village's out-of-pocket expenses from the Initial Deposit, being paid to the other party.

2. **APPLICABLE LAW AND PARTIES BOUND.** This Agreement relates to the sale and improvement of Properties located in the State of Illinois. Accordingly, this Agreement, and all questions of

interpretation, construction and enforcement hereof, and all controversies hereunder, shall be governed by the applicable statutory and common law of the State of Illinois. The parties, and their respective heirs, grantees, legal representatives, successors and permitted assigns, agree that for the purpose of any litigation relative to this Agreement and its enforcement, venue shall be in the Circuit Court of Cook County, Illinois, and the parties consent to the in personam jurisdiction of said Court for any such action or proceeding.

3. **ASSIGNMENT.** The Developer shall not assign or transfer the Developer's interest in this Agreement without the prior written consent of the Village, which consent may be withheld in the Village's sole discretion, and provided further, that the Developer shall not be released from its obligations hereunder as a result of such assignment. In the event the Village shall consent to an assignment, the Developer shall deliver to the Village a copy of the fully executed assignment and assumption by the Developer, as assignor and the assignee within five (5) business days of the closing on the assignment.

4. **SCHEDULE OF EXHIBITS, RIDERS AND ATTACHMENTS.** The following are attached hereto and made a part hereof.

<b>EXHIBIT 1</b>	Legal Description
<b>GROUP EXHIBIT 2</b>	Plan Documents Showing Improvements

**IN WITNESS WHEREOF**, the parties hereto have executed this Agreement on the dates set forth below their respective signatures.

**VILLAGE:**  
**VILLAGE OF MAYWOOD,**  
**an Illinois Municipal corporation,**

**DEVELOPER:**  
**BP OPPORTUNITY INVESTMENTS LLC,**  
**An Illinois limited liability company,**

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village Manager

Title: \_\_\_\_\_

ATTEST:

ATTEST:

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village Clerk

Title: \_\_\_\_\_

**DATE EXECUTED BY THE VILLAGE:**

**DATE EXECUTED BY DEVELOPER:**

\_\_\_\_\_

\_\_\_\_\_

**EXHIBIT 1**

(Legal Description of Properties)

**4 South 20th Avenue (PIN: 15-10-117-018):**

LOT 4 AND THE NORTH ½ OF LOT 5 IN BLOCK 36 IN PROVISO LAND ASSOCIATIONS ADDITION TO MAYWOOD IN SECTION 10, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS

**126 South 13th Avenue (PIN: 15-10-231-041):**

LOTS 267, 268 AND 269 IN MADISON STREET ADDITION, BEING A SUBDIVISION OF PART OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**203/205 South 15th Avenue (PINs: 15-10-402-002 and 003):**

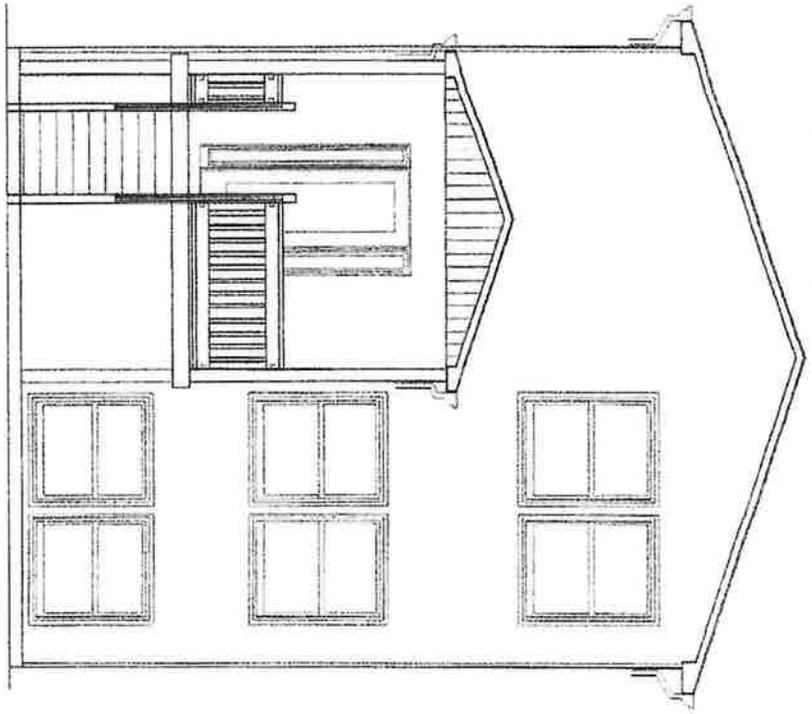
LOTS 3 AND 4 IN BLOCK 28 IN PROVISO LAND ASSOCIATION ADDITION TO MAYWOOD IN SECTION 10, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS

**GROUP EXHIBIT 2**

**PLAN DOCUMENTS SHOWING IMPROVEMENTS ON THE PROPERTIES**

# 2-FLAT FAMILY RESIDENCE FOR PERMIT

1265-13 TH AVENUE  
MAYWOOD, ILLINOIS 60153



**CERTIFICATION STATEMENT**  
I HEREBY CERTIFY THAT THE PERMITS ARE BEING APPLIED FOR IN ACCORDANCE WITH THE CITY OF MAYWOOD, ILLINOIS ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE AND THE ILLINOIS ENERGY CONSERVATION CODE.

*[Signature]*  
DEPARTMENT OF PERMITS

**ENERGY CONSERVATION CODE COMPLIANCE**  
I HEREBY CERTIFY THAT THE PROJECT HAS BEEN DESIGNED TO COMPLY WITH THE ENERGY CONSERVATION CODE OF THE CITY OF MAYWOOD, ILLINOIS AND THE ILLINOIS ENERGY CONSERVATION CODE.

*[Signature]*  
DEPARTMENT OF PERMITS

**DESCRIPTION**

2-FLAT FAMILY RESIDENCE  
1265-13 TH AVENUE  
MAYWOOD, ILLINOIS 60153  
OWNER: GUYLA CORP  
ARCHITECT: GUYLA CORP  
PERMIT NO: 1265-13-13  
DATE: 12/15/13

1. THE PROJECT IS A 2-FLAT FAMILY RESIDENCE TO BE CONSTRUCTED ON THE SOUTH SIDE OF 1265-13 TH AVENUE, MAYWOOD, ILLINOIS 60153. THE PROJECT WILL CONSIST OF TWO FLATS, EACH WITH AN AREA OF APPROXIMATELY 1,200 SQ FT. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAYWOOD, ILLINOIS ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE AND THE ILLINOIS ENERGY CONSERVATION CODE.

2. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAYWOOD, ILLINOIS ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE AND THE ILLINOIS ENERGY CONSERVATION CODE. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAYWOOD, ILLINOIS ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE AND THE ILLINOIS ENERGY CONSERVATION CODE.

**SCOPE OF WORK**

1. DEMOLITION OF EXISTING STRUCTURE  
2. FOUNDATION  
3. FRAMING  
4. ROOFING  
5. EXTERIOR FINISHES  
6. INTERIOR FINISHES  
7. MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)  
8. PAINTING  
9. LANDSCAPING

**DRAWING LIST**

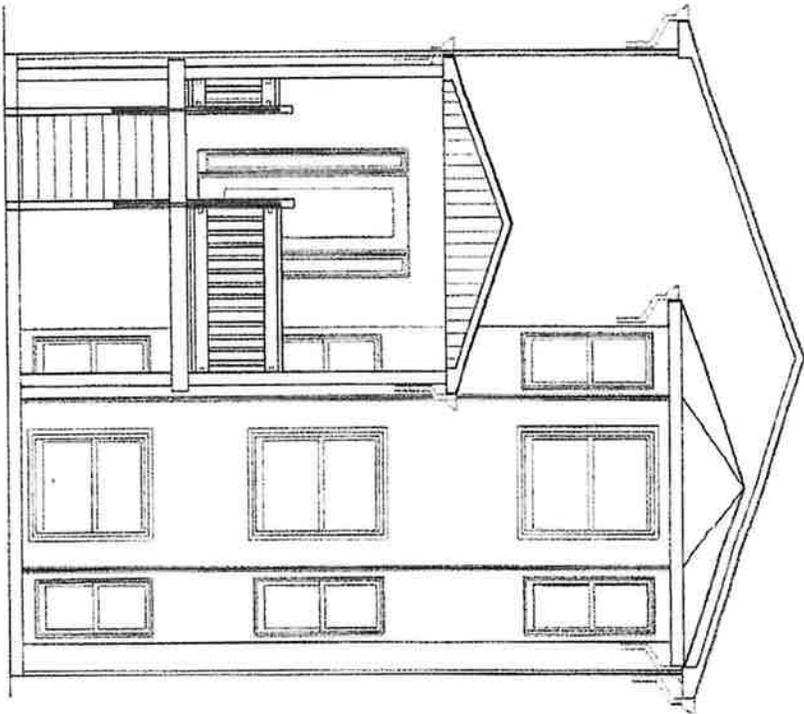
- 01 OPEN SHEET
- 02 SITE PLAN
- 03 FLOOR PLAN
- 04 EXTERIOR ELEVATION
- 05 INTERIOR ELEVATION
- 06 SECTION
- 07 DETAIL
- 08 MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)
- 09 PAINTING
- 10 LANDSCAPING

**VACINITY MAP**



# 2-FLAT FAMILY RESIDENCE FOR PERMIT

126 S. 137<sup>TH</sup> AVENUE  
MAYWOOD, ILLINOIS 60153



**CERTIFICATION STATEMENT**  
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS.

*[Signature]*  
ARCHITECT

ILLINOIS  
STATE BOARD OF ARCHITECTS  
DEPARTMENT 2 2018

**ENERGY CONSERVATION CODE COMPLIANCE**  
THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE ENERGY CONSERVATION CODE OF ILLINOIS AS APPLICABLE TO THIS PROJECT. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS DETERMINED THAT THE PROJECT IS IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE OF ILLINOIS.

*[Signature]*  
DESIGNER

ILLINOIS  
STATE BOARD OF ARCHITECTS  
DEPARTMENT 2 2018

**DESCRIPTION**

2-FLAT FAMILY RESIDENCE  
126 S. 137<sup>TH</sup> AVENUE  
MAYWOOD, ILLINOIS 60153

**GENERAL NOTES:**  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS BUILDING CODE.  
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE.  
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS MECHANICAL CODE.  
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE.  
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS FIRE ALARMS AND SIGNALING CODE.  
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS SAFETY CODE.  
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS WELDERING CODE.  
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION CODE.  
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION CODE.  
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION CODE.

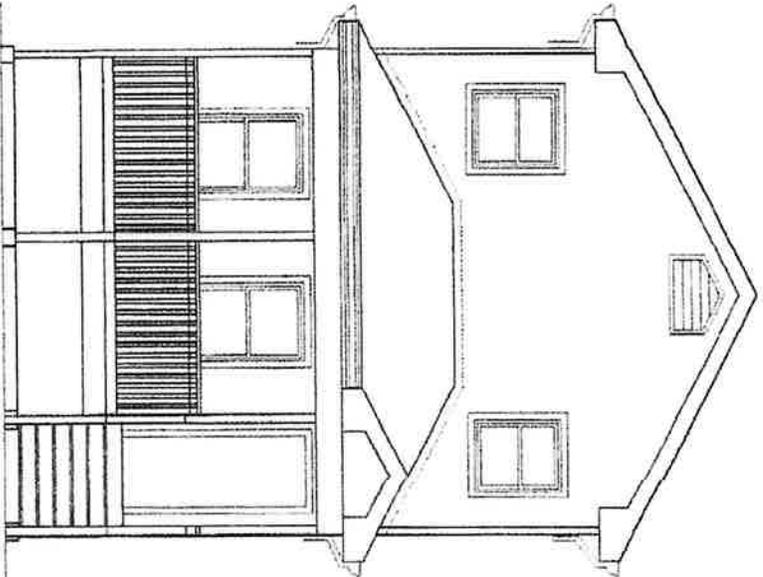
**SCOPE OF WORK**  
THE SCOPE OF WORK FOR THIS PROJECT IS AS FOLLOWS:  
1. ARCHITECTURAL DRAWINGS  
2. PERMITTING  
3. CONSTRUCTION ADMINISTRATION  
4. GENERAL CONTRACTOR  
5. ELECTRICAL CONTRACTOR  
6. MECHANICAL CONTRACTOR  
7. PLUMBING CONTRACTOR  
8. FIRE ALARMS AND SIGNALING CONTRACTOR  
9. SAFETY CONTRACTOR  
10. WELDERING CONTRACTOR  
11. CONSTRUCTION CONTRACTOR

**DRAWING LIST**

01	GENERAL NOTES
02	FOUNDATION
03	FLOOR PLAN
04	ELEVATIONS
05	SECTION
06	MECHANICAL
07	ELECTRICAL
08	PLUMBING
09	SAFETY
10	WELDERING
11	CONSTRUCTION

**VACINITY MAP**

# NEW SINGLE FAMILY RESIDENCE FOR PERMIT 203 SOUTH 15TH AVENUE MAYWOOD, ILLINOIS 60153



**CERTIFICATION STATEMENT**  
I HEREBY CERTIFY THAT THE WORK DESCRIBED HEREIN IS IN ACCORDANCE WITH THE ENERGY CONSERVATION CODE OF ILLINOIS AND THE ENERGY CONSERVATION CODE OF ILLINOIS, AS AMENDED BY BOARD OF CONSERVATION, ILLINOIS.

*[Signature]*  
ARCHITECT  
NOVEMBER 15, 2004

**ENERGY CONSERVATION CODE COMPLIANCE**  
I, CERTIFY THAT I AM THE REGISTERED DESIGN PROFESSIONAL ENGINEER, ARCHITECT, ENGINEER AND DESIGNER WHOSE NAME IS ON THE LIST OF REGISTERED DESIGN PROFESSIONALS, ILLINOIS.  
I AM CERTIFYING THAT THE REQUIREMENTS OF CHAPTER 15-1, ENERGY CONSERVATION, OF THE ILLINOIS CODE OF ORDINANCES, WHICH ARE IN FULL FORCE AND EFFECT AS OF THE DATE OF MY SIGNATURE, HAVE BEEN FULLY COMPLIED WITH BY THE WORK DESCRIBED HEREIN.

*[Signature]*  
ARCHITECT  
NOVEMBER 15, 2004

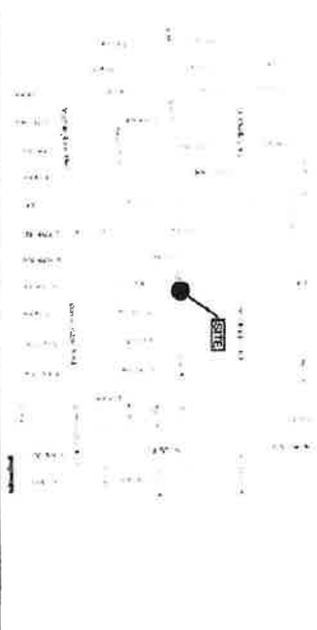
DESCRIPTION	ESTIMATE QUANTITY	UNIT	ESTIMATE PRICE
FOUNDATION	100	LINEAL FEET	1000.00
CONCRETE	100	CU YD	1000.00
BRICK	100	SQ YD	1000.00
ROOFING	100	SQ YD	1000.00
MECHANICAL	100	LINEAL FEET	1000.00
ELECTRICAL	100	LINEAL FEET	1000.00
PLUMBING	100	LINEAL FEET	1000.00
PAINT	100	SQ YD	1000.00
LANDSCAPE	100	SQ YD	1000.00
PERMIT	1	PERMIT	1000.00
TOTAL			10000.00

**DESCRIPTION**  
THE WORK DESCRIBED HEREIN IS FOR THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE. THE WORK SHALL INCLUDE THE FOUNDATION, CONCRETE, BRICK, ROOFING, MECHANICAL, ELECTRICAL, PLUMBING, PAINT, LANDSCAPE, AND PERMIT. THE WORK SHALL BE IN ACCORDANCE WITH THE ENERGY CONSERVATION CODE OF ILLINOIS AND THE ENERGY CONSERVATION CODE OF ILLINOIS, AS AMENDED BY BOARD OF CONSERVATION, ILLINOIS.

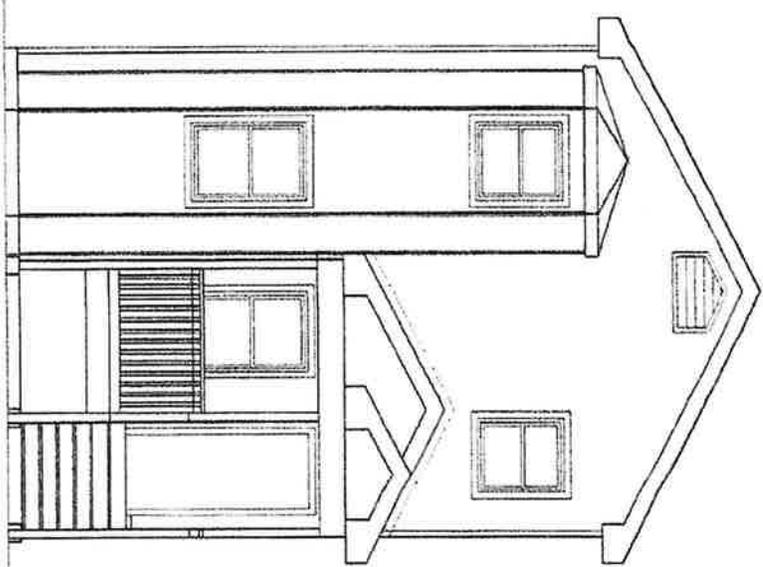
**SCOPE OF WORK**  
THE SCOPE OF WORK SHALL INCLUDE THE FOUNDATION, CONCRETE, BRICK, ROOFING, MECHANICAL, ELECTRICAL, PLUMBING, PAINT, LANDSCAPE, AND PERMIT. THE WORK SHALL BE IN ACCORDANCE WITH THE ENERGY CONSERVATION CODE OF ILLINOIS AND THE ENERGY CONSERVATION CODE OF ILLINOIS, AS AMENDED BY BOARD OF CONSERVATION, ILLINOIS.

**DRAWING LIST**

- 01 FOUNDATION
- 02 CONCRETE
- 03 BRICK
- 04 ROOFING
- 05 MECHANICAL
- 06 ELECTRICAL
- 07 PLUMBING
- 08 PAINT
- 09 LANDSCAPE
- 10 PERMIT



# NEW SINGLE FAMILY RESIDENCE FOR PERMIT 205 SOUTH 15TH AVENUE MAYWOOD, ILLINOIS 60153



**CERTIFICATION STATEMENT**  
I, ARCHITECT, CERTIFY THAT I HAVE REVIEWED THE PERMITTED PROJECT AND I AM NOT PROVIDING ANY OTHER PERMITS OR PERMITS REQUIRED BY THE CITY OF MAYWOOD, ILLINOIS, FOR THE PROJECT.

*Robert W. Davis*  
ARCHITECT  
CITY OF MAYWOOD, ILLINOIS  
CITY ENGINEER

**ENERGY CONSERVATION CODE COMPLIANCE**  
I CERTIFY THAT I AM PROVIDING ENERGY CONSERVATION CODE COMPLIANCE FOR THE PROJECT AS REQUIRED BY THE CITY OF MAYWOOD, ILLINOIS, AND I AM PROVIDING THE NECESSARY INFORMATION TO THE CITY ENGINEER TO VERIFY COMPLIANCE.

*Robert W. Davis*  
ARCHITECT  
CITY OF MAYWOOD, ILLINOIS  
CITY ENGINEER

**DESCRIPTION**

RESIDENTIAL PERMIT FOR THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT 205 SOUTH 15TH AVENUE, MAYWOOD, ILLINOIS 60153. THE PROJECT IS A TWO-STOREY RESIDENCE WITH A GABLED ROOF AND A FRONT PORCH. THE PROJECT IS BEING CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAYWOOD, ILLINOIS, ZONING ORDINANCE AND THE ENERGY CONSERVATION CODE.

**GENERAL NOTES**

- 1. ALL CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF THE PERMIT.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MAYWOOD, ILLINOIS, AND THE ADJACENT PROPERTY OWNERS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MAYWOOD, ILLINOIS, AND THE ADJACENT PROPERTY OWNERS.
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- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MAYWOOD, ILLINOIS, AND THE ADJACENT PROPERTY OWNERS.

**SCOPE OF WORK**

CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT 205 SOUTH 15TH AVENUE, MAYWOOD, ILLINOIS 60153. THE PROJECT IS A TWO-STOREY RESIDENCE WITH A GABLED ROOF AND A FRONT PORCH. THE PROJECT IS BEING CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAYWOOD, ILLINOIS, ZONING ORDINANCE AND THE ENERGY CONSERVATION CODE.

**DRAWING LIST**

- 1. COVER SHEET
- 2. EXHIBIT A - SITE PLAN
- 3. EXHIBIT B - FLOOR PLAN
- 4. EXHIBIT C - SECTION
- 5. EXHIBIT D - ELEVATION
- 6. EXHIBIT E - ENERGY CONSERVATION CODE COMPLIANCE
- 7. EXHIBIT F - VACINITY MAP





**THIS DOCUMENT WAS PREPARED BY,  
AND AFTER RECORDING PLEASE  
RETURN TO:**

Michael A. Marrs  
Klein, Thorpe and Jenkins, Ltd.  
20 North Wacker Drive, Suite 1660  
Chicago, Illinois 60606  
Box 324

PINS: **15-11-340-003-0000 &  
15-11-340-004-0000;  
15-10-413-013-0000 &  
15-10-413-014-0000; and  
15-14-114-015-0000**

## **REDEVELOPMENT AGREEMENT**

**THIS REDEVELOPMENT AGREEMENT** (the "**Agreement**") is made as of the Effective Date (as that term is defined herein) between the **VILLAGE OF MAYWOOD, an Illinois municipal corporation** (the "**Village**"), and **BP OPPORTUNITY INVESTMENTS LLC, an Illinois limited liability company** (the "**Developer**").

### **SECTION I – PRELIMINARY STATEMENTS.**

Among the matters of mutual inducement which have resulted in this Agreement are the following:

1. The Village is the owner of vacant parcels of land located at 711 S. 9<sup>th</sup> Avenue, 431 S. 14<sup>th</sup> Avenue and 1114 S. 2<sup>nd</sup> Avenue, in the Village of Maywood, County of Cook, State of Illinois, and as more specifically legally described on **EXHIBIT 1** attached hereto (the "Properties") and made a part hereof.

2. The Village desires to convey and the Developer desires to acquire from the Village, subject to the terms and conditions set forth in this Agreement, all of the Village's right, title and interest in the Properties in an "**AS IS, WHERE IS,**" condition, including all environmental conditions associated with the soil and groundwater.

3. The Developer proposes to improve and develop the Properties as follows:

**Rehabilitation and redevelopment of the currently vacant lots with the following:**

**711 S. 9<sup>th</sup> Avenue – One (1) Single-Family Home**

**431 S. 14<sup>th</sup> Avenue – Two (2) 2-flat buildings; and**

**1114 S. 2<sup>nd</sup> Avenue – Two (2) 2-flat buildings (following subdivision of the property).**

**Collectively, the foregoing are the “Improvements” and the purchase and rehabilitation of the Properties is the “Project.” The estimated total cost of the Project is ONE MILLION THREE HUNDRED TWENTY FIVE THOUSAND and 00/100 DOLLARS (\$1,325,000.00).**

The proposed Improvements are as shown on the Village-approved exterior elevation documents (the “Plan Documents”) attached hereto and made a part hereof as **GROUP EXHIBIT 2**. The Village’s approval of the Plan Documents is only a preliminary approval of the Developer’s concept plan for purposes of entering into this Agreement and does not constitute preliminary or final approval of any site or building plan approvals or zoning relief that the Developer needs to construct the Project.

The Corporate Authorities have determined that the sale of the Properties to Developer and construction by Developer of the Project pursuant to this Agreement represents a viable, productive use of the Properties and is in the best interests of the Village. In addition, the Corporate Authorities are of the opinion that the Properties, which are currently vacant and unused, and which have been vacant for a number of years, should be put to productive use and should be sold to the Developer because they are no longer necessary, appropriate, or required for use by the Village, and because the Project will serve the needs of the Village, beautify the Village, increase the quality residential housing stock of the Village, will result in additional property taxes and assist in stimulating growth and stabilizing the tax base.

## **SECTION II – TRANSFER OF PROPERTIES.**

1. **EFFECTIVE DATE/TERM.** This Agreement shall become effective as of the date that the Village Manager and Village Clerk sign the Agreement below (the “Effective Date”) and shall terminate upon the earlier of: (i) notice of termination pursuant to any provision listed herein providing for such termination, or (ii) the earlier of three (3) years from the Effective Date, or completion of the Project, as evidenced by issuance of the final occupancy permit for the last of the homes to be built on the Properties.

2. **PURCHASE AND SALE.** The Village agrees to sell to the Developer, and the Developer agrees to purchase from the Village, all of the Village’s right, title and interest in the Properties as described in **EXHIBIT 1** hereof; and all improvements, buildings, structures and attached fixtures (excluding any personal property and trade fixtures of the Village and/or any tenants of the Village, if any) located on the Properties, including any and all rights, privileges, easements and appurtenances, if any, thereunto belonging.

3. **PURCHASE PRICE/EARNEST MONEY.** The purchase price to be paid by the Developer to the Village for the Properties shall be NINE THOUSAND AND 00/100THS DOLLARS (**\$9,000.00**) (“Purchase Price”), payable at closing.

4. **INITIAL DEPOSIT – REIMBURSEMENT OF VILLAGE COSTS.** Developer has made an initial deposit with the Village of FOUR THOUSAND FIVE HUNDRED AND 00/100THS DOLLARS (\$4,500.00) in the form of a certified check or other certified funds within forty eight (48) hours of the Village’s approval of an Ordinance authorizing the sale and this Agreement (the “Initial Deposit”). The purpose of the Initial Deposit is to provide an initial deposit towards the Purchase Price, along with funds to reimburse the Village for fees, costs and expenses incurred in the course of preparing, approving and carrying out this Agreement and the sale of the Properties, including but not limited to title and closing costs and fees, survey costs, attorneys’ fees, and engineer’s fees. Upon termination of this Agreement prior to closing for any reason, Developer shall be entitled to the prompt return of the balance of the Initial Deposit, minus any reimbursement costs incurred by the Village prior to termination. Developer shall receive a

credit for the Initial Deposit at closing, but is responsible for payment of all fees, costs and expenses related to approving and carrying out this Agreement, including the sale of the Properties, to the extent such fees, costs and expenses exceeded the amount of the Initial Deposit.

5. **TITLE INSURANCE.** The Village, at the Developer's cost and expense, shall deliver to the Developer, a title commitment (the "**Title Commitment**") issued by Chicago Title Insurance Company (the "**Title Company**"), in the amount of the Purchase Price, subject only to (i) the exclusions and conditions contained in the Title Commitment; (ii) the restrictions and reservations, if any, contained in the Deed; (iii) utility and drainage easements and such other covenants, easements, restrictions and matters of record; (iv) any additional easements recommended by the Village Engineer to be part of the conveyance; and (v) acts done or suffered by or judgments against the Developer (collectively, the "**Permitted Exceptions**").

6. **SURVEY AND PLAT OF RESUBDIVISION.** The Developer, at Developer's cost, shall order and obtain boundary survey (the "**Survey**"), prepared by a surveyor licensed by the State of Illinois. The Developer, at Developer's cost, shall order and obtain a Plat of Resubdivision for 1114 S. 2nd Avenue. Approval of the Plat of Resubdivision by the Board of Trustees of the Village is a precondition to obtaining a building permit for commencement of the Project. The Plat of Resubdivision shall be recorded, at the Developer's expense, following prior to a building permit issuing.

7. **DEED.** The Properties shall be conveyed to Developer by the Village through recordable quitclaim deeds (the "Deeds"). The Deeds shall provide that the Properties are being conveyed in "As Is, Where Is" condition, including any environmental conditions existing in, on or beneath the Properties." The Deed shall further require that the Properties be developed and maintained as set forth in this Agreement. If public utilities, street lighting, sanitary or storm sewers, fire hydrants and related water service lines, public sidewalks or any other above or below grade infrastructure or public improvements are located within any portion of the Properties to be sold, the Village shall reserve in the quitclaim deed, a public utility or sidewalk easement of sufficient size to accommodate the repair, replacement, or maintenance of the public facilities or the installation of additional public facilities. The Village Engineer, in his or her discretion, shall determine the size of the required easement area. The quitclaim deed will not remove or release any existing non-Village easement rights or other conditions of public record that are enforceable by other persons or private or public entities.

8. **CONDITION OF THE PROPERTIES.** The Developer acknowledges and agrees that the Properties are being conveyed to Developer by the Village in "AS IS, WHERE IS" condition, including any environmental conditions existing in, on or beneath the Properties. Except as provided for under this Agreement, the Village makes no representations or warranties regarding the physical, environmental or structural condition of the Properties or of any buildings thereon, including but not limited to layout, square footage, zoning, use and occupancy restrictions, susceptibility to flooding or with respect to the existence or absence of toxic or hazardous materials, substances or wastes in, on or affecting the Properties, their soil or groundwater, the scope and extent of any remediation performed on the Properties or the presence or lack of radon, asbestos, underground storage tanks, or other environmental contamination on, in or under the Properties. As part of this Agreement, the Village assigns to Developer any and all rights to any claims it may have against prior owners of the Properties pertaining to the environmental condition of the Properties, except for those rights necessary for the Village to retain to protect itself from such liability.

The Developer expressly acknowledges that it has not relied upon any representation or warranty made by either the Village or any officer, employee, agent or representative of the Village in connection with the Properties, including specifically, without limitation, any warranty or representation as to the condition of the personal property, if any, the Properties' planning status, topography, grading, climate, air, flood, water rights, water, utilities, present and future zoning, governmental entitlements and restrictions, soil, subsoil, paint or contamination of soil or water, access to public roads, habitability or fitness for any particular purpose, or the presence or absence of any hazardous material.

Developer acknowledges and understands that it is its responsibility to petition for and obtain any zoning relief necessary for the construction of the Project.

9. **DUE DILIGENCE PERIOD.**

A. At any and all times prior to Closing, Developer shall be entitled to perform any and all investigations, structural and system inspections with regard to the physical condition of the Properties, soil reports, engineering studies, surveys and other studies and tests on the Properties which the Developer may reasonably deem necessary, including Phase I and Phase II environmental assessments, as part of Developer's intended redevelopment of the Properties (collectively, the "**Inspections**"). Developer understands, acknowledges and agrees that any Inspections undertaken by him prior to Closing shall be at its sole risk and expense, and that the Village shall in no way be obligated to make reimbursement to it for such work should Closing not occur for any reason.

B. Developer's access to the Properties to perform the Inspections and Repairs shall be governed by a temporary access agreement with the Village.

C. In the event that the Inspections and Repairs reveal that the Properties are not suitable for the Developer's use, poses a material health, safety or environmental hazard, including the existence of any environmental condition which may be dangerous and/or unacceptable to the Developer, or the presence of any hazardous material, the Developer, shall have the right, in its sole and exclusive judgment, to terminate this Agreement prior to the Closing Date, upon written notice to the Village. If the Agreement is terminated under this Paragraph, the Village shall return the Initial Deposit to the Developer, minus any out-of-pocket expenses incurred by the Village, and each party shall otherwise pay its own costs and expenses incurred under this Agreement and shall not seek reimbursement, contribution or damages from or against the other party for such costs and expenses or damages of any other kind, including costs incurred by Developer relative to Inspections performed prior to termination.

D. If the Developer elects to terminate this Agreement pursuant to this Paragraph, Developer shall have the obligation, at the Village's sole discretion, to restore the Properties to their original condition prior to such Inspections, and indemnify the Village, as provided herein.

12. **NO DEBTS.** Developer is required to pay all fees, debts, judgments, penalties or other money due and owing the Village prior to or at closing on the parcel. Developer must not be delinquent on payment of any Cook County real estate taxes on property owned by it within the Village. Closing may not take place unless all amounts due are satisfied.

13. **OTHER CONDITIONS OF SALE.** Prior to Closing, Developer is required to provide satisfactory proof to the Village of adequate, available funding to complete the Project.

14. **CLOSING DATE.** The Closing Date for conveyance of the Properties shall be concurrent with, or within ninety (90) days of the approval and execution of this Agreement, unless a later date is mutually agreed to by the Parties.

**SECTION III – REDEVELOPMENT OF THE PROPERTIES**

1. **CONSTRUCTION OF IMPROVEMENTS.** Subject to delays caused by force majeure, the Developer shall, following conveyance of the Properties, initiate the construction of the Project on the Properties in substantial conformance with the Plan Documents attached hereto as part of **GROUP EXHIBIT 2** and made a part hereof, within six (6) months from the Closing Date for 431 S. 14th Avenue, within twelve (12) months from the Closing Date for 711 S. 9th Avenue, and within eighteen (18) months from the Closing Date for 1114 S. 2nd Avenue (collectively, the "Commencement Dates"), and shall complete the portion of the Project at each address within

twelve (12) months from the Commencement Date for that address. Said Project shall be as described in Section I.3, and as more specifically described and depicted in the Plan Documents attached hereto as **GROUP EXHIBIT 2** and made a part hereof. If the Project is not commenced or completed on a timely basis as required herein, the Village's obligations under this Agreement may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Properties and any improvements thereon back to the Village as further detailed in Section IV.1.A.

2. **TAXES, FEES AND CHARGES.** Developer agrees to promptly pay or cause to be paid as the same become due, any and all fees, taxes and governmental charges of any kind that may at any time be lawfully assessed with respect to the Project or required under this Agreement. Developer agrees to pay when due, any and all real estate taxes and special assessments with respect to the Properties, together with all improvements constructed or to be constructed on the Properties. If Developer fails to timely pay real estate taxes and special assessments when due as required by this Agreement, the Village may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Properties and any improvements thereon back to the Village as further detailed in Section IV.1.A.

#### **SECTION IV - GENERAL PROVISIONS.**

##### **1. DEFAULT.**

A. **Developer Breach.** In the event Developer fails or refuses to construct the Project on the Properties consistent with the Plan Documents making up **GROUP EXHIBIT 2** or as may be modified by mutual agreement of the parties, or fails or refuses to make the Improvements that comprise the Project within the relevant time frames provided for herein (subject to Force Majeure and weather conditions and the mutual agreement of the parties), fails to maintain the Improvements following construction, or fails to make timely payment of real estate taxes during the term of the Agreement and after closing, the Village may terminate this Agreement upon thirty (30) days notice. In such case, at the sole option and direction of the Village Board, and subject to the rights of Developer's lender(s), if any, Developer shall be obligated to (i) repay to the Village or the applicable taxing body amounts of all taxes, penalties and interest accrued against the Properties during the time period owned by the Developer; and (ii) reconvey title to the Properties by warranty deed (free and clear of any liens, encumbrances, easements or other conditions of title created by Developer or its agents that would prohibit the Village from acquiring fee simple good, marketable title to the Properties) to the Village pursuant to the notice of default, as liquidated damages for the default, both parties agreeing that under such circumstances actual damages are difficult to estimate but that repayment of taxes, penalties and interest and reconveyance of the Properties, if exercised by the Village, is the best estimate of damages, and the Village shall not have any responsibility for or obligation to pay Developer any other compensation, damages or penalties to Developer for the reconveyance of fee simple title to the Properties or improvements made by Developer thereto. Upon reconveyance by Developer, the Village shall have the right to re-enter and re-possess the Properties and those improvements and personal property that are not removed by Developer. The Village specifically acknowledges that any right of re-entry and repossession it may have is entirely subordinate to any mortgage or any other third party lien holder.

B. **Additional Default Provisions - Right to Terminate Before the Closing Date.** Anything to the contrary in this Agreement notwithstanding, this Agreement may be terminated prior to closing by either party or by mutual consent of the Village and Developer for any reason at any time prior to the Closing Date without any liability, damages or compensation, other than reimbursement of the Village's out-of-pocket expenses from the Initial Deposit, being paid to the other party.

2. **APPLICABLE LAW AND PARTIES BOUND.** This Agreement relates to the sale and improvement of Properties located in the State of Illinois. Accordingly, this Agreement, and all questions of interpretation, construction and enforcement hereof, and all controversies hereunder, shall be governed by the applicable statutory and common law of the State of Illinois. The parties, and their respective heirs, grantees, legal

representatives, successors and permitted assigns, agree that for the purpose of any litigation relative to this Agreement and its enforcement, venue shall be in the Circuit Court of Cook County, Illinois, and the parties consent to the in personam jurisdiction of said Court for any such action or proceeding.

3. **ASSIGNMENT.** The Developer shall not assign or transfer the Developer's interest in this Agreement without the prior written consent of the Village, which consent may be withheld in the Village's sole discretion, and provided further, that the Developer shall not be released from its obligations hereunder as a result of such assignment. In the event the Village shall consent to an assignment, the Developer shall deliver to the Village a copy of the fully executed assignment and assumption by the Developer, as assignor and the assignee within five (5) business days of the closing on the assignment.

4. **SCHEDULE OF EXHIBITS, RIDERS AND ATTACHMENTS.** The following are attached hereto and made a part hereof.

<b>EXHIBIT 1</b>	Legal Description
<b>GROUP EXHIBIT 2</b>	Plan Documents Showing Improvements

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the dates set forth below their respective signatures.

**VILLAGE:**  
**VILLAGE OF MAYWOOD,**  
an Illinois Municipal corporation,

**DEVELOPER:**  
**BP OPPORTUNITY INVESTMENTS LLC,**  
An Illinois limited liability company,

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village Manager

Title: \_\_\_\_\_

ATTEST:

ATTEST:

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village Clerk

Title: \_\_\_\_\_

**DATE EXECUTED BY THE VILLAGE:**

**DATE EXECUTED BY DEVELOPER:**

\_\_\_\_\_

\_\_\_\_\_

**EXHIBIT 1**

(Legal Description of Properties)

**711 South 9th Avenue (PINs: 15-11-340-003 and 004):**

LOTS 3 AND 4 IN BLOCK 110 IN MAYWOOD A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTH WEST 1/4 OF SECTION 2, TOWNSHIP 39 NORTH RANGE 12, THE WEST 1/2 OF SECTION 11, TOWNSHIP 39 NORTH, RANGE 12 AND THE NORTH WEST 1/4 OF SECTION 14, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

**431 South 14th Avenue (PINs: 15-10-413-014 and 013):**

LOTS 200 AND 201 IN MADISON STREET ADDITION, A SUBDIVISION OF PART OF SECTION 10-39-12 IN COOK COUNTY, ILLINOIS

**1114 South 2nd Avenue (15-14-114-015):**

LOT 13 (EXCEPT THE SOUTH 17 FEET THEREOF) AND ALL OF LOT 14 AND THE SOUTH 24.2 FEET OF LOT 15 IN BLOCK 136, IN MAYWOOD, A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 2-39-12. THE WEST 1/2 OF SECTION 11-39-12, AND THE NORTHWEST 1/4 OF SECTION 14-39-12 IN COOK COUNTY, ILLINOIS

**GROUP EXHIBIT 2**

**PLAN DOCUMENTS SHOWING IMPROVEMENTS ON THE PROPERTIES**



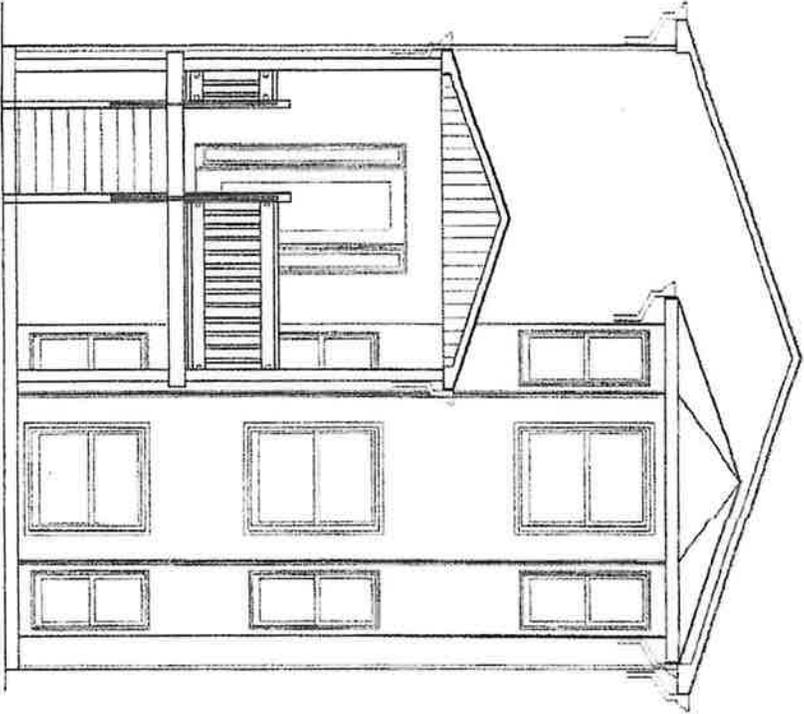






# 2-FLAT FAMILY RESIDENCE FOR PERMIT

1114 S. 3<sup>RD</sup>. AVENUE  
MAYWOOD, ILLINOIS 60153



### CERTIFICATION STATEMENT

I, the undersigned, being a duly licensed and qualified architect, hereby certify that the above described building is in accordance with the provisions of the Chicago Building Code, as amended, and the Chicago Energy Conservation Code, as amended.

*[Signature]*  
 ARCHITECT  
 REGISTERED PROFESSIONAL ARCHITECT  
 STATE OF ILLINOIS  
 NO. 001234567  
 EXPIRES 12/31/2018

### ENERGY CONSERVATION CODE COMPLIANCE

I, the undersigned, being a duly licensed and qualified architect, hereby certify that the above described building is in accordance with the provisions of the Chicago Building Code, as amended, and the Chicago Energy Conservation Code, as amended.

*[Signature]*  
 ARCHITECT  
 REGISTERED PROFESSIONAL ARCHITECT  
 STATE OF ILLINOIS  
 NO. 001234567  
 EXPIRES 12/31/2018

### DESCRIPTION

2-FLAT FAMILY RESIDENCE  
 1114 S. 3<sup>RD</sup>. AVENUE  
 MAYWOOD, ILLINOIS 60153  
 GENERAL CONTRACTOR  
 PERMIT NO. 1114-18-001  
 EXPIRES 12/31/2018

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.  
 2. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ENERGY CONSERVATION CODE.  
 3. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO PLUMBING CODE.  
 4. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO MECHANICAL CODE.  
 5. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ELECTRICAL CODE.  
 6. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO FIRE CODE.  
 7. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO SANITATION CODE.  
 8. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE CODE.  
 9. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO SIGNAGE CODE.  
 10. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO TRAFFIC CONTROL CODE.  
 11. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO PUBLIC WORKS CODE.  
 12. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ZONING ORDINANCE.  
 13. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO SUBDIVISION MAP ACT.  
 14. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE DEVELOPMENT CODE.  
 15. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE BROKERAGE ACT.  
 16. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE SALES ACT.  
 17. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE LEASING ACT.  
 18. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE MORTGAGE ACT.  
 19. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE TRUST ACT.  
 20. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO REAL ESTATE ESTATE ACT.

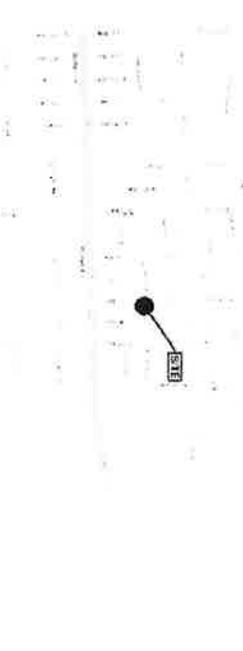
### SCOPE OF WORK

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.  
 2. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ENERGY CONSERVATION CODE.  
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### DRAWING LIST

- C1 CONN. SHEET
- C2 CONN. SHEET
- C3 CONN. SHEET
- C4 CONN. SHEET
- C5 CONN. SHEET
- C6 CONN. SHEET
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- C15 CONN. SHEET
- C16 CONN. SHEET
- C17 CONN. SHEET
- C18 CONN. SHEET
- C19 CONN. SHEET
- C20 CONN. SHEET

### VACINITY MAP







**THIS DOCUMENT WAS PREPARED BY,  
AND AFTER RECORDING PLEASE  
RETURN TO:**

Michael A. Marrs  
Klein, Thorpe and Jenkins, Ltd.  
20 North Wacker Drive, Suite 1660  
Chicago, Illinois 60606  
Box 324

PINS: **15-14-152-001-0000;**  
**15-14-152-002-0000; and**  
**15-14-152-003-0000**

## **REDEVELOPMENT AGREEMENT**

**THIS REDEVELOPMENT AGREEMENT** (the "**Agreement**") is made as of the Effective Date (as that term is defined herein) between the **VILLAGE OF MAYWOOD, an Illinois municipal corporation** (the "**Village**"), and **BP OPPORTUNITY INVESTMENTS LLC, an Illinois limited liability company** (the "**Developer**").

### **SECTION I – PRELIMINARY STATEMENTS.**

Among the matters of mutual inducement which have resulted in this Agreement are the following:

1. The Village is the owner of vacant parcels of land located at 1601 S. 5<sup>th</sup> Avenue, in the Village of Maywood, County of Cook, State of Illinois, and as more specifically legally described on **EXHIBIT 1** attached hereto (the "Properties") and made a part hereof.

2. The Village desires to convey and the Developer desires to acquire from the Village, subject to the terms and conditions set forth in this Agreement, all of the Village's right, title and interest in the Properties in an "**AS IS, WHERE IS,**" condition, including all environmental conditions associated with the soil and groundwater.

3. The Developer proposes to improve and develop the Properties as follows:

**Rehabilitation and redevelopment of the currently vacant lots with the following:**

**1601 S. 5<sup>th</sup> Avenue – Two (2) 2-flat buildings upon resubdivision of the lots.**

**Collectively, the foregoing are the "Improvements" and the purchase and rehabilitation of the Properties is the "Project." The estimated total cost of the Project is FIVE HUNDRED FIFTY THOUSAND and 00/100 DOLLARS (\$550,000.00).**

The proposed Improvements are as shown on the Village-approved exterior elevation documents (the "Plan Documents") attached hereto and made a part hereof as **GROUP EXHIBIT 2**. The Village's approval of the Plan Documents is only a preliminary approval of the Developer's concept plan for purposes of entering into this Agreement and does not constitute preliminary or final approval of any site or building plan approvals or zoning relief that the Developer needs to construct the Project.

The Corporate Authorities have determined that the sale of the Properties to Developer and construction by Developer of the Project pursuant to this Agreement represents a viable, productive use of the Properties and is in the best interests of the Village. In addition, the Corporate Authorities are of the opinion that the Properties, which are currently vacant and unused, and which have been vacant for a number of years, should be put to productive use and should be sold to the Developer because they are no longer necessary, appropriate, or required for use by the Village, and because the Project will serve the needs of the Village, beautify the Village, increase the quality residential housing stock of the Village, will result in additional property taxes and assist in stimulating growth and stabilizing the tax base.

## **SECTION II – TRANSFER OF PROPERTIES.**

1. **EFFECTIVE DATE/TERM.** This Agreement shall become effective as of the date that the Village Manager and Village Clerk sign the Agreement below (the "Effective Date") and shall terminate upon the earlier of: (i) notice of termination pursuant to any provision listed herein providing for such termination, or (ii) the earlier of three (3) years from the Effective Date, or completion of the Project, as evidenced by issuance of the final occupancy permit for the last of the homes to be built on the Properties.

2. **PURCHASE AND SALE.** The Village agrees to sell to the Developer, and the Developer agrees to purchase from the Village, all of the Village's right, title and interest in the Properties as described in **EXHIBIT 1** hereof; and all improvements, buildings, structures and attached fixtures (excluding any personal property and trade fixtures of the Village and/or any tenants of the Village, if any) located on the Properties, including any and all rights, privileges, easements and appurtenances, if any, thereunto belonging.

3. **PURCHASE PRICE/EARNEST MONEY.** The purchase price to be paid by the Developer to the Village for the Properties shall be ONE THOUSAND AND 00/100THS DOLLARS (**\$1,000.00**) ("Purchase Price"), payable at closing.

4. **INITIAL DEPOSIT – REIMBURSEMENT OF VILLAGE COSTS.** Developer has made an initial deposit with the Village of FOUR THOUSAND FIVE HUNDRED AND 00/100THS DOLLARS (\$4,500.00) in the form of a certified check or other certified funds within forty eight (48) hours of the Village's approval of an Ordinance authorizing the sale and this Agreement (the "Initial Deposit"). The purpose of the Initial Deposit is to provide an initial deposit towards the Purchase Price, along with funds to reimburse the Village for fees, costs and expenses incurred in the course of preparing, approving and carrying out this Agreement and the sale of the Properties, including but not limited to title and closing costs and fees, survey costs, attorneys' fees, and engineer's fees. Upon termination of this Agreement prior to closing for any reason, Developer shall be entitled to the prompt return of the balance of the Initial Deposit, minus any reimbursement costs incurred by the Village prior to termination. Developer shall receive a credit for the Initial Deposit at closing, but is responsible for payment of all fees, costs and expenses related to approving and carrying out this Agreement, including the sale of the Properties, to the extent such fees, costs and expenses exceeded the amount of the Initial Deposit.

5. **TITLE INSURANCE.** The Village, at the Developer's cost and expense, shall deliver to the Developer, a title commitment (the "**Title Commitment**") issued by Chicago Title Insurance Company (the "**Title Company**"), in the amount of the Purchase Price, subject only to (i) the exclusions and conditions contained in the Title Commitment; (ii) the restrictions and reservations, if any, contained in the Deed; (iii) utility and drainage easements and such other covenants, easements, restrictions and matters of record; (iv) any additional easements recommended by the Village Engineer to be part of the conveyance; and (v) acts done or suffered by or judgments against the Developer (collectively, the "**Permitted Exceptions**").

6. **SURVEY AND PLAT OF RESUBDIVISION.** The Developer, at Developer's cost, shall order and obtain boundary survey (the "**Survey**"), prepared by a surveyor licensed by the State of Illinois. The Developer, at Developer's cost, shall order and obtain a Plat of Resubdivision for 1601 S. 5<sup>th</sup> Avenue. Approval of the Plat of Resubdivision by the Board of Trustees of the Village is a precondition to closing. The Plat of Resubdivision shall be recorded, at the Developer's expense, following closing.

7. **DEED.** The Properties shall be conveyed to Developer by the Village through recordable quitclaim deeds (the "Deeds"). The Deeds shall provide that the Properties are being conveyed in "As Is, Where Is" condition, including any environmental conditions existing in, on or beneath the Properties." The Deed shall further require that the Properties be developed and maintained as set forth in this Agreement. If public utilities, street lighting, sanitary or storm sewers, fire hydrants and related water service lines, public sidewalks or any other above or below grade infrastructure or public improvements are located within any portion of the Properties to be sold, the Village shall reserve in the quitclaim deed, a public utility or sidewalk easement of sufficient size to accommodate the repair, replacement, or maintenance of the public facilities or the installation of additional public facilities. The Village Engineer, in his or her discretion, shall determine the size of the required easement area. The quitclaim deed will not remove or release any existing non-Village easement rights or other conditions of public record that are enforceable by other persons or private or public entities.

8. **CONDITION OF THE PROPERTIES.** The Developer acknowledges and agrees that the Properties are being conveyed to Developer by the Village in "AS IS, WHERE IS" condition, including any environmental conditions existing in, on or beneath the Properties. Except as provided for under this Agreement, the Village makes no representations or warranties regarding the physical, environmental or structural condition of the Properties or of any buildings thereon, including but not limited to layout, square footage, zoning, use and occupancy restrictions, susceptibility to flooding or with respect to the existence or absence of toxic or hazardous materials, substances or wastes in, on or affecting the Properties, their soil or groundwater, the scope and extent of any remediation performed on the Properties or the presence or lack of radon, asbestos, underground storage tanks, or other environmental contamination on, in or under the Properties. As part of this Agreement, the Village assigns to Developer any and all rights to any claims it may have against prior owners of the Properties pertaining to the environmental condition of the Properties, except for those rights necessary for the Village to retain to protect itself from such liability.

The Developer expressly acknowledges that it has not relied upon any representation or warranty made by either the Village or any officer, employee, agent or representative of the Village in connection with the Properties, including specifically, without limitation, any warranty or representation as to the condition of the personal property, if any, the Properties' planning status, topography, grading, climate, air, flood, water rights, water, utilities, present and future zoning, governmental entitlements and restrictions, soil, subsoil, paint or contamination of soil or water, access to public roads, habitability or fitness for any particular purpose, or the presence or absence of any hazardous material.

Developer acknowledges and understands that it is its responsibility to petition for and obtain any zoning relief necessary for the construction of the Project.

9. **DUE DILIGENCE PERIOD.**

A. At any and all times prior to Closing, Developer shall be entitled to perform any and all investigations, structural and system inspections with regard to the physical condition of the Properties, soil reports, engineering studies, surveys and other studies and tests on the Properties which the Developer may reasonably deem necessary, including Phase I and Phase II environmental assessments, as part of Developer's intended redevelopment of the Properties (collectively, the "**Inspections**"). Developer understands, acknowledges and agrees that any Inspections undertaken by him prior to Closing shall be at its sole risk and expense, and that the Village shall in no way be obligated to make reimbursement to it for such work should Closing not occur for any reason.

B. Developer's access to the Properties to perform the Inspections and Repairs shall be governed by a temporary access agreement with the Village.

C. In the event that the Inspections and Repairs reveal that the Properties are not suitable for the Developer's use, poses a material health, safety or environmental hazard, including the existence of any environmental condition which may be dangerous and/or unacceptable to the Developer, or the presence of any hazardous material, the Developer, shall have the right, in its sole and exclusive judgment, to terminate this Agreement prior to the Closing Date, upon written notice to the Village. If the Agreement is terminated under this Paragraph, the Village shall return the Initial Deposit to the Developer, minus any out-of-pocket expenses incurred by the Village, and each party shall otherwise pay its own costs and expenses incurred under this Agreement and shall not seek reimbursement, contribution or damages from or against the other party for such costs and expenses or damages of any other kind, including costs incurred by Developer relative to Inspections performed prior to termination.

D. If the Developer elects to terminate this Agreement pursuant to this Paragraph, Developer shall have the obligation, at the Village's sole discretion, to restore the Properties to their original condition prior to such Inspections, and indemnify the Village, as provided herein.

12. **NO DEBTS.** Developer is required to pay all fees, debts, judgments, penalties or other money due and owing the Village prior to or at closing on the parcel. Developer must not be delinquent on payment of any Cook County real estate taxes on property owned by it within the Village. Closing may not take place unless all amounts due are satisfied.

13. **OTHER CONDITIONS OF SALE.** Prior to Closing, Developer is required to provide satisfactory proof to the Village of adequate, available funding to complete the Project.

14. **CLOSING DATE.** The Closing Date for conveyance of the Properties shall be concurrent with, or within ninety (90) days of the approval and execution of this Agreement, unless a later date is mutually agreed to by the Parties.

**SECTION III – REDEVELOPMENT OF THE PROPERTIES**

1. **CONSTRUCTION OF IMPROVEMENTS.** Subject to delays caused by force majeure, the Developer shall, following conveyance of the Properties, initiate the construction of the Project on the Properties in substantial conformance with the Plan Documents attached hereto as part of **GROUP EXHIBIT 2** and made a part hereof, within eighteen (18) months from the Closing Date (the "Commencement Date"), and shall complete the Project within twelve (12) months from the Commencement Date. Said Project shall be as described in Section 1.3, and as more specifically described and depicted in the Plan Documents attached hereto as **GROUP EXHIBIT 2** and made a part hereof. If the Project is not commenced or completed on a timely basis as required herein, the Village's obligations under this Agreement may, following notice and at the sole option of the Village President and Board of

Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Properties and any improvements thereon back to the Village as further detailed in Section IV.1.A.

2. **TAXES, FEES AND CHARGES.** Developer agrees to promptly pay or cause to be paid as the same become due, any and all fees, taxes and governmental charges of any kind that may at any time be lawfully assessed with respect to the Project or required under this Agreement. Developer agrees to pay when due, any and all real estate taxes and special assessments with respect to the Properties, together with all improvements constructed or to be constructed on the Properties. If Developer fails to timely pay real estate taxes and special assessments when due as required by this Agreement, the Village may, following notice and at the sole option of the Village President and Board of Trustees, be declared terminated, in which case the Developer may be obligated to reconvey the Properties and any improvements thereon back to the Village as further detailed in Section IV.1.A.

#### **SECTION IV - GENERAL PROVISIONS.**

##### **1. DEFAULT.**

A. **Developer Breach.** In the event Developer fails or refuses to construct the Project on the Properties consistent with the Plan Documents making up **GROUP EXHIBIT 2** or as may be modified by mutual agreement of the parties, or fails or refuses to make the Improvements that comprise the Project within the relevant time frames provided for herein (subject to Force Majeure and weather conditions and the mutual agreement of the parties), fails to maintain the Improvements following construction, or fails to make timely payment of real estate taxes during the term of the Agreement and after closing, the Village may terminate this Agreement upon thirty (30) days notice. In such case, at the sole option and direction of the Village Board, and subject to the rights of Developer's lender(s), if any, Developer shall be obligated to (i) repay to the Village or the applicable taxing body amounts of all taxes, penalties and interest accrued against the Properties during the time period owned by the Developer; and (ii) reconvey title to the Properties by warranty deed (free and clear of any liens, encumbrances, easements or other conditions of title created by Developer or its agents that would prohibit the Village from acquiring fee simple good, marketable title to the Properties) to the Village pursuant to the notice of default, as liquidated damages for the default, both parties agreeing that under such circumstances actual damages are difficult to estimate but that repayment of taxes, penalties and interest and reconveyance of the Properties, if exercised by the Village, is the best estimate of damages, and the Village shall not have any responsibility for or obligation to pay Developer any other compensation, damages or penalties to Developer for the reconveyance of fee simple title to the Properties or improvements made by Developer thereto. Upon reconveyance by Developer, the Village shall have the right to re-enter and re-possess the Properties and those improvements and personal property that are not removed by Developer. The Village specifically acknowledges that any right of re-entry and repossession it may have is entirely subordinate to any mortgage or any other third party lien holder.

B. **Additional Default Provisions - Right to Terminate Before the Closing Date.** Anything to the contrary in this Agreement notwithstanding, this Agreement may be terminated prior to closing by either party or by mutual consent of the Village and Developer for any reason at any time prior to the Closing Date without any liability, damages or compensation, other than reimbursement of the Village's out-of-pocket expenses from the Initial Deposit, being paid to the other party.

2. **APPLICABLE LAW AND PARTIES BOUND.** This Agreement relates to the sale and improvement of Properties located in the State of Illinois. Accordingly, this Agreement, and all questions of interpretation, construction and enforcement hereof, and all controversies hereunder, shall be governed by the applicable statutory and common law of the State of Illinois. The parties, and their respective heirs, grantees, legal representatives, successors and permitted assigns, agree that for the purpose of any litigation relative to this Agreement and its enforcement, venue shall be in the Circuit Court of Cook County, Illinois, and the parties consent to the in personam jurisdiction of said Court for any such action or proceeding.

3. **ASSIGNMENT.** The Developer shall not assign or transfer the Developer's interest in this Agreement without the prior written consent of the Village, which consent may be withheld in the Village's sole discretion, and provided further, that the Developer shall not be released from its obligations hereunder as a result of such assignment. In the event the Village shall consent to an assignment, the Developer shall deliver to the Village a copy of the fully executed assignment and assumption by the Developer, as assignor and the assignee within five (5) business days of the closing on the assignment.

4. **SCHEDULE OF EXHIBITS, RIDERS AND ATTACHMENTS.** The following are attached hereto and made a part hereof.

<b>EXHIBIT 1</b>	Legal Description
<b>GROUP EXHIBIT 2</b>	Plan Documents Showing Improvements

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the dates set forth below their respective signatures.

**VILLAGE:**  
**VILLAGE OF MAYWOOD,**  
**an Illinois Municipal corporation,**

**DEVELOPER:**  
**BP OPPORTUNITY INVESTMENTS LLC,**  
**An Illinois limited liability company,**

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village Manager

Title: \_\_\_\_\_

ATTEST:

ATTEST:

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village Clerk

Title: \_\_\_\_\_

**DATE EXECUTED BY THE VILLAGE:**

**DATE EXECUTED BY DEVELOPER:**

\_\_\_\_\_

\_\_\_\_\_

**EXHIBIT 1**

(Legal Description of Properties)

**1601 South 5th Avenue (PIN: 15-14-152-001, -002 and -003):**

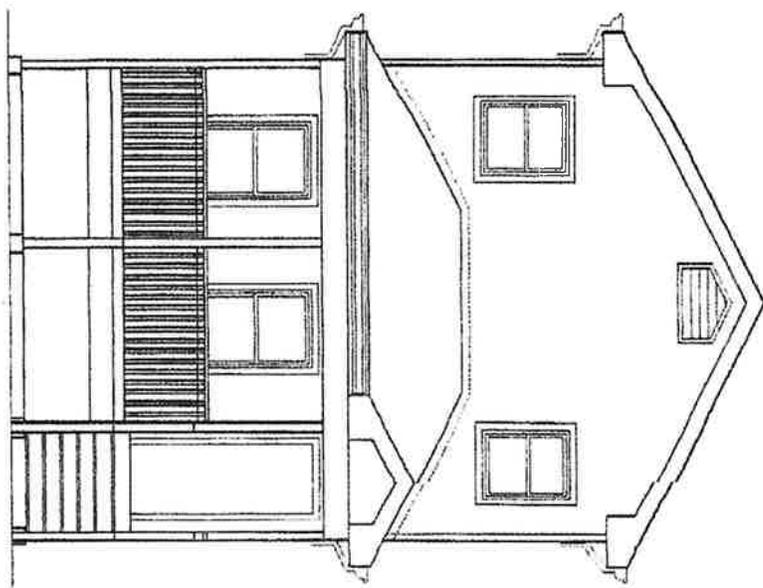
LOTS 1 AND 2 AND THE NORTH ½ OF LOT 3 IN BLOCK 179 IN MAYWOOD, A SUBDIVISION OF PARTS OF SECTIONS 2, 11 AND 14, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**GROUP EXHIBIT 2**

**PLAN DOCUMENTS SHOWING IMPROVEMENTS ON THE PROPERTIES**



**NEW SINGLE FAMILY RESIDENCE  
FOR PERMIT**  
1601 S 5 TH AVENUE  
MAYWOOD, ILLINOIS 60153



**CERTIFICATION STATEMENT**

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED WORK IS IN ACCORDANCE WITH THE CITY OF MAYWOOD ORDINANCES AND THAT THE PERMIT IS BEING ISSUED IN ACCORDANCE WITH THE CITY OF MAYWOOD ORDINANCES.

*[Signature]*  
CITY ENGINEER  
MAYWOOD, ILLINOIS

**ENERGY CONSERVATION CODE COMPLIANCE**

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED WORK IS IN ACCORDANCE WITH THE ENERGY CONSERVATION CODE OF THE CITY OF MAYWOOD, ILLINOIS.

*[Signature]*  
CITY ENGINEER  
MAYWOOD, ILLINOIS

**DESCRIPTION**

RESIDENTIAL CONSTRUCTION PERMIT FOR THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE ON A 1/4 ACRE LOT IN THE CITY OF MAYWOOD, ILLINOIS. THE PROJECT WILL INCLUDE THE CONSTRUCTION OF A TWO STORY RESIDENCE WITH A GABLED ROOF, FRONT PORCH, AND SIDE PORCH. THE PROJECT WILL ALSO INCLUDE THE CONSTRUCTION OF A GARAGE AND A DRIVEWAY. THE PROJECT WILL BE IN ACCORDANCE WITH THE CITY OF MAYWOOD ORDINANCES AND THE ENERGY CONSERVATION CODE OF THE CITY OF MAYWOOD, ILLINOIS.

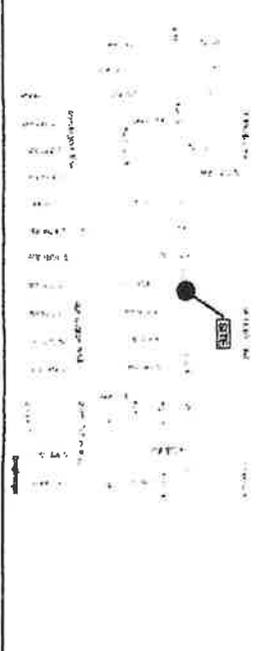
**SCOPE OF WORK**

THE PROJECT WILL INCLUDE THE CONSTRUCTION OF A TWO STORY RESIDENCE WITH A GABLED ROOF, FRONT PORCH, AND SIDE PORCH. THE PROJECT WILL ALSO INCLUDE THE CONSTRUCTION OF A GARAGE AND A DRIVEWAY. THE PROJECT WILL BE IN ACCORDANCE WITH THE CITY OF MAYWOOD ORDINANCES AND THE ENERGY CONSERVATION CODE OF THE CITY OF MAYWOOD, ILLINOIS.

**DRAWINGS LIST**

- 1. SITE PLAN
- 2. FLOOR PLAN
- 3. ELEVATION
- 4. SECTION
- 5. GARAGE PLAN
- 6. DRIVEWAY PLAN
- 7. ELECTRICAL PLAN
- 8. MECHANICAL PLAN
- 9. PLUMBING PLAN
- 10. ENERGY CONSERVATION PLAN

**VACANCY MAP**





STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the attached and foregoing is a true and correct copy of that certain Ordinance now on file in my Office, entitled:

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF CERTAIN REDEVELOPMENT AGREEMENTS AND AMENDING THE APPROVALS GIVEN IN ORDINANCE NO. CO-2019-08 APPROVING THE SALE AND CONVEYANCE OF CERTAIN SURPLUS VILLAGE-OWNED REAL PROPERTY COMMONLY KNOWN AS 4 SOUTH 20TH AVENUE, 126 SOUTH 13TH AVENUE, 203/205 SOUTH 15TH AVENUE, 711 SOUTH 9TH AVENUE, 431 SOUTH 14TH AVENUE, 1114 SOUTH 2ND AVENUE AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS UNDER THE VILLAGE'S TAX REACTIVATION PROGRAM**

**(BUNDLE NUMBER 1 AND BUNDLE NUMBER 2 AND 1601 SOUTH 5TH AVENUE, MAYWOOD, ILLINOIS)**

which Ordinance was passed by the Board of Trustees of the Village of Maywood at a Special Village Board Meeting on the \_\_\_ day of December, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the \_\_\_ day of December, 2020.

I further certify that the vote on the question of the passage of said Ordinance by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

AYES: \_\_\_\_\_  
NAYS: \_\_\_\_\_  
ABSENT: \_\_\_\_\_

I do further certify that the original Ordinance, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this \_\_\_ day of December, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

[SEAL]

**KTJ**KLEIN, THORPE & JENKINS, LTD.  
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Orland Park, Illinois 60462-5353  
T 708 349 3888 F 708 349 1506

www.ktjlaw.com

**MEMORANDUM**

**To: Mayor Edwenna Perkins and Board of Trustees, Village of Maywood**  
**From: Michael T. Jurusik**  
**Date: November 24, 2020**  
**Re: Meeting Schedule for Board of Trustees Meetings for Calendar Year 2021**

As required by the Open Meetings Act (5 ILCS 120/1 *et seq.*), I have prepared the enclosed document for your consideration and action at the December 3, 2020 Village Board Meeting:

**A RESOLUTION APPROVING THE REGULAR MEETING SCHEDULE  
OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD  
FOR CALENDAR YEAR 2021**

I have also enclosed a Calendar for Year 2021 (for reference in finalizing the meeting dates).

The draft Resolution sets the first and third Tuesdays of each month as the Regular Village Board Meeting dates for Calendar Year 2021, which is consistent with the meeting schedule for the Village Board Meetings as set forth in Section 30.28 (Regular Meetings) of the Maywood Village Code, subject to some deviations that track the 2020 Meeting Schedule approved by the Village Board. **The 2021 Meeting Schedule of meeting dates need to be reviewed and possibly modified to avoid potential conflicts with same week holidays or special event dates (e.g., Election Day, November 3) or municipal conferences.**

Attached at the end of this Memorandum are Section 30.28 (Regular Meetings) and Section 30.12 (Standing Committees) of the Maywood Village Code that govern the meeting schedule for the Village Board meetings and the Standing Committee meetings. The Standing Committees do not meet on a regular basis and instead meet "on call".

Per Section 2.02 and 2.03 of the Open Meetings Act (5 ILCS 120/2.02 and 2.03), the enclosed Resolution is to be adopted prior to December 31, 2020, so that the Village can inform the public and media of the regular dates, times and location of the meetings for calendar year 2021. A copy of the approved version of the Resolution should be sent to each media organization that has requested annual notice of the meetings.

If there are any questions, please contact me.

*Mike*

**Enclosures**

cc: Viola Mims, Village Clerk (w/ encls.)  
 Willie Norfleet, Jr., Village Manager (w/ encls.)  
 David Myers, Community Development Director (w/ encls.)  
 Lanya Satchell, Finance Director (w/ encls.)  
 LaSondra Banks, Human Resources Coordinator (w/ encls.)  
 John West, Director of Public Works (w/ encls.)  
 Craig Bronaugh, Fire Chief (w/ encls.)  
 Val Talley, Police Chief (w/ encls.)  
 Bill Peterhansen / Mark Lucas, Village Engineer (w/ encls.)  
 Michael A. Marrs (w/ encls.)

## Illinois Open Meetings Act

(5 ILCS 120/2.02 and 2.03)

Section 2.02. Public notice of all meetings, whether open or closed to the public, shall be given as follows:

- (a) Every public body shall give public notice of the schedule of regular meetings at the beginning of each calendar or fiscal year and shall state the regular dates, times, and places of such meetings....

Section 2.03. In addition to the notice required by Section 2.02, each body subject to this Act must, at the beginning of each calendar or fiscal year, prepare and make available a schedule of all its regular meetings for such calendar or fiscal year, listing the times and places of such meetings.

If a change is made in regular meeting dates, at least 10 days' notice of such change shall be given by publication in a newspaper of general circulation in the area in which such body functions. However, in the case of bodies of local governmental units with a population of less than 500 in which no newspaper is published, such 10 days' notice may be given by posting a notice of such change in at least 3 prominent places within the governmental unit. Notice of such change shall also be posted at the principal office of the public body or, if no such office exists, at the building in which the meeting is to be held. Notice of such change shall also be supplied to those news media which have filed an annual request for notice as provided in paragraph (b) of Section 2.02.

## Maywood Village Code

### SECTION 30.28 REGULAR MEETINGS.

**Regular meetings of the Board of Trustees shall be held** in the Council Chambers located at 125 South Fifth Avenue, Maywood, **on the first and third Tuesdays of each month at 7:00 p.m.** or immediately following the adjournment of any Board of Local Improvement meeting, or other committee meetings, commission meetings or special board meetings held on such evening, whichever occurs first. The Board of Trustees may by motion change either the location or time of a specifically designated meeting.

### SECTION 30.12 STANDING COMMITTEES.

(A) *Membership, duties, and appointment.* Standing committees of the Village Board of Trustees are established to assist the Village President and Board of Trustees in reviewing various Village policies, issues, and proposed legislation. All standing committees shall consist of at least 3 members each, including the Chairperson, all of whom shall also be members of the Board of Trustees. All standing committee members shall be appointed by the Village President with the advice and consent of the Board of Trustees. All standing committees shall meet monthly at a time and place determined by its members, or as otherwise set forth in this section.

(B) *Limitations on authority.* Standing committees are recommending bodies only and may not take final action on any matter. Standing committees are not authorized to administer the day-to-day operations of the Village or its departments, which will remain the duty of the Village Manager and Village staff. In no event shall a committee member meet to discuss committee business without informing the other committee members of the time and purpose of the meeting. All standing committees are subject to the provisions of the Illinois Open Meetings Act (5 ILCS 120/1 *et seq.*). Standing committees shall not send correspondence to any person, other than to a department head, without prior approval of the Village President and Village Board.

(C) *Standing committees established.* The following shall be the standing committees of the Village Board of Trustees:

(1) *Legal, License and Ordinance Committee.* A Legal, License and Ordinance Committee shall exist as a standing committee. Said Legal, License and Ordinance Committee shall consist of the Mayor and all Trustees currently holding office and the Mayor shall serve as its Chairperson. The Chief of Police, Corporation Counsel, Village Attorney, Village Prosecutor and Business Regulations Officer shall be *ex officio* members of the Legal, License and Ordinance Committee. **The Legal, License and Ordinance Committee shall meet as necessary at a time and place to be determined by the members....**

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION APPROVING THE REGULAR MEETING SCHEDULE  
OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD  
FOR CALENDAR YEAR 2021**

**WHEREAS**, Section 2.03 (Schedule of Meetings) of the Open Meetings Act (5 ILCS 120/2.03) requires the President and Board of Trustees of the Village of Maywood to approve by Resolution their regular meeting schedule for each calendar year and to make the schedule available to the public and any news medium that has filed an annual request for notice of meetings in accordance with the requirements of the Open Meetings Act; and

**WHEREAS**, the President and Board of Trustees of the Village of Maywood desire to approve their Regular Meeting Schedule for the Village Board of Trustees Meetings for the 2021 calendar year, as set forth below, in accordance with Section 2.03 (Schedule of Meetings) of the Open Meetings Act (5 ILCS 120/2.03) and Section 30.28 (Regular Meetings) of the Maywood Village Code.

**NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1:** The President and Board of Trustees approve of the schedule of their **Regular Village Board of Trustees Meetings for the 2021 calendar year** as set forth below:

<b>January:</b>	<b>First Tuesday (January 5) and Third Tuesday (January 19)</b>
<b>February:</b>	<b>First Tuesday (February 2) and Third Tuesday (February 16)</b>
<b>March:</b>	<b>First Tuesday (March 2) and Third Tuesday (March 16)</b>
<b>April:</b>	<b>First Tuesday (April 6) and Third Tuesday (April 20)</b>
<b>May:</b>	<b>First Tuesday (May 4) and Third Tuesday (May 18)</b>
<b>June:</b>	<b>First Tuesday (June 1)</b>
<b>July:</b>	<b>Second Tuesday (July 13)</b>
<b>August:</b>	<b>Third Tuesday (August 17)</b>
<b>September:</b>	<b>First Tuesday (September 7) and Third Tuesday (September 21)</b>
<b>October:</b>	<b>First Tuesday (October 5) and Third Tuesday (October 19)</b>
<b>November:</b>	<b>First Wednesday (November 3) and Third Tuesday (November 16)</b>
<b>December:</b>	<b>First Tuesday (December 7) (2021 Tax Levy Hearing) and Third Tuesday (December 21)</b>

The starting time for the above meetings shall be 7:00 P.M. The meetings shall be conducted in the Council Chambers located at 125 South 5th Avenue in Maywood. Regarding any cancelled regular meeting dates, or if the President and Board of Trustees decide to conduct special meetings on other dates or in place of cancelled meetings, the required notice and agenda for any such special or rescheduled meeting shall be posted in accordance with the Open Meetings Act.

**SECTION 2:** The President and Board of Trustees direct the Village Clerk to make this Resolution available to the public and any news medium that has filed an annual request for notice of meetings in accordance with the requirements of the Open Meetings Act, as amended.

**ADOPTED** this \_\_\_\_ day of December, 2020, pursuant to a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** this \_\_\_\_ day of December, 2020, by the Village President of the Village of Maywood, and attested by the Village Clerk, on the same day.

\_\_\_\_\_  
Edwenna Perkins, Village President

**ATTEST:**

\_\_\_\_\_  
Viola Mims, Village Clerk

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the annexed and foregoing is a true and correct copy of that certain Resolution now on file in my Office, entitled:

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING THE REGULAR MEETING SCHEDULE  
OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD  
FOR CALENDAR YEAR 2021**

which Resolution was passed by a roll call vote of the Board of Trustees of the Village of Maywood at a Special Village Board Meeting on the \_\_\_ day of December, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the \_\_\_ day of December, 2020.

I further certify that the vote on the question of the passage of said Resolution by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

**AYES:**

**NAYS:**

**ABSENT:**

I do further certify that the original Resolution, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this \_\_\_ day of December, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

**[SEAL]**

# MAYwood Board Meetings

## 2021

JANUARY 2021	FEBRUARY 2021	MARCH 2021	APRIL 2021																																																																																																																																																																																						
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# 2021 Important Dates

New Year's Day	Fri Jan 1	Father's Day	Sun Jun 20
Martin Luther King Jr. Day	Mon Jan 18	St. Jean Baptiste Day (Quebec)	Thu Jun 24
Constitution Day (Mexico)	Mon Feb 1	Canada Day (Canada)	Thu Jul 1
Chinese New Year	Fri Feb 12	Independence Day	Sun Jul 4
Valentine's Day	Sun Feb 14	(Eid) al Adha begins at sundown	Mon Jul 19
Presidents' Day	Mon Feb 15	Civic Holiday (Canada)	Mon Aug 2
Ash Wednesday	Wed Feb 17	First of Muharram begins at sundown	Mon Aug 9
Flag Day (Mexico)	Wed Feb 24	Ashura begins at sundown	Wed Aug 18
Purim begins at sundown	Thu Feb 25	Labor Day	Mon Sep 6
Daylight Saving Time begins	Sun Mar 14	Rosh Hashanah begins at sundown	Mon Sep 6
Eastern Orthodox Lent begins	Mon Mar 15	Patriot Day	Sat Sep 11
Benito Juarez's Birthday observed (Mexico)	Mon Mar 15	Grandparents Day	Sun Sep 12
St. Patrick's Day	Wed Mar 17	Yom Kippur begins at sundown	Wed Sep 15
Passover begins at sundown	Sat Mar 27	Independence Day (Mexico)	Thu Sep 16
Palm Sunday	Sun Mar 28	Columbus Day	Mon Oct 11
Good Friday	Fri Apr 2	Thanksgiving (Canada)	Mon Oct 11
Easter	Sun Apr 4	Day of the Race (Mexico)	Tue Oct 12
Easter Monday (Canada)	Mon Apr 5	National Bosses Day	Sat Oct 16
Holocaust Remembrance Day	Thu Apr 8	United Nations Day	Sun Oct 24
First of Ramadan begins at sundown	Mon Apr 12	Halloween	Sun Oct 31
Administrative Professionals Day	Wed Apr 21	All Saints Day	Mon Nov 1
Earth Day	Thu Apr 22	Election Day	Tue Nov 2
May Day	Sat May 1	All Souls Day	Tue Nov 2
Labor Day (Mexico)	Sat May 1	Daylight Saving Time ends	Sun Nov 7
Eastern Orthodox Easter	Sun May 2	Veterans Day	Thu Nov 11
Battle of Puebla Day (Mexico)	Wed May 5	Remembrance Day (Canada)	Thu Nov 11
National Day of Prayer	Thu May 6	Revolution Day (Mexico)	Mon Nov 15
Mother's Day	Sun May 9	Thanksgiving	Thu Nov 25
Mother's Day (Mexico)	Mon May 10	Hanukkah begins at sundown	Sun Nov 28
(Eid) al Fitr begins at sundown	Wed May 12	Pearl Harbor Remembrance Day	Tue Dec 7
Armed Forces Day	Sat May 15	Virgin of Guadalupe (Mexico)	Sun Dec 12
Victoria Day (Canada)	Mon May 24	Christmas	Sat Dec 25
Memorial Day	Mon May 31	Kwanzaa begins	Sun Dec 26
D-Day	Sun Jun 6	Boxing Day (Canada)	Sun Dec 26
Flag Day	Mon Jun 14	New Year's Eve	Fri Dec 31

**Village of Maywood  
Interdepartmental Memorandum**

**TO:** Village Mayor and Board of Trustees  
**FROM:** Willie Norfleet, Village Manager  
**DATE:** November 24, 2020  
**SUBJECT:** Payment Approval, M&J Asphalt Paving Co.,

**SPECIFIC ACTION REQUESTED:** Payment approval of the attached invoice #220053 for construction on the referenced project dated 10/27/2020 for project that includes improvements to 19<sup>th</sup> Avenue from Harrison Street to Van Buren Street. The scope of work includes intermittent combined sewer system repairs, intermittent removal and replacement of concrete curb and gutter, and sidewalks: excavation of the existing pavement and subgrade; installation of a geotechnical stabilization fabric, aggregate base course, full depth Hot-Mix Asphalt Binder, and Hot-Mix Asphalt Surface Course, landscaping restoration of disturbed sections of the parkways and thermoplastic pavement markings.

The work represented on this pay estimate includes work constructed as of November 22, 2020. We have inspected the work and found the work represented by the quantities on this estimate satisfactorily completed to date. We have also reviewed the current project quantities with representatives of M&J Asphalt Paving Co., Inc and have found them to be an accurate reflection of the quantities completed on the project.

**RECOMMENDATION:** It is recommendation that the total payments of \$165,434.07 be approved for payment. The expense account to be charged: 01-50-52400.

November 24, 2020

Mr. Willie Norfleet, Jr.  
Village Manager  
Village of Maywood  
40 Madison Street  
Maywood, Illinois 6013

**Recommended To Be Paid**

Dept. Head: Willie Norfleet

Expense Acct: 1-50-52900

Re: 2020 MFT Roadway Improvements Project  
Pay Estimate No. 1

Date: \_\_\_\_\_ PO # \_\_\_\_\_

Dear Mr. Norfleet:

M&J Asphalt Paving Co., Inc. began construction on the referenced project on October 27, 2020 and has reached substantial completion.

The project includes improvements to 19<sup>th</sup> Avenue from Harrison Street to VanBuren Street. The scope of work includes intermittent combined sewer system repairs, intermittent removal and replacement of concrete curb and gutter, and sidewalks; excavation of the existing pavement and subgrade; installation of a geotechnical stabilization fabric, aggregate base course, full depth Hot-Mix Asphalt Binder, and Hot-Mix Asphalt Surface Course, landscaping restoration of disturbed sections of the parkways and thermoplastic pavement markings.

The work represented on this pay estimate includes work constructed as of November 22, 2020. We have inspected the work and found the work represented by the quantities on this estimate satisfactorily completed to date. We have also reviewed the current project quantities with representatives of M&J Asphalt Paving Co., Inc., and have found them to be an accurate reflection of the quantities completed on the project.

We therefore recommend that the Village of Maywood approve the payment of the Contractor's Invoice No. 2020-1317-001 in the amount of \$165,434.07. We have attached the Contractor's Affidavit and Waivers of Lien for this Pay Estimate No. 1. The construction of the project was approved by the Board via change order and is being funded through the General Fund.

If you should have any questions, please call our office at your convenience.

Respectfully Submitted,

EDWIN HANCOCK ENGINEERING CO.



William Peterhansen, P.E., CFM

cc: Mr. John West, Director of Public Works  
Mr. Mike Denault, M&J Asphalt Paving Co., Inc.

Enclosures

2020 MFT Roadway Improvements  
 Owner: Village of Maywood  
 Contractor: M & J Asphalt Company Inc.  
 Engineer: Hancock Engineering Co.  
 Engineer's Pay Estimate No. 1  
 Date: November 22, 2020

No.	Item	Unit	APPROVED QUANTITY BY CHANGE ORDER		AS CONSTRUCTED QUANTITY			Unit Price	Amount
			Quantity	Value	Overage	Remaining	Completed		
1	Combination Curb and Gutter	Foot	3	\$167.34	0	0	3.10	\$ 55.78	\$ 172.92
2	Sidewalk Removal	SqFt	1,469	5,405.92	26	0	1,494.80	3.68	5,500.86
3	Driveway Pavement Removal	SqYd	0	0.00	-	0	0.00	13.00	-
4	Pavement Removal (Streets)	SqYd	1,950	27,066.00	-	45	1,905.10	13.88	26,442.79
5	Frame and Lids to be Adjusted	Each	3	1,575.00	-	1	2.00	525.00	1,050.00
6	Frames and Lids	Each	2	630.00	1	0	3.00	315.00	945.00
7	Structure to be Reconstructed	Each	2	5,250.00	-	0	2.00	2,625.00	5,250.00
8	Inlet Filters	Each	6	630.00	-	6	0.00	105.00	-
9	Comb Concrete, C&G, Type B-6.12 (Modified)	Foot	3	489.90	0	0	3.10	163.30	506.23
10	PCC Sidewalk, 5"	SqFt	1,469	11,752.00	26	0	1,494.80	8.00	11,958.40
11	PCC Driveway, 7"	SqYd	0	0.00	-	0	0.00	55.50	-
12	Detectable Warnings	SqFt	100	2,800.00	-	0	100.00	28.00	2,800.00
13	Trench Backfill	CuYd	15	15.75	-	0	15.00	1.05	15.75
14	White Wax Compound	SqYd	164	570.72	-	164	0.00	3.48	-
15	Incidental HMA Surface Removal	SqYd	0	0.00	-	0	0.00	9.00	-
16	HMA Surface Removal. Butt Joint	SqYd	100	3,025.00	-	16	84.50	30.25	2,556.13
17	HMA Binder Course, IL-19.0, N50 (Reconstr) 4"	Ton	475	39,002.25	-	16	459.00	82.11	37,688.49
18	HMA Surface Course, Mix D, N50, 2"	Ton	250	24,187.50	-	31	219.00	96.75	21,188.25
19	Bituminous Materials (Tack Coat) SS-1	Lbs	450	45.00	-	160	290.00	0.10	29.00
20	Geogrid for Ground Stabilization	SqYd	1,950	3,861.00	-	45	1,905.10	1.98	3,772.10
21	Aggregate Base Course, Type B, 6"	SqYd	1,950	19,773.00	-	45	1,905.10	10.14	19,317.71
22	Topsoil Placement, 4"	SqYd	100	1,080.00	26	0	126.20	10.80	1,362.96
23	Sodding	SqYd	100	1,000.00	26	0	126.20	10.00	1,262.00
24	Thermoplastic Pavement Marking - Line 6"	Foot	225	2,250.00	-	225	0.00	10.00	-
25	Thermoplastic Pavement Marking - Line 24"	Foot	75	1,125.00	-	75	0.00	15.00	-
26	12" Diameter PVC Combined Sewer Replacement	Foot	0	0.00	-	0	0.00	685.00	-
27	15" Diameter PVC Combined Sewer Replacement	Foot	6	5,985.00	2	0	8.20	997.50	8,179.50
28	10" Diameter PVC Storm Sewer	Foot	0	0.00	-	0	0.00	47.25	-
29	23" Diameter PVC Storm Sewer	Foot	0	0.00	-	0	0.00	47.25	-
30	Inlet, Type A, Type 1 Frame, Open Lid	Each	0	0.00	-	0	0.00	3,150.00	-
31	Restricted Depth Catch Basin, 4' Diameter, Type 1 Frame, O.L.	Each	0	0.00	-	0	0.00	5,250.00	-
32	Connection to Existing Structure	Each	0	0.00	-	0	0.00	525.00	-
33	Earth Excavators	CuYd	250	10,500.00	-	38	211.67	42.00	8,890.14
34	Removal and Disposal of Unsuitable Material	CuYd	125	5,000.00	25	0	150.20	40.00	6,008.00
35	Porous Granular Embankment Subgrade	CuYd	125	5,000.00	25	0	150.20	40.00	6,008.00
36	Traffic Control and Protection	L.S.	1	2,945.00	-	0	1.00	2,945.00	2,945.00
37	HMA - Longitudinal Joint Sealant	Foot	600	7,830.00	-	11	589.00	13.05	7,686.45
38	Mobilization @ 3%	L.S.	1	2,280.00	-	0	1.00	2,280.00	2,280.00

Total	\$191,241.38	\$ 183,815.64
Retainer (10%)		\$ 18,381.56
Total Amount Due, Estimate No. 1		\$ 165,434.07

**- INVOICE -**



Asphalt Paving & Patching • Concrete Installation & Repair • Sealcoating • Striping • Excavating • Decorative Paving • Snow & Ice Control

**INVOICE**

**M & J ASPHALT PAVING COMPANY, INC.**

3124 S. 60th COURT  
 CICERO, ILLINOIS 60804  
 Suburbs 708/222-1200 · Chicago: 773/582-3555 · FAX 708/222-1213  
 www.mjasphaltpaving.com

<b>INVOICE DATE</b>	<b>CUSTOMER NO.</b>	<b>INVOICE NUMBER</b>
11/24/2020	2020-1317	2020-1317-001
<b>P.O. NUMBER</b>	<b>WORK ORDER NO.</b>	<b>SHIP DATE</b>

**TO:** Village of Maywood  
 40 Madison Street  
 Maywood, IL 60153

**JOB SITE:** Village of Maywood  
 2020 MFT Roadway Improvements  
 19th Street, Maywood, IL 60153  
 19th Street, Maywood, IL 60153

ESTIMATE No.

SALES PERSON		TERMS	SHIP VIA		F.O.B.
ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
	Please see attached for itemized invoice detail.				
				Estimate No. TOTAL	\$ 183,815.64
				Less <u>10%</u> Retention	\$ 18,381.56
				Subtotal	\$ 165,434.07
				Amount Received	\$ -
167	Estimate No. Amount Due				\$ 165,434.07



Asphalt Paving & Patching • Concrete Installation & Repair • Sealcoating • Striping • Excavating • Decorative Paving • Snow & Ice Control

Village of Maywood  
 2020 MFT Roadway Improvements  
 19th Street, Maywood, IL 60153  
 19th Street, Maywood, IL 60153  
 11/24/2020

**Estimate # 1**

ITEM	QUANTITY	UNIT PRICE	AMOUNT
1.) Combination Curb and Gutter Removal	3.10 L.F.	55.78 \$	172.92
2.) Sidewalk Removal	1,494.80 S.F.	3.68 \$	5,500.86
3.) Driveway Pavement Removal	0.00 S.Y.	13.00 \$	-
4.) Pavement Removal (Streets)	1,905.10 S.Y.	13.88 \$	26,442.79
5.) Frames and Lids to be Adjusted	2.00 EA	525.00 \$	1,050.00
6.) Frames and Lids	3.00 EA	315.00 \$	945.00
7.) Structures to be Reconstructed	2.00 EA	2,625.00 \$	5,250.00
8.) Inlet Filters	0.00 EA	105.00 \$	-
9.) Comb. Concrete Curb and Gutter, Type B-6.12 (Modified)	3.10 L.F.	163.30 \$	506.23
10.) Portland Cement Concrete Sidewalk, 5"	1,494.80 S.F.	8.00 \$	11,958.40
11.) Portland Cement Concrete Driveway, 7"	0.00 S.Y.	55.50 \$	-
12.) Detectable Warnings	100.00 S.F.	28.00 \$	2,800.00
13.) Trench Backfill	15.00 C.Y.	1.05 \$	15.75
14.) White Wax Compound	0.00 S.Y.	3.48 \$	-
15.) Incidental HMA Surface Removal	0.00 S.Y.	9.00 \$	-
16.) Hot-Mix Asphalt Surface Removal, Butt Joint	84.50 S.Y.	30.25 \$	2,556.13
17.) Hot-Mix Asphalt Binder Course, IL-19.0, N50 (Reconstruction) 4"	459.00 Tons	82.11 \$	37,688.49
18.) Hot-Mix Asphalt Surface Course, Mix 'D', N50, 2"	219.00 Tons	96.75 \$	21,188.25
19.) Bituminous Materials (Tack Coat) SS-1	290.00 Lbs	0.10 \$	29.00
20.) Geogrid for Ground Stabilization	1,905.10 S.Y.	1.98 \$	3,772.10
21.) Aggregate Base Course, Type B, 6"	1,905.10 S.Y.	10.14 \$	19,317.71
22.) Topsoil Placement, 4"	126.20 S.Y.	10.80 \$	1,362.96
23.) Sodding	126.20 S.Y.	10.00 \$	1,262.00
24.) Thermoplastic Pavement Marking - Line 6"	0.00 L.F.	10.00 \$	-
25.) Thermoplastic Pavement Marking - Line 24"	0.00 L.F.	15.00 \$	-
26.) 12" Diameter PVC Combined Sewer Replacement	0.00 L.F.	685.00 \$	-
27.) 15" Diameter PVC Combined Sewer Replacement	8.20 L.F.	997.50 \$	8,179.50
28.) 10" Diameter PVC Storm Sewer	0.00 L.F.	47.25 \$	-
29.) 12" Diameter PVC Storm Sewer	0.00 L.F.	47.25 \$	-
30.) Inlet, Type A, Type 1 Frame, Open Lid	0.00 EA	3,150.00 \$	-
31.) Restricted Depth Catch Basin, 4' Diameter, Type 1 Frame, Open Lid	0.00 EA	5,250.00 \$	-
32.) Connection to Existing Structure	0.00 EA	525.00 \$	-
33.) Earth Excavation	211.67 C.Y.	42.00 \$	8,890.10
34.) Removal and Disposal of Unsuitable Material	150.20 C.Y.	40.00 \$	6,008.00
35.) Porous Granular Embakment, Subgrade	150.20 C.Y.	40.00 \$	6,008.00

36.) Traffic Control and Protection	1.00 L.S.	2,945.00	\$	2,945.00
37.) HMA - Longitudinal Joint Sealant	589.00 L.F.	13.05	\$	7,686.45
38.) Mobilization @ 3%	1.00 L.S.	2,280.00	\$	2,280.00
39.)	0.00		\$	-
40.)	0.00		\$	-



PAGE 2 of 2

Asphalt Paving & Patching • Concrete Installation & Repair • Sealcoating • Striping • Excavating • Decorative Paving • Snow & Ice Control

Village of Maywood  
 2020 MFT Roadway Improvements  
 19th Street, Maywood, IL 60153  
 19th Street, Maywood, IL 60153  
 11/24/2020

Estimate # 1

ITEM	QUANTITY	UNIT PRICE	AMOUNT
41.)	0.00		\$ -
42.)	0.00		\$ -
43.)	0.00		\$ -
44.)	0.00		\$ -
45.)	0.00		\$ -
46.)	0.00		\$ -
47.)	0.00		\$ -
48.)	0.00		\$ -
49.)	0.00		\$ -
50.)	0.00		\$ -
51.)	0.00		\$ -
52.)	0.00		\$ -
53.)	0.00		\$ -
54.)	0.00		\$ -
55.)	0.00		\$ -
56.)	0.00		\$ -
57.)	0.00		\$ -
58.)	0.00		\$ -
59.)	0.00		\$ -
60.)	0.00		\$ -
61.)	0.00		\$ -
62.)	0.00		\$ -
63.)	0.00		\$ -
64.)	0.00		\$ -
<b>Estimate # 1 TOTAL</b>			<b>\$ 183,815.64</b>
	<b>Less 10% Retention</b>		<b>\$ 18,381.56</b>
	<b>Subtotal</b>		<b>\$ 165,434.07</b>
	<b>Amount Received</b>		<b>\$ -</b>
	<b>Amount Due Estimate # 1</b>		<b>\$ 165,434.07</b>

## WAIVER OF LIEN TO DATE

STATE OF ILLINOIS  
COUNTY OF COOK

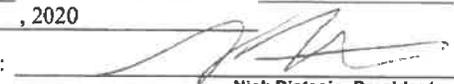
Gty# \_\_\_\_\_  
Loan # \_\_\_\_\_

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by Village of Maywood  
to furnish Roadway Improvements - 19th Avenue, Maywood, IL  
for the premises known as 2020 MFT Roadway Improvements, 19th Avenue, Maywood, IL  
of which Village of Maywood is the owner.

THE undersigned, for and in consideration of One Hundred Sixty Five Thousand Four Hundred Thirty Four & 7/100  
(\$ 165,434.07) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged, do(es) hereby  
waive and release any and all lien or claim of, or right to, lien under the statutes of the State of Illinois, relating to mechanics' liens, with respect to  
and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the  
moneys, funds or other considerations due or to become due from the owner, on account of labor services, material, fixtures, apparatus or  
machinery, furnished to this date by the undersigned for the above-described premises.

Given under MY hand and seal this  
24th day of November, 2020

Signature and Seal:   
Nick Distasio, President

**NOTE:** All waivers must be for the full amount paid. If waiver is for a corporation, corporate name should be used, corporate seal affixed and title of officer signing waiver should be set forth; if waiver is for a partnership, the partnership name should be used, partner should sign and designate himself as partner.

## CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS  
COUNTY OF COOK

TO WHOM IT MAY CONCERN:

THE undersigned being duly sworn, deposes and says that he/she is Nick Distasio, President  
of the M & J ASPHALT PAVING COMPANY, INC.  
who is the contractor for the Roadway Improvements - 19th Avenue, Maywood, IL work on the building  
located at 2020 MFT Roadway Improvements, 19th Avenue, Maywood, IL  
owned by Village of Maywood

That the total amount of the contract including extras is \$ 183,815.64 on which he/she has received payment of  
\$ \_\_\_\_\_ prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that  
there is no claim either legal or equitable to defeat the validity of said waivers. That the following are the names of all parties who have furnished  
material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for material entering  
into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor and material  
required to complete said work according to plans and specifications.

NAMES	WHAT FOR	CONTRACT PRICE	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
M & J Asphalt Paving Company, Inc.	Asphalt & Concrete	\$140,450.05	\$0.00	\$122,068.48	\$18,381.57
Suburban General Construction, Inc.	Sewer & Utility Work	\$14,515.00	\$0.00	\$14,515.00	\$0.00
Builders Asphalt LLC	Hot-Mix Asphalt	\$21,143.90	\$0.00	\$21,143.90	\$0.00
LeHigh Hanson, Inc.	Aggregate	\$7,706.69	\$0.00	\$7,706.69	\$0.00
<b>TOTAL LABOR AND MATERIAL TO COMPLETE</b>		<b>\$183,815.64</b>	<b>\$0.00</b>	<b>\$165,434.07</b>	<b>\$18,381.57</b>

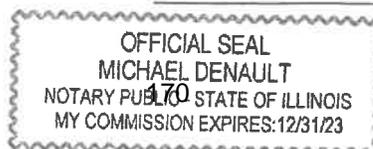
That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated.

Signed this 24th day of November, 2020

Signature:   
Nick Distasio, President

Subscribed and sworn to before me this 24th day of November, 2020

  
NOTARY PUBLIC



**KTJ**KLEIN, THORPE & JENKINS, LTD.  
Attorneys at Law20 N. Wacker Drive, Ste 1660  
Chicago, Illinois 60606-2903  
T 312 984 6400 F 312 984 6444

www.ktjlaw.com

15010 S. Ravinia Avenue, Ste 10  
Orland Park, Illinois 60462-5353  
T 708 349 3888 F 708 349 1506**MEMORANDUM**

**TO: Mayor Edwenna Perkins and Board of Trustees, Village of Maywood**  
**FROM: Michael T. Jurusik**  
**DATE: November 24, 2020**  
**RE: Resolution Approving and Authorizing the Execution of Ground Penetration Work and Temporary Access Agreement (1002 South 6th Avenue)**  
**Developer: Access Health & Housing, LLC**

---

Per the request of the Developer, Access Health & Housing, LLC (an affiliate of IFF) and the Community Development Department, I have prepared the following draft documents for your review, consideration and action at an upcoming Village Board Meeting:

RESOLUTION APPROVING AND AUTHORIZING THE EXECUTION OF AUTHORIZATION, ACKNOWLEDGMENT AND INDEMNIFICATION FOR GROUND PENETRATION WORK AND TEMPORARY ACCESS AGREEMENT (1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois) - Access Health & Housing, LLC

The enclosed Resolution approves a temporary access agreement to allow the Developer and the Developer's affiliates to perform an on-site environmental assessment, including taking and testing soil samples and ground water, (i.e., a Phase I and/or Phase II environmental site assessment) of the real property located at 1002 South 6th Avenue, Maywood, Illinois in advance of entering into a redevelopment agreement for the purchase of the property.

If there are any questions, please contact me.

*Mike*

## Enclosures

cc. Viola Mims, Village Clerk (w/ encls.)  
Willie Norfleet, Jr., Village Manager (w/ encls.)  
David Myers, Director of Community Development (w/ encls.)  
Angela Smith, Business Coordinator (w/ encls.)  
Bill Peterhansen / Mark Lucas, Village Engineer (w/ encls.)  
Michael A. Marrs (w/ encls.)

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION APPROVING AND AUTHORIZING THE EXECUTION OF  
AUTHORIZATION, ACKNOWLEDGEMENT AND INDEMNIFICATION FOR  
GROUND PENETRATION WORK AND TEMPORARY ACCESS AGREEMENT  
(1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois)**

**(Access Health & Housing, LLC)**

**WHEREAS**, the President and Board of Trustees of the Village of Maywood, Illinois (the "Village") desire to grant, approve and authorize the execution of an Authorization, Acknowledgement and Indemnification for Ground Penetration Work and Temporary Access Agreement ("Agreement"), attached and incorporated herein as **Exhibit "A"**. The Agreement, which is between the Village of Maywood and Access Health & Housing, LLC ("Developer"), creates the necessary authorization for temporary access and ground penetration work for the Developer and the Developer's affiliates to conduct a Phase I and/or Phase II environmental site assessment of the real property located at 1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois ("Subject Property") and to install soil borings on and collect soil and ground water samples from the Subject Property ("Work"); and

**WHEREAS**, the Subject Property, legally described in **Exhibit "B"**, is currently vacant and owned, operated, maintained, and otherwise controlled by the Village. The Subject Property is located within the Madison Street/Fifth Avenue Tax Increment Financing District, pursuant to the provisions of the "Tax Increment Allocation Redevelopment Act," 65 ILCS 5/11-74.4-1 *et seq.*, as amended (the "TIF Act"); and

**WHEREAS**, the Village of Maywood, a home rule Illinois municipal corporation, has the authority to approve the Agreement pursuant to its home rule powers and contracting authority provided by Article VII, Sections 6 and 10(a) of the Illinois Constitution of 1970, and finds that approving the Agreement is in the best interests of the Village.

**NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1:** Each Whereas paragraph above is incorporated by reference into this Section 1 and made a part hereof as material and operative provisions of this Resolution.

**SECTION 2:** The President and Board of Trustees of the Village of Maywood approve and authorize the execution of the Agreement for the benefit of the Village. The President and Board of Trustees of the Village of Maywood further authorize and direct the Village President and the Village Clerk, or their designees, or the Village Manager, or his/her designee, to execute and deliver the final version of the Agreement, attached hereto as **Exhibit "A"**, which may contain certain non-substantive and non-financial modifications that are approved by the Village Manager, and all other instruments and documents that are necessary to fulfill the Village's obligations under the Agreement.

**SECTION 3:** The President and Board of Trustees of the Village of Maywood authorize and direct that the Village President, the Village Clerk, the Village Manager, the Village Engineer and the Village Attorney, or their designees, execute and deliver all other instruments and documents that are necessary to facilitate the Agreement and performance of the Work at the location indicated on the Agreement.

**SECTION 4:** This Resolution shall be in full force and effect from and after its adoption and approval as provided by law.

**ADOPTED** this \_\_\_ day of \_\_\_\_\_, 2020, pursuant to a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** this \_\_\_ day of \_\_\_\_\_, 2020, by the Village President of the Village of Maywood, and attested by the Village Clerk on the same day.

\_\_\_\_\_  
Edwenna Perkins, Village President

**ATTEST:**

\_\_\_\_\_  
Viola Mims, Village Clerk

**Exhibit "A"**

**AUTHORIZATION, ACKNOWLEDGMENT AND INDEMNIFICATION FOR  
GROUND PENETRATION WORK AND TEMPORARY ACCESS AGREEMENT  
(1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois)**

**(Access Health & Housing, LLC)**

(Attached)

**AUTHORIZATION, ACKNOWLEDGMENT AND INDEMNIFICATION FOR  
GROUND PENETRATION WORK AND TEMPORARY ACCESS AGREEMENT  
(1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois)**

**(Access Health & Housing, LLC)**

This Authorization, Acknowledgment, Indemnification and Temporary Access Agreement ("Agreement") for environmental assessment and ground penetration work was entered into this \_\_ day of \_\_\_\_\_, 2020, by and between the **Village of Maywood**, a home rule Illinois municipal corporation (the "Village") and **Access Health & Housing, LLC**, an Illinois limited liability company (the "Purchaser" or "Developer") in anticipation of a Redevelopment Agreement being entered into between the Village and the Developer for the development of the below described real property ("RDA").

**WHEREAS**, the Village owns, operates, maintains or otherwise controls certain real property located within the Madison Street/Fifth Avenue Tax Increment Financing District, pursuant to the provisions of the "Tax Increment Allocation Redevelopment Act," 65 ILCS 5/11-74.4-1 *et seq.*, as amended (the "TIF Act"), at 1002 to 1010 South 6th Avenue, Maywood, Illinois. The real property is currently vacant. The real property is legally described on Exhibit "1" attached hereto (the "Subject Property"); and

**WHEREAS**, the Subject Property received a "No Further Remediation" letter dated September 21, 2012 and re-issued on November 14, 2012 ("2012 NFR Letter") issued by the Illinois Environmental Protection Agency ("IEPA") that has been filed against title to the Subject Property with the Cook County Recorder of Deeds Office (Document No. 1233448030 dated 11/29/2012). The 2012 NFR Letter contains certain terms and conditions that impact the use of the Subject Property; and

**WHEREAS**, the Developer proposes to purchase the Subject Property from the Village and to construct a mixed use development consisting of a building with at least two (2) ground-floor commercial units on the corner of 6th Avenue and Madison Street and construction of two (2) multi-family residential housing buildings with four (4) units each on the lots to the south of the corner, with a focus on veterans and residents with disabilities at the Subject Property ("Project"); and

**WHEREAS**, as part of the Developer's due diligence activities available under a RDA entered into by the parties, the Developer intends to hire and employ certain consultants to determine the nature and scope of any environmental issues that may exist on the Subject Property and conduct additional testing to be performed at the Subject Property to ensure the conditions present, which is to include a Phase II investigation involving the drilling of soil samples for lab testing so that it can make an informed decision concerning the environmental condition of the Subject Property prior to deciding whether to purchase the Subject Property and enter into the RDA and to develop it; and

**WHEREAS**, as part of that investigation, the Village grants to the Developer and the Developer Affiliates (as hereinafter defined), permission to conduct a Phase I and/or Phase II environmental site assessment of the Subject Property and to install soil borings on and collect soil and ground water samples from the Subject Property (collectively the "Work"). Further, the Village agrees to cooperate with the Developer and its affiliates, employees, engineers,

attorneys, contractors, subcontractors and agents (hereinafter referred to as the "Developer Affiliates") to allow them to conduct the Work, as set forth below in this Agreement.

**NOW, THEREFORE,** the Village grants to the Developer and the Developer Affiliates permission to enter onto the Subject Property to perform the Work in accordance with the following terms and conditions:

1. License; Access. The Village authorizes and grants a license to the Developer and the Developer Affiliates to take soil borings on the Subject Property, and to collect soil samples from those borings in order to assess the soil and groundwater conditions. The Village authorizes and grants the Developer and the Developer Affiliates access to and from the drilling location(s) on the Subject Property for the necessary equipment, tools and vehicles needed to carry out the Work. The Developer and the Developer Affiliates shall at all times conduct the Work in compliance with all laws and ordinances and in such a manner as to minimize hazards to vehicular and pedestrian traffic. The Developer and the Developer Affiliates shall not interfere with the Village's use of the Subject Property or operations during the course of the Work. The Developer shall bear all costs and expenses associated with the Work and chemical analysis conducted under this Agreement.

2. Notice of Work. The Developer shall give the Village a minimum of seven (7) calendar days advance written notice of the date on which the Developer and the Developer Affiliates plan to enter onto the Subject Property for the purpose of performing the Work or any portions thereof as contemplated by this Agreement. The Developer and the Developer Affiliates shall schedule the Work on days and times mutually acceptable to the Village. The Developer and the Developer Affiliates will only enter the Subject Property at date(s) and time(s) acceptable to the Village. At least twenty-four (24) hours prior to any Work on the Subject Property, the Developer shall submit to the Village a reasonably satisfactory description of the proposed Work, including site plans and engineer's drawings, as appropriate. All of the Developer's and Developer Affiliates' activities on the Subject Property shall be coordinated on-site with the Village.

3. Utilities; Indemnification. The Developer and the Developer Affiliates shall consult with the local utility companies and/or utility locating services to determine the existence and location of electrical, gas, water, cable and telephone service on the Subject Property. The Developer and the Developer Affiliates shall be solely responsible for selecting the location for the soil borings. The Developer shall indemnify and hold the Village harmless from any and all liability that may be incurred by damage or repair to utilities caused by the acts and omissions of the Developer and the Developer Affiliates. The Developer shall indemnify and hold the Village, its officers, its elected and appointed officials, including the mayor and board of trustees, servants, employees, agents, volunteers, the Village Engineer (Edwin Hancock Engineering Company), the Village Attorney (Klein, Thorpe and Jenkins, Ltd.), and successors and assigns both in their individual and official capacities (hereinafter collectively referred to as "Village Affiliates") harmless from any and all liability that may be incurred by damage or repair to utilities caused by the acts and omissions of the Developer and the Developer Affiliates while acting under this Agreement.

4. Indemnification. In consideration for the Village's agreement to permit the Developer and the Developer Affiliates, to enter the Subject Property to perform the Work contemplated by this Agreement, the Developer agrees as follows:

- A. The Developer, and its successors and assigns shall defend, indemnify and hold harmless the Village and the Village Affiliates and each of them, from and against any and all civil liabilities, actions, responsibilities, obligations, losses, damages, and claims, and all costs and expenses, including but not limited to reasonable, out-of-pocket attorney's fees and expenses (collectively, "Losses") pursuant to any federal, state and local laws (including the common law), statutes, ordinances, rules, regulations and other requirements relating to or which the Village or the Village Affiliates may incur from or on account of (either directly or indirectly) the actions or omissions of the Developer and Developer Affiliates while performing Work or otherwise acting under this Agreement, including but not limited to any Losses incurred which are based on tort law, wrongful death, and/or a personal injury claim, suit or action and/or any Losses relating to environmental investigation, cleanup, or abatement, whether asserted or unasserted, direct or indirect, existing or inchoate, known or unknown, having arisen or to arise in the future, and in any manner whatsoever incurred relating to (i) any condition of the Subject Property (including the groundwater thereunder) or the existence of Hazardous Substances (herein defined as that term is defined in 42 U.S.C. §9601(14), Hazardous Waste (herein defined as that term is defined in 42 U.S.C. §6903(5)) or Petroleum (herein defined as that term is defined in 42 U.S.C. §6991(8)), on or emanating from the Subject Property (including the groundwater thereunder); (ii) the violation or claimed violation on the Subject Property (including the groundwater thereunder) of any environmental law or regulation (including civil penalties sought to be imposed by governmental authorities for such violations); (iii) any condition of any property (including groundwater) or surface water alleged to have been caused by the migration, transportation, release (as defined by 42 U.S.C. §9601(22)) or threatened release (as defined by 42 U.S.C. §9601 (22)) of Hazardous Substances, Hazardous Waste, or Petroleum on or from the Subject Property (including the groundwater thereunder); and the imposition of any lien for the recovery of any costs related to the migration, release, or threatened release of Hazardous Substances, Hazardous Waste, or petroleum (or allegations of the same) on or from the Subject Property (including the groundwater thereunder). Notwithstanding the foregoing or anything in 4(B) below, the Developer shall not be liable for and/or indemnify for any Losses arising out of the mere discovery of any pre-existing condition on the Subject Property not caused by the Developer or the Developer Affiliates.
- B. The Developer, and its successors and assigns agree to release, waive, covenant not to sue and forever discharge the Village and the Village Affiliates, and each of them, for any claim suit, or action, whether or not well founded in fact or in law, which the Developer or the Developer Affiliates have, or may have, arising out of the Work conducted by the Developer or the Developer Affiliates at or on the Subject Property. Notwithstanding any other provision of this Agreement, as between the Village and the Village Affiliates on one hand, and the Developer and the Developer Affiliates, on the other hand, under no circumstances shall the Village and the Village Affiliates be liable for Losses arising from any condition on the Subject Property or Hazardous Substances, Hazardous Waste, or Petroleum emanating from or contained in the Subject Property (including the groundwater thereunder), and the duty to defend, hold harmless and indemnify under this Paragraph 4 shall apply to all such Losses.

5. Insurance. During the term of this Agreement, the Developer and the Developer's Affiliates agree to have the Village and the Village Affiliates specifically named as additional insureds on their respective insurance certificates and policies and endorsements for the purpose of covering the Village and the Village Affiliates for all matters covered and included under the indemnification provision above. The Developer and the Developer's Affiliates shall provide the following types of insurance, written on the comprehensive form and as an "occurrence" policy, in not less than the following amounts:

- A. Comprehensive General Liability - \$1,000,000 per occurrence and \$2,000,000 in the aggregate.
- B. An excess liability insurance policy or umbrella coverage policy of \$3,000,000.
- C. Property Damage - \$500,000 per occurrence.
- D. Workers' Compensation – Statutory.
- E. Automobile Coverage - \$1,000,000 per occurrence.

The Developer and the Developer's Affiliates shall provide the Village with satisfactory proof of the above insurance requirements in the form of a certificate executed by an insurer. Said certificate shall list the Village and the Village Affiliates as additional insureds on all required insurance policies, insurance certificates and endorsements. A copy of certificate(s) of insurance, insurance policies and endorsements (issued on the ISO CG 20 10 form) shall contain the insurer(s) written confirmation that the nature, scope, duration and amount of insurance coverage meets the requirements of this Agreement and shall remain in effect for all aspects of the Work for both ongoing and completed operations. The insurance coverage of the Developer and the Developer's Affiliates shall be primary to the Village's own insurance and the Village's insurance coverage shall not be contributory with the Developer's insurance coverage. The certificate shall provide for at least a ten (10) day written notice to the Village in the event of cancellation or material change of coverage. Copies of the Insurance Certificate of the Developer and the Developer's Affiliates shall be provided in advance of any on-site Work being commenced on the Subject Property and shall be attached hereto as an Exhibit and made a part hereof.

6. Term of Access License. The Village and the Developer understand that this is a Temporary Access Agreement for the purpose of allowing the Developer and the Developer's Affiliates to complete its environmental investigation of the Subject Property under the RDA, and, therefore, the Village agrees that it is allowing the Developer and the Developer Affiliates access to the Subject Property for a period commencing upon the execution of this Agreement and until such time as any due diligence period provided for in the RDA to be entered into by the Parties is concluded, or a decision is made by either party not to enter into an RDA relative to conveyance of the Property, whichever is earlier. Access under this Agreement may be terminated earlier by mutual agreement of the parties.

7. Inspection of Records. If requested by one party, the party(ies) subject to the request during the course of this Agreement shall immediately make available for inspection, photocopying (at the other party's cost) and turnover to the requesting party any and all records, documents (including writings, drawings, graphs, charts, photographs, phono records, and other data compilations from which information can be obtained, translated, if necessary, through detection devices into reasonably usable form), or reports of any kind (including all written, printed, recorded or graphic matter however produced or reproduced and all copies, drafts and versions thereof not identical in each respect to the original) which relate or refer (which means, in addition to their customary and usual meaning, assess or assessing, concern or

concerning, constitute or constituting, describe or describing, discuss or discussing, embody or embodying, evidence or evidencing, mention or mentioning and reflect or reflecting) to the environmental matters and/or conditions associated either directly or indirectly with the Subject Property (including the groundwater thereunder), including but not limited to written reports of a site assessment, environmental audits, soil test reports, water test reports, laboratory analysis and documents, reports or writings relating or referring to the environmental condition of the Subject Property and its soil and/or groundwater as prepared by any person, including the Village's (or prior owners) or the Developer's or the Developer Affiliates' environmental consultants or by any federal, state or county agency or the Illinois Environmental Protection Agency. The 2012 NFR Letter pertaining to the Subject Property has been provided to the Developer, and contains certain terms and conditions that impact the use of the Subject Property.

8. Work Standards; Restoration. The Developer and the Developer Affiliates shall perform the Work in a workman-like manner, and shall conduct all Work at the Subject Property in accordance with all applicable federal, state, county and local laws and regulations, including without limitation, the Illinois Environmental Protection Agency and federal regulations applicable to soil borings and all health and safety requirements. The Developer and the Developer Affiliates shall take all reasonable precautions to minimize damage to the Subject Property from the installation of any equipment and the soil borings on the Subject Property and shall restore the Subject Property to its original condition within ten (10) calendar days after completion of the Work or the termination of this Agreement, whichever is earlier.

9. Disposal; Indemnification. The Developer and the Developer Affiliates shall be solely responsible for the testing, storage, treatment and disposal of all material removed from the soil borings, and the Developer and the Developer Affiliates shall indemnify and hold the Village harmless from and against any and all costs and liabilities relating to such materials.

10. Binding on Successors In Interest. This Agreement shall inure to the benefit of and shall be binding upon the heirs, legatees, transferees, assigns, personal representatives, owners, insurers, agents, servants, employees, administrators, executors, representatives and/or successors in interest of any kind whatsoever of the parties hereto.

11. Execution in Counterparts. This Agreement may be executed in separate counterparts, each of which shall constitute an original, but all together shall constitute one and the same Agreement.

12. Severability. In the event any term or provision of this Agreement shall be held illegal, invalid, unenforceable or inoperative as a matter of law, the remaining terms and provisions of this Agreement shall not be affected thereby, but each such term and provision shall be valid and shall remain in full force and effect.

13. Entire Agreement. Except for the terms set forth in the RDA, this Agreement contains the entire understanding between the parties and supersedes any prior understanding or written or oral agreements between them with respect to the subject matter set forth in this Agreement. There are no representations, agreements, arrangements or understandings, oral or written, between and among the parties hereto relating to the subject matter of this Agreement, which are not fully expressed herein except for the RDA. No alteration, modification, change or amendment of this Agreement shall be binding upon the parties hereto unless authorized in accordance with law and reduced to writing and signed by the parties.

14. Construction. In construing this Agreement and/or determining the rights of the parties hereunder, no party shall be deemed to have drafted or created this Agreement, or any portion thereof.

15. Notice. For notification purposes, the Village Engineer's information is as follows:

Edwin Hancock Engineering Company  
9933 West Roosevelt Road  
Westchester, Illinois 60154-2780  
(o) 708/865-0300  
(f) 708/865-1212  
Attn: Bill Peterhansen

16. Authority to Execute. The executing representatives of the parties to this Agreement represent and certify that they are fully authorized to enter into the terms and conditions of this Agreement and to execute and legally bind that party to it.

17. Exhibits. The following exhibits are to be attached to this Agreement:

- Exhibit "1": Legal Description of the Subject Property
- Exhibit "2": Insurance Certificates issued on behalf the following parties, as required by Section 5 above:
  - a. The Developer
  - b. The Developer's Affiliates

<b>DEVELOPER: Access Health &amp; Housing, LLC , an Illinois limited liability company</b>	<b>VILLAGE OF MAYWOOD, a home rule Illinois municipal corporation</b>
By: _____	By: _____
Name: _____	Edwenna Perkins
Its: _____	Village President
Date: _____	Date: _____
<b>NOTARY:</b>	<b>ATTEST:</b>
By: _____	By: _____
Date: _____	Viola Mims
Stamp:	Village Clerk
	Date: _____

**Exhibit "1"**

**LEGAL DESCRIPTION OF THE SUBJECT PROPERTY**

LOTS 16 THROUGH 20, BOTH INCLUSIVE, AND THE EAST ½ OF THE VACATED ALLEY WEST AND ADJOINING SAID LOTS IN BLOCK 129 IN MAYWOOD, A SUBDIVISION IN SECTIONS 2, 11 AND 14, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**P.I.N.s:** 15-14-102-009-0000; 15-14-102-010-0000; 15-14-102-011-0000; 15-14-102-012-0000;  
15-14-102-013-0000.

**COMMONLY KNOWN AS:** 1002 S. 6<sup>th</sup> Avenue, Maywood, Illinois (a/k/a 600 Madison).

**Exhibit "2"**

**Insurance Certificates issued on behalf the following parties:**

- **The Developer**
- **The Developer's Affiliates**  
(attached)

**Exhibit "B"**

**LEGAL DESCRIPTION OF THE SUBJECT PROPERTY**

LOTS 16 THROUGH 20, BOTH INCLUSIVE, AND THE EAST ½ OF THE VACATED ALLEY WEST AND ADJOINING SAID LOTS IN BLOCK 129 IN MAYWOOD, A SUBDIVISION IN SECTIONS 2, 11 AND 14, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**P.I.N.s:** 15-14-102-009-0000; 15-14-102-010-0000; 15-14-102-011-0000; 15-14-102-012-0000;  
15-14-102-013-0000.

**COMMONLY KNOWN AS:** 1002 S. 6<sup>th</sup> Avenue, Maywood, Illinois (a/k/a 600 Madison).

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the attached document is a true and correct copy of that certain Resolution now on file in my Office, entitled:

**A RESOLUTION APPROVING AND AUTHORIZING THE EXECUTION OF  
AUTHORIZATION, ACKNOWLEDGEMENT AND INDEMNIFICATION FOR  
GROUND PENETRATION WORK AND TEMPORARY ACCESS AGREEMENT  
(1002 South 6th Avenue, a/k/a 600 Madison, Maywood, Illinois)**

**(Access Health & Housing, LLC)**

which Resolution was passed by the Board of Trustees of the Village of Maywood at a Special Village Board Meeting on the \_\_\_ day of \_\_\_\_\_, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the \_\_\_ day of \_\_\_\_\_, 2020.

I further certify that the vote on the question of the passage of said Resolution by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

I do further certify that the original Resolution, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this \_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

[SEAL]

**VILLAGE OF MAYWOOD  
BOARD OF TRUSTEES  
VILLAGE COUNCIL ROOM  
125 SOUTH 5<sup>TH</sup> AVENUE  
MAYWOOD, ILLINOIS 60153  
TUESDAY, DECEMBER 1, 2020 AT 7:00 P.M.**

**AGENDA FOR TRUTH IN TAXATION PUBLIC HEARING  
ON THE PROPOSED 2020 REAL ESTATE TAX LEVY**

1. CALL TO ORDER.
2. ROLL CALL.
3. ACKNOWLEDGEMENT OF THE PUBLICATION OF THE PUBLIC HEARING NOTICE IN A LOCAL NEWSPAPER.
4. PRESENTATION ON THE 2020 REAL ESTATE TAX LEVY BY THE VILLAGE MANAGER AND THE FINANCE DIRECTOR.
  - A. DISCUSSION OF AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY.
  - B. GENERAL DISCUSSION OF THE FISCAL YEAR 2020-2021 (MAY 1, 2020 THROUGH APRIL 30, 2021) VILLAGE OF MAYWOOD BUDGET, THE 2020-2021 BUDGET AMENDMENTS, THE PROPOSED FISCAL YEAR 2021-2022 (MAY 1, 2021 THROUGH APRIL 30, 2022) VILLAGE OF MAYWOOD BUDGET, AND 2020 TAX LEVY ADOPTION PROCESS AND SCHEDULE.
5. QUESTIONS AND COMMENTS BY BOARD MEMBERS.
6. QUESTIONS BY THE PUBLIC AND PUBLIC COMMENT.
7. FINAL QUESTIONS AND COMMENTS BY BOARD MEMBERS.
8. MOTION TO PLACE "AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY" ON THE DECEMBER 15, 2020 VILLAGE BOARD MEETING AGENDA FOR FINAL ACTION AND APPROVAL.
9. MOTION TO CLOSE THE PUBLIC HEARING.

RETURN TO THE AGENDA FOR THE DECEMBER 1, 2020 REGULAR VILLAGE BOARD MEETING.

**Physical Attendance At This Public Hearing Is Limited To The Lesser Of 10 Individuals, With Priority Given To Village Officials, Village Staff And Consultants, Subject To Social Distancing Guidelines The Public Is Encouraged To Stay At Home And Watch, Listen To And Participate In The Public Hearing Via Electronic Means Public Comments And Any Responses Will Be Read Into The Public Hearing Record. Please Submit Public Comments Via Email In Advance Of The Public Hearing To: [Cthompkins@Maywood-Il.Org](mailto:Cthompkins@Maywood-Il.Org) Or [Tpvavlik@Maywood-Il.Org](mailto:Tpvavlik@Maywood-Il.Org) And/Or Faxing To (708) 681-8818. Options To Watch And Listen To The Public Hearing: Live Stream At Village Website Home Page: Go To [www.Maywood-Il.Org](http://www.Maywood-Il.Org) And Click "Video On Demand".**

The above Public Hearing restrictions are authorized by the Open Meetings Act, the CDC directive (social distancing guidelines) and Illinois Governor Disaster Proclamation dated November 13, 2020 (Restore Illinois Plan), and Executive Orders 2020-63 and 2020-71 extending the Governor's prior Executive Orders relating to the COVID-19 pandemic and his implementation of the "Restore Illinois" Plan (COVID-19 E.O. No. 59 and COVID-19 E.O. No. 67), as amended.

**ORDINANCE NO. 2020-\_\_**

**AN ORDINANCE AUTHORIZING  
CERTAIN AMENDMENTS TO THE FISCAL YEAR 2020/2021  
(MAY 1, 2020 THROUGH APRIL 30, 2021) VILLAGE OF MAYWOOD BUDGET  
(Amendment No. 1)**

**WHEREAS**, the Corporate Authorities of the Village of Maywood adopted and approved the Village's Fiscal Year 2020/2021 Budget (May 1, 2020 through April 30, 2021) under Ordinance Number CO-2020-10 on April 21, 2020; and

**WHEREAS**, pursuant to 65 ILCS 5/8-2-9.6, the annual Budget may be amended from time to time upon approval of two-thirds (2/3rds) of the Corporate Authorities; and

**WHEREAS**, the Corporate Authorities have determined that it is necessary to make certain amendments to the Fiscal Year 2020/2021 Budget in an effort to achieve a balanced Fiscal Year 2020/2021 Budget and to more accurately reflect actual revenues and expenditures for Fiscal Year 2020/2021 in accordance with the Amended Budget attached hereto and made a part hereof as Exhibit "A".

**BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1:** Each of the Whereas paragraphs set forth above in this Ordinance is incorporated by reference into and made a part of this Section 1 as if fully set forth herein.

**SECTION 2:** The Corporate Authorities of the Village of Maywood approve the amendments to the Village's Fiscal Year 2020/2021 Budget (May 1, 2020 through April 30, 2021) as adopted and approved under Ordinance Number CO-2020-10 in accordance with the transfers, revisions, additions and deletions as set forth in Exhibit "A" attached hereto and made a part hereof.

**SECTION 3:** This Ordinance shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

**SECTION 4:** Any ordinance, or portion thereof, in conflict with this Ordinance is repealed to the extent of such conflict.

**ADOPTED** this \_\_\_ day of \_\_\_\_\_, 2020, pursuant to a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** by me, as Village President, and attested by the Village Clerk on this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Edwenna Perkins, Village President

**ATTEST:**

\_\_\_\_\_  
Viola Mims, Village Clerk

Published by me, as Village Clerk, in pamphlet form this \_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

**Exhibit "A"**

**AMENDED FISCAL YEAR 2020/2021  
(MAY 1, 2020 THROUGH APRIL 30, 2021) VILLAGE OF MAYWOOD BUDGET  
(Amendment No. 1)**

(attached)

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the attached document is a true and correct copy of that certain Ordinance now on file in my Office, entitled:

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AUTHORIZING  
CERTAIN AMENDMENTS TO THE FISCAL YEAR 2020/2021  
(MAY 1, 2020 THROUGH APRIL 30, 2021) VILLAGE OF MAYWOOD BUDGET  
(Amendment No. 1)

which Ordinance was passed by a roll call vote of the Board of Trustees of the Village of Maywood at a Special Village Board Meeting on the \_\_ day of \_\_, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the \_\_ day of \_\_, 2020.

I further certify that the vote on the question of the passage of said Ordinance by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

I do further certify that the original Ordinance, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this \_\_ day of \_\_, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

[SEAL]

**ORDINANCE NO. CO-2020-\_\_\_**

**AN ORDINANCE OF THE BOARD OF TRUSTEES  
OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR  
THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY**

**WHEREAS**, the Corporate Authorities of the Village of Maywood, Cook County, Illinois, have budgeted such sums of money as are deemed necessary to defray all necessary expenses and liabilities of the municipality including the amounts to be deposited in the reserves provided for in the Illinois Pension Code, as now and hereafter amended, for the 2020 tax levy year; and

**WHEREAS**, the Corporate Authorities of the Village of Maywood, a home rule municipality, may levy taxes upon all real property subject to taxation within the municipality, as that real property is assessed and equalized for State and County purposes for the current year; and

**WHEREAS**, it is deemed necessary to levy such taxes to defray a portion of the municipality’s expenses, as set forth below in this Ordinance; and

**WHEREAS**, the Village of Maywood, Cook County, Illinois, if required to by law, has held a Public Hearing regarding this Tax Levy in accordance with applicable State laws, including the Truth in Taxation Law (35 ILCS 200/18-55 *et seq.*), as amended and the Open Meetings Act (40 ILCS 5/120 *et seq.*), as amended.

**BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1:** The Whereas paragraphs above are incorporated herein by reference and made a part of Section 1 of this Ordinance.

**SECTION 2:** The Corporate Authorities of the Village of Maywood have ascertained the total amount of appropriations legally budgeted for and any amount deemed necessary to defray additional expenses and liabilities for all Corporate Purposes, which shall be provided for by a levy of taxes for the 2020 tax levy, upon all the real and taxable property of every name, nature and description within the corporate boundaries of the Village and now direct that the Cook County Clerk levy a tax for the 2020 tax levy year, upon all such real and taxable property subject to taxation within the Village as that property is assessed and equalized for State and County purposes for said tax levy year, for the purposes and the Funds set forth below:

<u>Fund Name</u>	<u>Tax Levy – 2020</u>
<b><u>2020 ESTIMATED TAX LEVY [BELOW ARE 2019 TAX LEVY FIGURES]</u></b>	
<i>Corporate Fund</i>	<b><i>\$ 13,454,661</i></b>
<i>Recreation Fund</i>	<b><i>\$ 150,000</i></b>
<i>Police Pension Fund</i>	<b><i>\$ 4,125,310</i></b>
<i><u>Fire Pension Fund</u></i>	<b><i><u>\$ 3,135,792</u></i></b>
<b><i>TOTAL</i></b>	<b><i><u>\$ 20,865,763</u></i></b>

There will also be separate tax levies related to the Village of Maywood extended by the Cook County Clerk to pay certain outstanding Bonds and Interest in the amount of **\$2,756,000.00**, which are based on bond ordinances already on file with the Cook County Clerk.

**SECTION 3:** There is levied a direct tax in the amount of *Twenty Million Eight Hundred Sixty-Five Thousand Seven Hundred Sixty-Three and No/100 Dollars (\$20,865,763.00)* for the 2020 tax levy year, upon all real property subject to taxation within the Village of Maywood as that real property is assessed and equalized for State and County purposes for said tax levy year, for the purposes and the Funds set forth above in Section 2 of this Ordinance as is now provided by law.

**SECTION 4:** The Village Clerk is authorized and directed to certify this Ordinance and levy herein made to the County Clerk of Cook County, Illinois, and said County Clerk is authorized and directed that taxes are to be collected in the manner and form provided by State law, and this Ordinance shall be his/her sufficient authority to do so. In addition, the Village Attorney of the Village of Maywood is authorized and directed to file a certified copy of this Ordinance with the County Clerk of Cook County, Illinois, as provided by State law.

**SECTION 5:** A Certificate of the Village President confirming full compliance with the Truth in Taxation Law (35 ILCS 200/18-55 *et seq.*), as amended, is attached hereto and made a part of this Ordinance.

**SECTION 6:** This Tax Levy Ordinance is adopted pursuant to the procedures set forth in the Illinois Municipal Code, as amended; provided, however, any tax rate limitation or any other substantive limitations as to tax levies in the Illinois Municipal Code, Revenue Act or other statute in conflict with this Ordinance shall not be applicable to this Ordinance pursuant to Section 6 of Article VII of the Constitution of the State of Illinois. If any provision or portion of this Ordinance is held invalid for any reason, such decision shall not affect the validity of the remaining provisions or portions of this Ordinance.

**SECTION 7:** This Ordinance shall take effect and be in full force and effect immediately on and after its passage and approval.

**PASSED** by the President and the Board of Trustees of the Village of Maywood, Cook County, Illinois, this 15th day of December, 2020, by a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** by me, and attested by the Village Clerk, on this 15th day of December, 2020.

\_\_\_\_\_  
Edwenna Perkins, Village President

**ATTEST:**

\_\_\_\_\_  
Viola Mims, Village Clerk

Published in pamphlet form by me on December \_\_\_\_, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

**CERTIFICATION OF COMPLIANCE WITH  
THE TRUTH IN TAXATION LAW**

I, Edwenna Perkins, the duly qualified and Presiding Officer of the Village of Maywood, Cook County, Illinois, certify that the 2020 Tax Levy of said Village attached hereto was adopted in full compliance with the provisions of the Truth In Taxation Law, 35 ILCS 200/18-55 *et seq.*, as amended.

**IN WITNESS WHEREOF**, I have placed my official signature this 15th day of December, 2020.

---

Edwenna Perkins, Village President and  
Presiding Officer of the Village of Maywood

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the attached document is a true and correct copy of that certain Ordinance now on file in my Office, entitled:

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE BOARD OF TRUSTEES  
OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR  
THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY**

which Ordinance was passed by a roll call vote of the Board of Trustees of the Village of Maywood at a Special Village Board Meeting on the 15th day of December, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the 15th day of December, 2020.

I further certify that the vote on the question of the passage of said Ordinance by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

I do further certify that the original Ordinance, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this 15th day of December, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

[SEAL]

STATE OF ILLINOIS     )  
                                  ) SS  
COUNTY OF COOK     )

**FILING CERTIFICATE**

I, the undersigned, certify that I am the duly qualified and acting County Clerk of the County of Cook, Illinois, and as such official I do further certify that on the \_\_\_ day of December, 2020, there was filed in my office a duly certified copy of an ordinance entitled:

**ORDINANCE NO. CO-2020-\_\_**

**AN ORDINANCE OF THE BOARD OF TRUSTEES  
OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS PROVIDING FOR  
THE LEVY, ASSESSMENT AND COLLECTION OF TAXES FOR THE YEAR 2020 TAX LEVY**

said Ordinance was duly adopted by the Board of Trustees of the Village of Maywood, Cook County, Illinois, on the \_\_\_ day of December, 2020, and that the same has been deposited in the official files and records of my office.

**IN WITNESS WHEREOF**, I hereunto affix my official signature and the seal of said County, this \_\_\_\_ day of December, 2020.

\_\_\_\_\_  
County Clerk

(SEAL)



20 N. Wacker Drive, Ste 1660  
Chicago, Illinois 60606-2903  
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**MEMORANDUM**

**TO: Mayor Edwenna Perkins and Board of Trustees, Village of Maywood**  
**FROM: Michael A. Marrs**  
**DATE: November 24, 2020**  
**RE: Third Amendment to Professional Services Agreement with American Traffic Solutions, Inc., now known as Verra Mobility, regarding Red Light Camera Enforcement**

Attached for your consideration at the December 1, 2020, Regular Meeting of the Board of Trustees, are the following documents:

- 1. **A Resolution Authorizing Execution of a Third Amendment to a Professional Services Agreement between the Village of Maywood and American Traffic Solutions, LLC, now known as Verra Mobility Corp., relative to the Continued Operation of an Automated Traffic Law Enforcement System in the Village; and**
- 2. **Third Amendment to Professional Services Agreement with American Traffic Solutions, Inc., now known as Verra Mobility Corp.**

As you are aware, the Village and American Traffic Solutions, LLC (“ATS”), now known as Verra Mobility Corp., have been parties to a Professional Services Agreement regarding digital photo red light traffic enforcement since July 22, 2008 (the “Agreement”). The original Agreement has been amended and extended by the First and Second Amendments to the Agreement, dated April 16, 2013 (the “First Amendment”) and August 24, 2016 (the “Second Amendment”), respectively.

The term of the Agreement, as extended by the Second Amendment, concludes on December 31, 2020. Chief Talley was not interested in the three (3) year renewal term set forth in the Second Amendment, and, at the September 15, 2020 meeting of the Village Board of Trustees, the Board gave direction to the Village Manager to terminate the Agreement unless ATS was willing to enter into an amendment providing for only a one (1) year renewal. The Village Manager sent a termination notice to ATS on September 23, 2020, to which ATS responded that it would be willing to renew for just a one (1) year term as requested by the Village.

The attached third amendment (the “Third Amendment”) provides for renewal of the current Agreement, as previously amended by the First and Second Amendments, for a one (1) year term running from January 1, 2021, to December 31, 2021. The Agreement, as amended by the Third Amendment, can only be further renewed by mutual agreement of the Parties. The draft Third Amendment was sent to ATS for review, and they have responded that it is acceptable as written.

Feel free to contact me with any questions.

*Michael Marrs*

**Enclosures**

cc: Viola Mims, Village Clerk (w/ encls.)  
Willie Norfleet, Jr., Village Manager (w/ encls.)  
Val Talley, Chief of Police (w/ encls.)  
Michael T. Jurusik, Village Attorney (w/ encls.)

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION AUTHORIZING  
EXECUTION OF A THIRD AMENDMENT TO  
A PROFESSIONAL SERVICES AGREEMENT BETWEEN  
THE VILLAGE OF MAYWOOD AND AMERICAN TRAFFIC SOLUTIONS, LLC, NOW KNOWN AS  
VERRA MOBILITY CORP., RELATIVE TO THE CONTINUED OPERATION OF AN  
AUTOMATED TRAFFIC LAW ENFORCEMENT SYSTEM IN THE VILLAGE**

**WHEREAS**, in 2008, the President and Board of Trustees of the Village of Maywood (the "Village") entered into an agreement entitled "A Professional Services Agreement" ("Original Agreement") between American Traffic Solutions, LLC ("ATS") and the Village of Maywood, relative to the construction and operation by ATS of an automated traffic law enforcement system in the Village; and

**WHEREAS**, the President and Board of Trustees have previously approved an Amendment and Extension ("First Amendment and Extension") to said Original Agreement. That Amendment and Extension was entered into on April 16, 2013; and

**WHEREAS**, the President and Board of Trustees have previously approved a Second Amendment and Extension ("Second Amendment and Extension") to said Original Agreement. That Second Amendment and Extension was entered into on August 24, 2016; and

**WHEREAS**, the Village and ATS have now agreed to a Third Amendment to Professional Services Agreement (the "Third Amendment") to said Original Agreement and First and Second Amendment and Extension. A copy of the Third Amendment is attached hereto as Exhibit "1" and made a part hereof; and

**WHEREAS**, the President and Board of Trustees of the Village, a home rule Illinois municipal corporation, have the authority to enter into the Third Amendment pursuant to their home rule powers and intergovernmental cooperation powers set forth at Article VII, Sections 6 and 10 of the 1970 Illinois Constitution and the applicable provisions of the Illinois Municipal Code (65 ILCS 5), and find that entering into the Third Amendment is in the best interests of the Village.

**NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1:** Each Whereas paragraph above is incorporated by reference into this Section 1 and made a part hereof as material and operative provisions of this Resolution.

**SECTION 2:** The President and Board of Trustees of the Village of Maywood authorize the approval and execution of the "Third Amendment to Professional Services Agreement" attached hereto as Exhibit "1" and made a part hereof, in order for ATS to continue to provide red-light camera services for the Village, subject to the terms and conditions contained in the Agreement. The President and Board of Trustees of the Village of Maywood further authorize and direct the Village President and the Village Clerk, or their designees, or the Village Manager,

or his/her designee, to execute and deliver the final version of the attached Third Amendment, which may contain certain non-substantive and non-financial modifications that are approved by the Village Attorney.

**SECTION 3:** The President and Board of Trustees of the Village of Maywood authorize and direct the Village President, the Village Manager, the Village Finance Director, the Village Treasurer, the Village Clerk and/or the Village Attorney, or their designees, to execute such instruments and other documents and pay all costs that are necessary to fulfill the Village's obligations under the Third Amendment. The President and Board of Trustees of the Village of Maywood further authorize and direct the Village Clerk, the Village Manager and/or the Village Attorney, or their designees, to transmit executed originals or certified copies of this Resolution and the Third Amendment to all parties that are entitled to receive such documents.

**SECTION 4:** This Resolution shall be effective immediately upon its passage and approval, or as otherwise provided by law.

**ADOPTED** this \_\_\_ day of \_\_\_\_\_, 2020, pursuant to a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** this \_\_\_ day of \_\_\_\_\_, 2020, by the Village President of the Village of Maywood, and attested by the Village Clerk, on the same day.

\_\_\_\_\_  
Edwenna Perkins, Village President

**ATTEST:**

\_\_\_\_\_  
Viola Mims, Village Clerk

Date: \_\_\_\_\_

**EXHIBIT 1**

**THIRD AMENDMENT TO PROFESSIONAL SERVICES AGREEMENT  
BETWEEN THE VILLAGE OF MAYWOOD, COOK COUNTY, ILLINOIS AND  
AMERICAN TRAFFIC SOLUTIONS, LLC, NOW KNOWN AS VERRA MOBILITY CORP., RELATIVE TO  
CONTINUED OPERATION OF AN AUTOMATED TRAFFIC LAW ENFORCEMENT SYSTEM**

**THIRD AMENDMENT  
TO PROFESSIONAL SERVICES AGREEMENT**

This Third Amendment (the "Third Amendment") is dated as of the date of the last party's execution hereof (the "Effective Date") and is entered into between American Traffic Solutions, Inc., now known as Verra Mobility Corp. ("ATS"), an Arizona corporation with its principal place of business at 1150 N. Alma School Rd. Mesa, AZ 85201 and the Village of Maywood, Illinois ("Customer"), an Illinois municipal corporation with principal offices at 40 Madison Street, Maywood, Illinois, 60153.

**RECITALS**

WHEREAS, on July 22, 2008, the Customer and American Traffic Solutions ("ATS"), entered into a Professional Services Agreement for the Customer's use of the Axis<sup>TM</sup> System to enforce traffic violations (the "Agreement"); and

WHEREAS, on April 16, 2013, the Customer and ATS entered into an Amendment and Extension to Professional Services Agreement (the "First Amendment"); and

WHEREAS, on August 24, 2016, the Customer and ATS entered into a Second Amendment to Professional Services Agreement (the "Second Amendment"); and

WHEREAS, the Village of Maywood has indicated it is not willing to renew the Agreement for an additional three (3) years at this time, but would instead be willing to extend the Agreement for a single one (1) year term at this time, and ATS has indicated its willingness to enter into an amendment that would change the term consistent with the Village's proposal; and

WHEREAS, Section 18 of the Agreement requires any amendments, modifications, or alterations of the Agreement to be in writing and duly executed by the parties; and,

WHEREAS, the Customer and ATS mutually desire to amend, modify or alter certain terms and conditions of the Agreement.

**TERMS AND CONDITIONS**

NOW THEREFORE, in consideration of the mutual covenants and promises contained in this Amendment, the Customer and ATS do hereby agree as set forth below:

1. The above recitals are true and correct and are incorporated herein.
2. Section 4. TERM AND TERMINATION of the Agreement, which was subsequently amended pursuant to the terms set forth in the First Amendment and Second Amendment, is hereby amended by deleting section 4(a) in its entirety and replacing it with the following:
  - a. The term of this Agreement shall continue until December 31, 2021. This Agreement may be extended for an additional term of a year or years, and upon the same or revised other terms and conditions, following negotiation, mutual agreement of the Parties, and approval by the Parties of an additional amendment prior to December 31, 2021.
3. Except as expressly amended or modified by the terms of this Third Amendment, all terms of the Agreement and the First Amendment and Second Amendment shall remain in full force and effect. In the event of a conflict between the terms of this Third Amendment and the Agreement or the First Amendment or Second Amendment, the terms of this Third Amendment shall prevail and control.
4. The provisions of this Third Amendment, including the recitals, comprise all of the terms, conditions, agreements, and representations of the parties with respect to the subject matter hereof. All representations and promises made by any party to another, whether in writing or orally, concerning the subject matter of this Third Amendment are merged into this Third Amendment.

5. This Third Amendment may be executed in one or more counterparts, each of which shall constitute an original, but all of which taken together shall constitute one and the same instrument. Each party represents and warrants that the representative signing this Third Amendment on its behalf has all right and authority to bind and commit that party to the terms and conditions of this Third Amendment.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment.

**VILLAGE OF MAYWOOD, ILLINOIS**

By:

\_\_\_\_\_  
Mayor or Village Manager

\_\_\_\_\_  
Date

ATTEST:

By:

\_\_\_\_\_  
Village Clerk

\_\_\_\_\_  
Date

**AMERICAN TRAFFIC SOLUTIONS, LLC, NOW KNOWN AS VERRA MOBILITY CORP.**

By:

\_\_\_\_\_  
Garrett Miller  
SVP/GM,  
Government Solutions

\_\_\_\_\_  
Date

**APPROVED AS TO FORM**

By:

\_\_\_\_\_  
Village Attorney

\_\_\_\_\_  
Date

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF COOK     )

**CLERK'S CERTIFICATE**

I, Viola Mims, Clerk of the Village of Maywood, in the County of Cook and State of Illinois, certify that the annexed and foregoing is a true and correct copy of that certain Resolution now on file in my Office, entitled:

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION AUTHORIZING  
EXECUTION OF A THIRD AMENDMENT TO  
A PROFESSIONAL SERVICES AGREEMENT BETWEEN  
THE VILLAGE OF MAYWOOD AND AMERICAN TRAFFIC SOLUTIONS, LLC, NOW KNOWN AS  
VERRA MOBILITY CORP., RELATIVE TO THE CONTINUED OPERATION OF AN  
AUTOMATED TRAFFIC LAW ENFORCEMENT SYSTEM IN THE VILLAGE**

which Resolution was passed by a roll call vote of the Board of Trustees of the Village of Maywood at a Special Village Board Meeting on the \_\_ day of \_\_\_\_\_, 2020, at which meeting a quorum was present, and approved by the President of the Village of Maywood on the \_\_ day of \_\_\_\_\_, 2020.

I further certify that the vote on the question of the passage of said Resolution by the Board of Trustees of the Village of Maywood was taken by Ayes and Nays and recorded in the minutes of the Board of Trustees of the Village of Maywood, and that the result of said vote was as follows, to-wit:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

I do further certify that the original Resolution, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Maywood, this \_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Viola Mims, Village Clerk

**[SEAL]**